

RETURN COMMENTS TO:

Municipality of Anchorage Planning Department
Current Planning Division
PO Box 196650
Anchorage, Alaska 99519-6650
Phone: 907-343-7943

CASE NO: 2025-0045

PLANNER: Daniel Mckenna-Foster

REQUEST: Review and Recommendation by Planning and Zoning Commission of an Ordinance of the Anchorage Municipal Assembly amending Anchorage Municipal Code Title 21 Chapters 1.03, 21.04, 21.05, 21.06, 21.07, 21.10, 21.11, 21.13, & 21.15 to allow more flexibility for small forms of housing and mobile dwelling units in manufactured home parks and the R-5 district.

COMMENTS AND MEETING SCHEDULE

Planning and Zoning Commission
Loussac Library Assembly Chambers
3600 Denali Street
Anchorage, Alaska

Hearing Date: Monday, June 09, 2025

Agency Comments Due: Monday, May 26, 2025

Council Comments Due: Friday, May 30, 2025

COMMUNITY COUNCIL(S):

Abbott Loop, Airport Heights, Basher, Bayshore-Klatt, Bear Valley, Birchwood, Chugiak, CBERRRSA Board of Supervisors, CERAB, Campbell Park, Downtown, Eagle River, Eagle River Valley, Eklutna Valley, Fairview, Girdwood Board of Supervisors, Glen Alps, Government Hill, Midtown, JBER, Hillside, Huffman OMalley, Mountain View, North Star, Northeast, Old Seward-Oceanview, Portage Valley, Rabbit Creek, Rogers Park, Russian Jack, Sand Lake, Scenic Foothills, South Addition, South Fork, Spenard, Taku Campbell, Tudor Area, Turnagain, Turnagain Arm, and University Area



Municipality of Anchorage
Planning Department
Memorandum



Date: May 2, 2025
To: Reviewing Agencies
Subject: PZC Case 2025-0045, Manufactured Home Parks and Mobile Dwelling Units

The Planning Department is seeking comments on the attached draft ordinance, which will update the definitions of mobile homes, manufactured homes, and manufactured housing communities. The proposal would also allow more flexibility in siting small and moveable forms of housing.

This change will help implement one of the goals of the Mayor's 10,000 Homes in 10 Years Strategy: *"Legalize smaller, cheaper, and innovative housing types like manufactured, mobile, modular, and even 3D-printed homes."* Attached is information on issues being addressed, policy support, proposed solutions, and other items to consider.

Staff welcomes any comments on this ordinance, and depending on the volume of feedback received, may provide an amended draft for review by the Planning and Zoning Commission.

Your comments will be submitted to the Planning and Zoning Commission for a public hearing scheduled for **Monday, June 9 2025, at 6:30 p.m. in the Assembly Chambers of the Z.J. Loussac Library, 3600 Denali Street, Anchorage.** Recommendations from the Commission will be forwarded to the Assembly.

Submit written comments in the following ways:

by CityView: <http://munimaps.muni.org/planning/allcomments.cfm>
(insert case number 2025-0045)
by email: Anchorage2040@muni.org
by fax: (907) 343-7927
by mail: Current Planning Division
MOA Planning Department
P.O. Box 196650
Anchorage, AK 99519-6650

If you have questions, please contact Daniel McKenna-Foster at 907-343-7918 in the Planning Department.

Attachments Ordinance Information Sheet
Draft Ordinance

Submitted by: Chair of the Assembly at
the Request of the Mayor
Prepared by: Planning Department
For reading: _____

ANCHORAGE, ALASKA
AO No. 2025-_____

AN ORDINANCE AMENDING AMC 21.03, 21.04, 21.05, 21.06, 21.07, 21.10, 21.11, 21.13 and 21.15 TO ALLOW MORE FLEXIBILITY FOR SMALL FORMS OF HOUSING AND MOBILE DWELLING UNITS IN MANUFACTURED HOME PARKS AND THE R-5 DISTRICT.

(Planning and Zoning Commission Case 2025-0045)

WHEREAS, the Assembly commissioned a study on the feasibility of new manufactured home communities, which indicated that this type of development is no longer an affordable option; and

WHEREAS, the study noted that no new manufactured home communities have been built in Anchorage since 1990, and the development of individual manufactured houses, such as for use on individual lots, has decreased from over 128 per year in 2014 to just three in 2023; and

WHEREAS, the study also stated that zoning restrictions play a significant role in the decline of MHC development; and

WHEREAS, Policy #59 of the 2020 Comprehensive Plan calls for the Municipality to recognize mobile home parks, co-ops, and common ownership interests as viable, affordable housing choices and neighborhood lifestyle options; and

WHEREAS, Action 4-12 of the 2040 Land Use Plan calls for the Municipality to work jointly with the manufactured housing industry/community and affordable housing advocates to develop an affordable housing redevelopment displacement mitigation strategy; and

WHEREAS, allowing more flexibility with how land can be used within existing manufactured housing communities but maintaining the protections of the building code can both allow people to improve their living conditions and also provide more options for current residents; now, therefore,

THE ANCHORAGE ASSEMBLY ORDAINS:

Section 1. Anchorage Municipal Code 21.03.115, Review and Approval Procedures, Small Area Implementation Plan, is hereby amended to read as follows (*the remainder of the section is not affected and therefore not set out*):

21.03.115 SMALL AREA IMPLEMENTATION PLAN
*** *** ***

G. Compliance with Small Area Implementation Plan.

2. The provision in G.1. shall not apply to the following use categories and types when conditional use approval is required in the applicable Title 21 tables of allowed uses:

- a. Manufactured home communities;

*** *** ***

(AO 2021-46(S), 6-8-21; AO 2024-24, 4-23-24)

Section 2. Anchorage Municipal Code 21.04.020, Zoning Districts, Residential Districts, is hereby amended to read as follows (*the remainder of the section is not affected and therefore not set out*):

21.04.020 RESIDENTIAL DISTRICTS

*** *** ***

K. R-5: Low-Density Residential District

1. Purpose. The R-5 district is intended primarily for single- and two-family residential areas with gross densities up to five dwelling units per acre. Mobile dwelling units[HOMES] on individual lots are allowed in this district.

*** *** ***

(AO 2012-124(S), 2-26-13; AO 2014-132, 11-5-14; AO 2015-100, 10-13-15; AO 2017-176, 1-9-18; AO 2019-58, 5-7-19; AO 2022-36, 4-26-22; AO 2023-77, 7-25-23; AO 2023-42, 8-22-23; AO 2023-50, 7- 11-23; AO 2023-103(S), 12-18-23)

Section 3. Anchorage Municipal Code 21.05.010, Use Regulations, Table of Allowed Uses, is hereby amended to read as follows (*the remainder of the section is not affected and therefore not set out*):

21.05.010 TABLE OF ALLOWED USES

*** *** ***

E. Table of Allowed Uses - Residential, Commercial, Industrial, and Other Districts.

TABLE 21.05-1: TABLE OF ALLOWED USES – RESIDENTIAL, COMMERCIAL, INDUSTRIAL, AND OTHER DISTRICTS																														
P = Permitted Use S = Administrative Site Plan Review C = Conditional Use M = Major Site Plan Review T = Special Land Use Permit for Marijuana																														
For uses allowed in the A, TA, and TR districts, see section 21.04.060. All other uses not shown are prohibited.																														
Use Category	Use Type	RESIDENTIAL										COMMERCIAL					INDUST.	OTHER					Definitions and Use-Specific Standards							
		R-1	R-1A	R-2A	R-2D	R-2M	R-3	R-3A	R-4	R-4A	R-5	R-6	R-7	R-8	R-9	R-10	B-1A	B-1B	B-3	RO	MC	I-1		I-2 ¹	MI	AF	DR	PR	PLI	W
RESIDENTIAL USES																														
Household Living	***	***	***																											

(AO 2012-124(S), 2-26-13; AO 2013-117, 12-3-13; AO 2013-139, 01-28-14; AO 2014-58, 5-20-14; 2015-133(S), 2-23-16; AO 2015-142(S-1), 6-21-16; AO 2016-3(S), 2-23-16; AO 2016-131, 11-15-16; AO 2016-136, 11-15-16; AO 2016-156, 12-20-16; AO 2017-10, 1-24-17; AO 2017-57, 4-11-17; AO 2017-74, 5-23-17; AO 2017-176, 1-9-18; AO 2017-175(S), 2-13-18; AO 2020-38, 4-28-20; AO 2020-56, 6-23-20; AO 2021-54, 6-22-21; AO 2023-77, 7-25-23; AO 2023-42, 8-22-23; AO 2023-87(S-1), 6-25-24)

Section 4. Anchorage Municipal Code 21.05.030, Use Regulations, Residential Uses: Definitions and Use-Specific Standards, is hereby amended to read as follows *(the remainder of the section is not affected and therefore not set out)*:

21.05.030 RESIDENTIAL USES: DEFINITIONS AND USE-SPECIFIC STANDARDS

*** *** ***

A. Household Living

*** *** ***

7. Mobile Dwelling[, MOBILE HOME] Unit

a. Definition

A small form of transportable housing that can be certified as safe for habitation by the MOA Building Official. This includes dwellings that meet federal requirements for manufactured housing[TRANSPORTABLE, FACTORY-BUILT DWELLING UNIT DESIGNED AND INTENDED TO BE

1 USED AS A YEAR-ROUND DWELLING, AND BUILT
2 PRIOR TO THE ENACTMENT OF THE FEDERAL
3 MANUFACTURED HOME CONSTRUCTION AND
4 SAFETY STANDARDS ACT OF 1976].

5
6 b. Use-Specific Standard

7 Only one mobile dwelling unit[HOME] is allowed per lot
8 in the R-5 district, unless the lot is within a mobile
9 dwelling unit[MANUFACTURED HOME] community. A
10 mobile dwelling unit[HOME] shall be placed on a
11 permanent foundation unless it is an accessory dwelling
12 unit or located within a mobile dwelling
13 unit[MANUFACTURED HOME] community.

14
15 8. Mobile Dwelling Unit[MANUFACTURED HOME]
16 Community (MDU[H]C)

17
18 a. Definition

19 Any parcel or adjacent parcels of land in the same
20 ownership that are utilized for occupancy by more than
21 two mobile dwelling units[HOMES, OR
22 MANUFACTURED HOMES]. This term shall not be
23 construed to mean tourist facilities for parking of travel
24 trailers or campers, which are classified under "camper
25 park."

26
27 b. Use-Specific Standards

28 *** *** ***

29 v. Impermanent Foundations

30 No mobile dwelling units[HOMES AND
31 MANUFACTURED HOMES] within an MDU[H]C
32 shall be placed on a permanent foundation.

33
34 vi. Mobile Dwelling Unit[HOME OR
35 MANUFACTURED HOME] Spaces

36
37 (A) Occupancy

38 No mobile home or manufactured home
39 space shall contain more than one
40 manufactured home, mobile home,
41 [OR]duplex mobile home or manufactured
42 home, or any other type of small dwelling
43 that can be certified as safe for habitation
44 by the building code or another accepted
45 code[NO OTHER DWELLING UNIT
46 SHALL OCCUPY A MOBILE HOME OR
47 MANUFACTURED HOME SPACE].
48

1 (B) Minimum Size

2 In manufactured home communities
3 created after January 1, 2014, all single
4 mobile home or manufactured home
5 spaces shall have a minimum of
6 1,750[3,500] square feet of land area and
7 all duplex mobile home or manufactured
8 home space shall have a minimum of
9 2,500[5,000] square feet of land area.

10
11 (C) Mobile Dwelling Unit[HOME OR
12 MANUFACTURED HOME] Separation

13
14 (1) No part of any mobile dwelling
15 unit[MOBILE HOME,
16 MANUFACTURED HOME],
17 accessory building, or its addition
18 shall be placed closer than 15 feet
19 from any other mobile home,
20 manufactured home, or its addition,
21 or no closer than ten feet if that
22 mobile home, manufactured home,
23 accessory building, or its addition
24 being placed meets building code,
25 NFPA (National Fire Protection Act)
26 501A and HUD #24 CFR 3280
27 standards.

28
29 (2) The requirements of sections
30 21.06.030C.2., Projections into
31 Required Setbacks, and 21.05.070,
32 Accessory Uses and Structures,
33 shall not apply to MDU[H]Cs. All
34 mobile dwelling units[HOMES,
35 MANUFACTURED HOMES], and
36 accessory structures shall be
37 placed at least five feet from the
38 front space line. Steps shall not be
39 considered in determining the
40 separations required by this
41 subsection.

42
43 (D) Access

44 Each mobile dwelling unit[HOME OR
45 MANUFACTURED HOME] space shall
46 have direct success to an internal street.
47 Direct access to exterior public streets is
48 prohibited.

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- vii. Streets and Drainage Facilities
All streets within an MDU[H]C shall comply with the following standards:
*** *** ***
- viii. Water and Sewage Systems
All mobile dwelling units[HOMES] in MDU[H]Cs shall be connected to water and sewage systems approved by the appropriate governmental body before they may be occupied.
- ix. Landscaping
*** *** ***
(B) All areas not devoted to mobile dwelling unit[HOME OR MANUFACTURED HOME] spaces, structures, drives, walks, off-street parking facilities, or other required landscaping shall be planted with site enhancement landscaping.
- x. Additions to mobile dwelling units[HOMES OR MANUFACTURED HOMES]; Accessory Buildings
(A) Generally
All additions and accessory buildings shall be subject to the spacing and setback requirements for mobile dwelling units[HOMES AND MANUFACTURED HOMES]. Any addition or accessory building shall be constructed in accordance with building safety code regulations pertaining to temporary structures, provided that additions will not be required to have a permanent foundation.
(B) Height
The height of accessory buildings is limited to that of the underlying zoning district. In the case of districts where the height is unrestricted, the maximum height of accessory structures shall be 12 feet. The height of additions to mobile dwelling units [MOBILE HOMES OR MANUFACTURED HOMES] is limited to that of the underlying zoning district. The

use of any area created above the original roof line of the mobile home or manufactured home as living space is prohibited.

(C) Exits

The number of exterior exits from additions shall be equal to or greater than the number of exits leading from the mobile dwelling unit[HOME OR MANUFACTURED HOME]to the addition. When two exterior exits are required from additions, they shall be placed a distance apart equal to one-fifth of the total perimeter of the addition.

*** *** ***

xiii. Campers and Travel Trailers Occupied campers and travel trailers are not subject to paragraphs 8.b.vi., Mobile Home or Manufactured Home Spaces, and 8.b.viii., Water and Sewage Systems, of this subsection. Any permitted spaces intended for occupied campers and travel trailers shall be placed in an area segregated from permanent mobile home or manufactured home spaces. Any area within a MDU[H]C that is occupied by campers and travel trailers shall be Chapter 21.05: Use Regulations Sec. Residential Uses: Definitions and Use-Specific Standards Title 21: Land Use Planning February 11, 2025 Anchorage, Alaska Page 5-26 served by a service building containing public toilet facilities and water supply

*** *** ***

xv. Convenience Establishments in MDU[H]Cs Convenience establishments of a commercial nature, including stores, coin-operated laundry, beauty shops and barbershops, may be permitted in MDU[H]Cs subject to the following restrictions. Such establishments and the parking lot primarily related to their operations shall not occupy more than ten percent of the area of the community, shall be subordinate to the residential use and character of the park, shall be located, designed and intended to serve frequent trade or service needs of persons residing in the community, and shall present no visible evidence of their commercial character from any portion of any district outside the community. Such convenience

1 areas shall be considered accessory uses to the
2 principal use of mobile dwelling units [MOBILE
3 HOMES OR MANUFACTURED HOMES], may
4 be permitted without a zoning change, and shall
5 be discontinued if the MDU[H]C is discontinued.
6

7 xvi. Sites in Flood Hazard Area The following
8 requirements shall apply to all MDU[H]Cs, any
9 portion of which are within a flood hazard area:
10

11 (A) Over-the-top ties shall be provided at each
12 of the four corners of the mobile home or
13 manufactured home and two ties per side
14 at intermediate locations. Mobile dwelling
15 units [HOMES] more than 50 feet long
16 shall require one additional tie per side.
17

18 (B) Frame ties shall be provided at each
19 corner of the frame, and five ties per side
20 at intermediate points. Mobile dwelling
21 units[HOMES OR MANUFACTURED
22 HOMES] more than 50 feet long shall
23 require four additional ties per side.
24

25 (C) All components of the anchorage system
26 shall be capable of carrying a force of
27 4,800 pounds.
28

29 (D) Any additions to the mobile home or
30 manufactured home shall be similarly
31 anchored. (E) All applications for a
32 conditional use for an MDU[H]C shall
33 include an evacuation plan indicating
34 alternate vehicular access and escape
35 routes during times of flooding.
36

37 xvii. Sites in Floodplain No mobile dwelling units
38 [MOBILE HOMES OR MANUFACTURED
39 HOMES] shall be placed within the regulatory
40 floodplain, except that MDU[H]Cs existing before
41 September 25, 1979, shall be permitted to place
42 mobile dwelling units[HOMES OR
43 MANUFACTURED HOMES] within existing unit
44 spaces.
45

46 xviii. Nonconforming MDU[H]Cs
47

- (A) Those MDU[H]Cs situated within the boundaries of the former City of Anchorage which existed prior to August 30, 1977, are not subject to paragraphs 8.b.vi., Mobile dwelling unit[HOME OR MANUFACTURED HOME] Spaces, and 8.b.vii., Streets . Drainage Facilities, of this subsection, provided that such communities meet the standards set forth in the former City of Anchorage Municipal Code sections 6.60.010 through 6.60.110.
- (B) Those MDU[H]Cs situated in any area of the municipality other than that described in paragraph i. above, which existed prior to 1966, are not subject to the requirements of paragraphs 8.b.vi., Mobile dwelling unit [MOBILE HOME OR MANUFACTURED HOME] Spaces, 8.b.vii., Streets and Drainage Facilities, and 8.b.x., Additions to Mobile Dwelling Units[HOMES OR MANUFACTURED HOMES]; Accessory Buildings, of this subsection, within the area and to the extent that it was constructed, operated or maintained prior to that date.
- (C) Any MDU[H]C exempt from certain requirements of this subsection 21.05.030A.8., Mobile Dwelling Unit [MANUFACTURED HOME COMMUNITY], as provided in paragraphs xviii.(A) and (B) above, shall conform to all provisions of this subsection 21.05.030A.8. within any area first constructed, operated, or maintained after the specified date or within any area that is substantially altered, remodeled, reconstructed, or rebuilt after that date.

*** *** ***

(AO 2012-124(S), 2-26-13; AO 2013-117, 12-3-13; AO 2014-58, 5-20-14; AO 2015-133(S), 2-23-16; AO 2017-160, 12-19-17; AO 2023-103(S), 12-18-23; AO 2023-87(S-1), 6-25-24

Section 5. Anchorage Municipal Code 21.05.050, Use Regulations, Commercial Uses: Definitions and Use-Specific Standards, is hereby amended to read as follows (*the remainder of the section is not affected and therefore not set out*):

21.05.050 COMMERCIAL USES: DEFINITIONS AND USE-SPECIFIC STANDARDS

*** *** ***

I. Vehicles and Equipment

*** *** ***

5. Vehicle-Large, Sales and Rental

a. Definition

An establishment engaged in the display, sale, leasing, or rental of new or used motor vehicles, and boats less than 30 feet in length and/or less than 12,000 lbs. Vehicles include, but are not limited to, automobiles, light trucks, vans, trailers, recreational vehicles, and mobile dwelling units[HOMES].

*** *** ***

(AO 2012-124(S), 2-26-13; AO 2013-117, 12-3-13; AO 2014-133, 11-5-14; AO 2015-82, 7-28-15; AO 2023- 77, 7-25-2023; AO 2024-24, 4-23-24; AO 2025-3, 2-11-25)

Section 6. Anchorage Municipal Code 21.05.070, Use Regulations, Accessory Uses and Structures, is hereby amended to read as follows (*the remainder of the section is not affected and therefore not set out*):

21.05.070 ACCESSORY USES AND STRUCTURES

*** *** ***

C. Table of Accessory Uses

*** *** ***

TABLE 21.05-3: TABLE OF ACCESSORY USES – RESIDENTIAL, COMMERCIAL, INDUSTRIAL, AND OTHER DISTRICTS																													
P = Permitted								S = Administrative Site Plan Review								C = Conditional Use Review													
Accessory Uses	RESIDENTIAL										COMMERCIAL				INDUST.		OTHER				Definitions and Use-								
	R-1	R-1A	R-2A	R-2D	R-2M	R-3	R-3A	R-4	R-4A	R-5	R-6	R-7	R-8	R-9	R-10	B-1A	B-1B	B-3	RO	MC			I-1	I-2	MI	AF	DR	PR	PLI
***	***	***																											
Intermodal shipping container <u>other than for residential use</u>	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	21.05.070D.12.
***	***	***																											

*** *** ***

D. Definitions and Use-Specific Standards for Allowed Accessory Uses and Structures

*** *** ***

3. Bed and Breakfast

a. Definition

*** ***

b. Use-Specific Standards

i. General Standards

(A) Bed and breakfast establishments are allowed only in attached or detached single-family and two-family dwellings, not including mobile dwelling units[HOMES].

*** ***

12. Intermodal Shipping Container (Connex Unit) as Storage

*** ***

b. Use-Specific Standards

Except when used as dwelling unit, t[T]he use of a connex unit is allowed in all zoning districts subject to the following:

*** ***

iii. In residential districts, connex units used for non-residential use are only permitted on lots equal to or greater than 40,000 square feet. Except as restricted in b.vii. below, connex units existing as of January 1, 2014 on any size lot may continue as long as the screening requirements of b.i. above and the number limitations of b.iv. below are met within one year of January 1, 2014, in which case such connex unit(s) shall be deemed conforming. Failure to comply with this provision shall not result in a legal nonconformity, but rather shall result in an illegal structure.

*** ***

E. Prohibited Accessory Uses and Structures

*** ***

4. Use of Mobile dwelling unit[HOME], Recreational Vehicle, or Travel Trailer as Residence

Mobile dwelling units may be used as an accessory dwelling unit to a permanent or temporary residence. Except as allowed by 21.05.080B.3.d., in all zoning districts, [MOBILE HOMES,] recreational vehicles[,] and travel trailers may not be used as an accessory use for a permanent or temporary residence. However, an RV or travel trailer may be used as visitor accommodation for not more than 90 days in any calendar year.

(AO 2012-124(S), 2-26-13; AO 2013-117, 12-3-13; AO 2015-131, 1-12-15; AO 2015-142(S-1), 6-21-16; AO 2016-3(S), 2-23-16; AO 2016-136, 11-15-16; AO 2017-10, 1-24-17; AO 2017-160, 12-19-17; AO 2017-176, 1-9-18, AO 2018-43(S); 6-12-18;

1 AO 2020-38, 4-28-20; AO 2021-26, 3-9-21; AO 2021-89(S), 2-15-22; AO 2022-107,
2 2-7-23; AO 2023-77, 7-25-23; AO 2024-24, 4-22-2024)

3
4 **Section 7.** Anchorage Municipal Code 21.05.080, Use Regulations, Temporary
5 Uses and Structures, is hereby amended to read as follows (*the remainder of the*
6 *section is not affected and therefore not set out*):
7

8 **21.05.080 TEMPORARY USES AND STRUCTURES**

9 *** **

10 **B. General Temporary Use Standards**

11 *** **

12 **3. Other Uses and Structures Allowed**

13 The following temporary uses and structures shall be allowed
14 in any zoning district or as specified below, in accordance with
15 the standards of this section.

16 *** **

- 17 d. Temporary Living in a Mobile Home, Motor Home, or
18 Other Recreational Vehicle

19
20 Notwithstanding title 23, one mobile dwelling unit
21 [HOME], motor home, or other recreational vehicle with
22 a fully operable self-contained sanitation system may be
23 used on a lot in the R-5, R-6, R-7, R-8, R-9, R-10, and
24 TA districts as temporary living quarters for not more
25 than 18 months while a permanent dwelling is being
26 constructed or repaired, if the following requirements are
27 met:

28 *** **

29
30 (AO 2012-124(S), 2-26-13; AO 2013-117, 12-3-13; AO 2024-24, 4-23-24)

31
32 **Section 8.** Anchorage Municipal Code 21.06.020, Dimensional Standards,
33 Dimensional Standards Tables, is hereby amended to read as follows (*the*
34 *remainder of the section is not affected and therefore not set out*):
35

36 **21.06.020 DIMENSIONAL STANDARDS TABLES**

37
38 **A. Table of Dimensional Standards: Residential Districts**
39

TABLE 21.06-1: TABLE OF DIMENSIONAL STANDARDS - RESIDENTIAL DISTRICTS								
(Additional standards may apply. See district-specific standards in chapter 21.04 and use-specific standards in chapter 21.05.)								
Use	Minimum lot dimensions ¹		Max lot coverage (%) ⁷	Minimum Setback Requirements (ft)			Max number of principal structures per lot or tract ²	Maximum height of structures (ft)
	Area (sq ft)	Width (ft)		Front	Side	Rear		
***	***	***						
R-5: Low-Density Residential District								
Dwelling, single-family, or one mobile dwelling unit[HOME]	7,000	50	30	20	5	10	1	Principal: 30 Accessory garages/ carports: 25 Other accessory: 12
***	***	***						

(AO 2012-124(S), 2-26-13; AO 2013-117, 12-3-13; AO 2015-100, 10-13-15; AO 2016-71, 6-21-16; AO 2017-160, 12-19-17; AO 2017-176, 1-9-18; AO 2018-43(S), 6-12-18; AO 2019-11, 2-12-19; AO 2018-58, 5-7-19; AO 2020-38, 5-28-20; AO 2022-36, 4-26-22; AO 2023-77, 7-25-23; AO 2023-42, 8-22-23; AO 2023-103(S), 12-18-23; AO 2023-87(S-1), 6-25-24)

Section 9. Anchorage Municipal Code 21.07.020, Development and Design Standards, Natural Resource Protection, is hereby amended to read as follows (*the remainder of the section is not affected and therefore not set out*):

21.07.020 NATURAL RESOURCE PROTECTION

E. Flood Hazard Area Regulations

5. Regulations Applicable to Flood Hazard Area

- c. Standards for Issuance of Building or Land Use Permit
No building permits, encroachment permits, manufactured home permits mobile dwelling unit permits, or other land use permits shall be issued for any development activity within the flood hazard area unless the plans show that, in addition to compliance with all other ordinances, regulations and permit requirements, the development shall meet the following requirements:

7. Construction Requirements

- a. Generally

All new construction and substantial improvements in areas designated on the flood insurance rate map as zones A, A1-30, AE, and AH shall meet the following conditions:

v. For new mobile dwelling[MANUFACTURED HOME] parks and manufactured home subdivisions; for expansions to existing mobile dwelling unit[MANUFACTURED HOME] parks and manufactured home subdivisions; for existing manufactured home parks and manufactured home subdivisions where the repair, reconstruction or improvement of the streets, utilities and pads equals or exceeds 50 percent of value of the streets, utilities and pads before the repair, reconstruction or improvement has commenced; and for mobile dwelling units[MANUFACTURED HOMES] not placed in a manufactured home park or manufactured home subdivision, require that the repair, and on all property not within a mobile dwelling unit[MANUFACTURED HOME] park or subdivision stands or lots are elevated on compacted fill or on pilings so that:

(A) The lowest floor of each mobile dwelling unit or manufactured home must be at least one foot above the base flood level.

(B) Adequate surface drainage and access for a hauler must be provided.

(C) For mobile dwelling units or manufactured homes placed on pilings, pilings must be stable and no more than ten feet apart and reinforced if more than six feet above the ground level.

(D) Lots must be large enough to permit steps.

vi. All mobile dwelling units or manufactured homes to be placed or substantially improved shall be elevated on a permanent foundation such that the lowest floor of the manufactured home is at least one foot above the base flood elevation, and be securely anchored to an adequately anchored foundation system.

vii. All mobile dwelling units or manufactured homes must likewise be anchored to prevent flotation, collapse or lateral movement, and shall be installed using methods and practices that minimize flood damage. Anchoring methods may

include but are not limited to use of over-the-top
or frame ties to ground anchors.

*** *** ***

(AO 2012-124(S), 2-26-13; AO 2013-117, 12-3-13; AO 2016-34(S), 4-12-16;
AO 2017-11, 2-14-17; AO 2018-67(S-1), 10-9-18; AO 2023-77, 7-25-23)

Section 10. Anchorage Municipal Code 21.10.020, Chugiak-Eagle River, Application of Chapter 21.10, is hereby amended to read as follows (*the remainder of the section is not affected and therefore not set out*):

21.10.020 APPLICATION OF CHAPTER 21.10

*** *** ***

F. Definitions

1. When the terms "Mobile Home" or "Manufactured Home" exist in this chapter 21.10, they shall be considered the same as Mobile Dwelling Units in the other chapters of Title 21.

(AO 2012-124(S), 2-26-13; AO 2013-117, 12-3-13; AO 2020-38, 4-28-20)

Section 11. Anchorage Municipal Code 21.11.050, Downtown, Use Regulations, is hereby amended to read as follows (*the remainder of the section is not affected and therefore not set out*):

*** *** ***

21.11.050. USE REGULATIONS

*** *** ***

A. Table of Allowed Uses

TABLE 21.11-2: TABLE OF ALLOWED USES – DOWNTOWN DISTRICTS				
P = Permitted Use L = Permitted with Limitations S = Administrative Site Plan Review C = Conditional Use M = Major Site Plan Review T = Special Land Use Permit for Marijuana A blank cell means the use is prohibited.				
Use Type	B-2A	B-2B	B-2C	Definitions and Use-Specific Standards
RESIDENTIAL USES				
*** *** ***				
Mobile dwelling[.] unit[MOBILE HOME]				21.05.030A.7.
Mobile dwelling unit [MANUFACTURED HOME]community				21.05.030A.8.
*** *** ***				

(AO 2020-38, 4-28-20; AO 2023-43, 4-25-23; AO 2023-77, 7-25-23; AO 2023-120, 12-5-23)

Section 12. Anchorage Municipal Code 21.13.020, Nonconformities, Single- and Two-Family Structures and Mobile Homes, is hereby amended to read as follows *(the remainder of the section is not affected and therefore not set out)*:

21.13.020 SINGLE- AND TWO-FAMILY STRUCTURES AND MOBILE DWELLING UNITS[HOMES]

*** **

B. Mobile Dwelling Units[HOMES]

1. Lawfully erected nonconforming mobile dwelling units[HOMES] may be repaired or replaced, as long as the nonconformity is not increased.
2. Lawfully erected nonconforming mobile dwelling units[HOMES] on individual lots may be moved within the lot in compliance with setback regulations.
3. Mobile dwelling units[HOMES] in nonconforming manufactured home communities may be repaired or replaced, in compliance with setback regulations.

(AO 2012-124(S), 2-26-13)

Section 13. Anchorage Municipal Code 21.15.040, Rules of Construction and Definitions, Residential Uses: Definitions and Use-Specific Standards, is hereby amended to read as follows *(the remainder of the section is not affected and therefore not set out)*:

21.15.040 RESIDENTIAL USES: DEFINITIONS AND USE-SPECIFIC STANDARDS

*** **

Mixed-Use Development

*** **

Mobile Dwelling Unit

Any manufactured home, mobile home, tiny home, or other type of small dwelling that can be moved and certified as safe for permanent occupancy by either HUD or the Building Official.

Modify Fuels

*** **

(AO 2012-124(S), 2-26-13; AO 2013-117, 12-3-13; AO 2014-132, 11-5-14; AO 2015-82, 7-28-15; AO 2015-100, 10-13-15; AO 2015-138, 1-12-16; AO 2015-133(S), 2-23-16; AO 2015-142(S-1), 6-21-16; AO 2016-3(S), 2-23-16; AO 2016-144(S), 12-20-16; AO 2017-55, 4-11-17; AO 2017-75, 5-9-2017; AO 2018- 12, 2-27-18; AO 2018-67(S-1), 10-9-18; AO 2018-92, 10-23-18; AO 2019-132, 12-2-19; AO 2020-38, 4- 28-20; AO 2021-89(S), 2-15-22; AO 2022-36, 4-26-22; AO 2022-80(S), 11-22-22; AO 2023-120, 12-5-23)

Section 14. This ordinance shall be effective immediately upon passage and approval by the Assembly.

PASSED AND APPROVED by the Anchorage Assembly this _____ day of _____, 2025.

Chair of the Assembly

ATTEST:

Municipal Clerk

(Planning and Zoning Commission Case No. 2025-0045)

PLEASE RETURN COMMENTS TO:

Municipality of Anchorage
Planning Department/Current Planning Division
P.O. Box 196650
Anchorage, Alaska 99519-6650
Phone: 907-343-7943

CASE NO: 2025-0064

PETITIONER: Girdwood Valley Service Area-Parks & Recreation Dept.

PLANNER: Paul Hatcher

REQUEST: Administrative Site Plan Review for construction of a new picnic shelter at the Girdwood Lions Club Park. ****THIS IS NOT A PUBLIC HEARING****

SITE ADDRESS: Vacant Land

CURRENT ZONE: GIP-P (Girdwood Institutions and Parks) District

ORIG SUBD/LEGAL: Lot 3, Block 1, First Addition Girdwood Townsite, Alaska Subd. (Plat 66-76)

COMMENTS AND DECISION SCHEDULE

Administrative Decision

Decision Date: Friday June 13, 2025

Agency Comments Due: Friday, May 30, 2025

Council Comments Due: Tuesday, June 03, 2025

COMMUNITY COUNCIL(S):
Girdwood Board of Supervisors

Municipality of Anchorage
Planning Department, Current Planning Division
4700 Elmore Road
Anchorage, Alaska

Application for Administrative Site Plan Review

Municipality of Anchorage
Planning Department
PO Box 196650
Anchorage, AK 99519-6650



PETITIONER*		PETITIONER REPRESENTATIVE (if any)	
Name (last name first) Kelley, Kyle - GVSA Parks & Rec		Name (last name first) Posanka, Aimee - The Boutet Company	
Mailing Address P.O. Box 390		Mailing Address 601 E 57th Place, Suite 102	
Girdwood, AK 99587		Anchorage, AK 99518	
Contact Phone – Day	Evening	Contact Phone – Day	Evening
907-343-8374		907-317-6338	
E-mail kyle.kelley@anchorageak.gov		E-mail aposanka@tbcak.com	

*Report additional petitioners or disclose other co-owners on supplemental form. Failure to divulge other beneficial interest owners may delay processing of this application.

PROPERTY INFORMATION			
Property Tax #(000-000-00-000): 075-063-21-000			
Site Street Address: 135 Egloff Dr. Girdwood, AK 99587			
Current legal description: (use additional sheet if necessary) Girdwood 1st Addition, BLK 1 Lot 3			
Zoning: GIP-p	Acreage: 0.198	Grid #: SE4814	Underlying plat #:

SITE PLAN APPROVAL REQUESTED	
Use: Public picnic shelter	
<input checked="" type="radio"/> New SPR	<input type="radio"/> Amendment to approved site plan Original Case #:

I hereby certify that (I am)/(I have been authorized to act for) owner of the property described above and that I petition for an administrative site plan review in conformance with Title 21 of the Anchorage Municipal Code of Ordinances. I understand that payment of the application fee is nonrefundable and is to cover the costs associated with processing this application, and that it does not assure approval of the site plan.

Kyle Kelley
Kyle Kelley (Apr 2, 2025 13:19:00)
Signature ☒ Owner ☐ Representative (Representatives must provide written proof of authorization) Date 2-Apr-2025

Print Name

Accepted by:	Fee:	Case Number: 2025-0064	Decision Date admin: 06/13/2025
--------------	------	------------------------	---------------------------------

COMPREHENSIVE PLAN INFORMATIONImprovement Area (per AMC 21.08.050B.): ☒ Class A ☐ Class B**Anchorage 2040 Land Use Designation(s):**

- | | | |
|---|--|--|
| <input type="checkbox"/> Large Lot Residential | <input type="checkbox"/> Single and Two-family Residential | <input type="checkbox"/> Compact Mixed Residential – low |
| <input type="checkbox"/> Compact Mixed Residential–Medium | <input type="checkbox"/> Urban Residential – High | <input type="checkbox"/> Neighborhood Center |
| <input type="checkbox"/> Town Center | <input type="checkbox"/> Regional Commercial Center | <input type="checkbox"/> City Center |
| <input type="checkbox"/> Commercial Corridor | <input type="checkbox"/> Main Street Corridor | <input type="checkbox"/> Open Space |
| <input type="checkbox"/> Facilities and Institutions | <input type="checkbox"/> Industrial | |

Anchorage 2040 Growth Supporting Features:

- | | |
|---|---|
| <input type="checkbox"/> Transit-supportive Development | <input type="checkbox"/> Residential Mixed-use Development |
| <input type="checkbox"/> Greenway-supported Development | <input type="checkbox"/> Traditional Neighborhood Development |

Chugiak-Eagle River Land Use Classification:

- | | | | |
|---|--|---|--|
| <input type="checkbox"/> Commercial | <input type="checkbox"/> Industrial | <input type="checkbox"/> Parks | <input type="checkbox"/> Community Facility |
| <input type="checkbox"/> Town Center | <input type="checkbox"/> Transportation facility | <input type="checkbox"/> Special study area | <input type="checkbox"/> Development reserve |
| <input type="checkbox"/> Residential at _____ dwelling units per acre | | | |

Girdwood- Turnagain Arm Land Use Classification:

- | | | | |
|---|--|--|--|
| <input type="checkbox"/> Commercial | <input type="checkbox"/> Industrial | <input checked="" type="checkbox"/> Parks/open space | <input type="checkbox"/> Public lands/institutions |
| <input type="checkbox"/> Resort | <input type="checkbox"/> Transportation facility | <input type="checkbox"/> Special study area | <input type="checkbox"/> Reserve |
| <input type="checkbox"/> Commercial/Residential | <input type="checkbox"/> Commercial Recreation | | |
| <input type="checkbox"/> Residential at _____ dwelling units per acre | | | |

Neighborhood, District or Other Area-Specific Plan: Girdwood Area Plan**ENVIRONMENTAL INFORMATION** (All or portion of site affected)

- | | | | | |
|--------------------------------|---------------------------------------|---|--------------------------------|---|
| Wetland Classification: | <input checked="" type="radio"/> None | <input type="radio"/> "C" | <input type="radio"/> "B" | <input type="radio"/> "A" |
| Avalanche Zone: | <input checked="" type="radio"/> None | <input type="radio"/> Blue Zone | <input type="radio"/> Red Zone | |
| Floodplain: | <input type="radio"/> None | <input checked="" type="radio"/> 100 year | <input type="radio"/> 500 year | |
| Seismic Zone (Harding/Lawson): | <input checked="" type="radio"/> "1" | <input type="radio"/> "2" | <input type="radio"/> "3" | <input type="radio"/> "4" <input type="radio"/> "5" |

RECENT REGULATORY INFORMATION (Events that have occurred in last 5 years for all or portion of site)

- | |
|--|
| <input type="checkbox"/> Rezoning - Case Number: |
| <input type="checkbox"/> Preliminary Plat <input type="checkbox"/> Final Plat - Case Number(s): |
| <input type="checkbox"/> Conditional Use - Case Number(s): |
| <input type="checkbox"/> Zoning variance - Case Number(s): |
| <input type="checkbox"/> Land Use Enforcement Action for |
| <input type="checkbox"/> Building or Land Use Permit for |
| <input type="checkbox"/> Wetland permit: <input type="checkbox"/> Army Corps of Engineers <input type="checkbox"/> Municipality of Anchorage |

SUBMITTAL REQUIREMENTS (Only one copy of applicable items is required for initial submittal)

- 1 copy required: ☒ Signed application (original)
☒ Watershed sign off form, completed
☒ 8 1/2" by 11" copy of site plan/building plans submittal
-
- 4 copies required: ☒ Signed application (copies)
☒ Project narrative explaining:
 ☐ the project ☐ planning objectives
 ☐ addressing the site plan review criteria on page 3 of this application
☒ Site plan to scale depicting, with dimensions:
 ☐ building footprints ☐ parking areas ☐ vehicle circulation and driveways
 ☐ pedestrian facilities ☐ lighting ☐ grading
 ☐ landscaping ☐ loading facilities ☐ freestanding sign location(s)
 ☐ required open space ☐ drainage ☐ snow storage area or alternative
- strategy
 ☐ trash receptacle location and screening detail ☐ fences
 ☐ significant natural features ☐ easements ☐ project location
- ☒ Building plans to scale depicting, with dimensions:
 ☐ building elevations ☐ floor plans ☐ exterior colors and textures
- ☐ Assembly Ordinance enacting zoning special limitations, if applicable

(Additional information may be required.)

SITE PLAN REVIEW STANDARDS (21.03.180)

The Planning Director may only approve a site plan if the director finds that all of the following standards are satisfied. Each standard must have a response in as much detail as it takes to explain how your project satisfies the standard. The burden of proof rests with you.

1. The site plan is consistent with any previously approved subdivision plat, planned development master plan, or any other precedent plan or land use approval;
2. The site plan complies with all applicable development and design standards set forth in this title, including but not limited to the provisions in chapter 21.04, *Zoning Districts*, chapter 21.05, *Use Regulations*, chapter 21.06, *Dimensional Standards and Measurements*, and chapter 21.07, *Development and Design Standards*;
3. The site plan addresses any significant adverse impacts that can reasonably be anticipated to result from the use, by mitigating or offsetting those impacts to the maximum extent feasible; and
4. The development proposed in the site plan is consistent with the goals, objectives, and policies of the comprehensive plan.

April 7, 2025

Current Planning Division
Planning Department
4700 Elmore Road
PO Box 196650
Anchorage, Alaska 99519-6650

Re: Application for Administrative Site Plan Review
Case 2025-0064
Girdwood 1st Addition (Parcel No. 075-063-21-000)

I hereby authorize The Boutet Company, Inc. (TBC) to act as Owner's Representative in the application for the Administrative Site Plan Review required for the above-described property.

Sincerely,

A handwritten signature in cursive script that reads "Kyle Kelley".

Kyle Kelley, Service Area Manager
Girdwood Valley Service Area
Municipality of Anchorage

Site Plan Review Administrative_LionsClubPark

Final Audit Report

2025-04-02

Created:	2025-04-02
By:	Aimee Posanka (aposanka@tbcak.com)
Status:	Signed
Transaction ID:	CBJCHBCAABAAM3wGeWt1xESNgs_uOPcBY11XQw0d48OP

"Site Plan Review Administrative_LionsClubPark" History



Document created by Aimee Posanka (aposanka@tbcak.com)

2025-04-02 - 9:14:59 PM GMT



Document emailed to Kyle Kelley (kyle.kelley@anchorageak.gov) for signature

2025-04-02 - 9:15:04 PM GMT



Email viewed by Kyle Kelley (kyle.kelley@anchorageak.gov)

2025-04-02 - 9:15:34 PM GMT



Document e-signed by Kyle Kelley (kyle.kelley@anchorageak.gov)

Signature Date: 2025-04-02 - 9:19:14 PM GMT - Time Source: server



Agreement completed.

2025-04-02 - 9:19:14 PM GMT



Adobe Acrobat Sign

WMS WATERCOURSE MAPPING SUMMARY

Per the requirements for watercourse verification outlined in Project Management and Engineering Operating Policy and Procedure #8 and Planning Department Operating Policy and Procedure #1 (effective June 18, 2007), MOA Watershed Management Services has inspected the following location for the presence or absence of stream channels or other watercourses, as defined in Anchorage Municipal Code (21.35).

- Project Case Number or Subdivision Name: Girdwood 1st Addition
- Project Location, Tax ID, or Legal Description: Block 1, Lot 3 (parcel #07506321000)
- Project Area (if different from the entire parcel or subdivision): _____

In accordance with the requirements and methods identified, WMS verifies that this parcel, project area, or application:

X KBC **DOES NOT** contain stream channels and/or drainageways, as identified in WMS field or archival mapping information.*

_____ **DOES** contain stream channels and/or drainageways **AND** these are located and identified on submittal documents in general congruence with WMS field and archival mapping information.
*New or additional mapping **IS NOT REQUIRED**.**

_____ Contains stream channels and/or drainageways **BUT** one or more streams or other watercourses:

- are **NOT** shown on submittal documents, or
- are **NOT** depicted adequately on submittal documents for verification, or
- are **NOT** located or identified on submittal documents in general congruence with WMS field and archival mapping information.

*New or additional mapping **IS REQUIRED** and must be re-submitted for further review and verification.**

_____ Presence of stream channels and/or drainageways is unknown **AND** field verification is not possible at this time. WMS will verify as soon as conditions and prioritized resources allow.

* *Streams omitted in error by WMS or others remain subject to MOA Code and must be shown in new mapping upon identification of the error.*

ADDITIONAL INFORMATION:

- | | | | |
|--|--|--------------------------------------|--------------------------------|
| <input type="checkbox"/> Y <input checked="" type="checkbox"/> N | WMS written drainage recommendations are available. | <input type="checkbox"/> Preliminary | <input type="checkbox"/> Final |
| <input type="checkbox"/> Y <input checked="" type="checkbox"/> N | WMS written field inspection report or map is available. | <input type="checkbox"/> Preliminary | <input type="checkbox"/> Final |
| <input type="checkbox"/> Y <input checked="" type="checkbox"/> N | Field flagging and/or map-grade GPS data is available. | | |

Inspection Certified By:

Date:

Kyle C. [Signature]

3/24/25



MOA PROPERTY REPORT

PAGE 1

Data Updated as of: January 22, 2023 3:32 AM

Parcel Number: 075-063-21-000

Current Owner: MOA GIRDWOOD PARKS & REC

Address:

Legal Description: GIRDWOOD 1ST ADDITION BLK 1 LT 3

Plat Number: Click "More Info" above t

Grid: Lot Size: 0.2 acres (8,622 ft²)

Property Tax Portal: <https://property.muni.org/Datalets/Datalet.aspx?UseSearch=no&pin=07506321000>

State of Alaska Plat Search: <http://dnr.alaska.gov/ssd/recoff/search/platmenu>



Maxar, Microsoft | Municipality of Anchorage | MOA GDIC, Parks and Recreation

Powered by Esri

TAX DISTRICT 4

Service Area	Service Area Classification
Police	Girdwood Valley SA
Fire	Girdwood Valley SA
Building Safety Service	None
Parks	Girdwood Valley SA
Road	Girdwood Valley SA
Streetlights	Girdwood Vally SA

Tax District Map: <https://muniorg.maps.arcgis.com/apps/webappviewer/index.html?id=8839ce87392a4980a9f892363089405a&find=07506321000>

This information is meant purely as a resource and the Municipality does not guarantee the complete accuracy of this data. Always verify any information with the department that is responsible for the data. https://cdn.ancgis.com/documents/legal/GIS_Data_Terms_and_Conditions.pdf



MOA PROPERTY REPORT

PAGE 2

Data Updated as of: January 22, 2023 3:32 AM

PLANNING

Zoning District: GIP-p	2040 Land Use Designation: See Comprehensive Plan
Zoning Improvement Area: Other	Zoning District Type: Parks

Planning Portal: <http://www.muni.org/CityViewPortal/Property/PropertyReview?searchKey=desc&searchValue=07506321000>

Zoning Map: <https://muniorg.maps.arcgis.com/apps/webappviewer/index.html?id=e7c3d7a43f2e4924b23d36fd1500bb01&find=07506321000>

Land Use Map: [refer to plan pdf - no web map currently available](#)

Comprehensive Plan: Girdwood

Girdwood Area Plan: <http://www.muni.org/Departments/OCPD/Planning/Publications/Pages/GirdwoodAreaPlan.aspx>

Other Plans: yes: ☒ no: ☐

<https://muniorg.maps.arcgis.com/apps/webappviewer/index.html?id=ee1abf76a6394fdb1057524831143e0&find=07506321000>

Wetland Classification: None

<http://www.anchoragestormwater.com/maps.html>

BUILDING SAFETY

Service Area: Inside ☐ Outside ☒

Building Permit Portal: <https://bsd.muni.org/inspandreview/ParcelInfo.aspx?parcelNo=07506321000>

Wind Zone: 1 ☐ 2 ☐ 3 ☐ 4 ☐ None ☒

<https://muniorg.maps.arcgis.com/apps/webappviewer/index.html?id=cbe6b9160394df0ab2b8d96b64c9b1e&find=07506321000>

Flood Review Required: All ☒ Some ☐ None ☐

<http://www.anchoragestormwater.com/maps.html>

Seismic Code: 1-Lowest ☐ 2-Moderate Low ☐ 3-Moderate ☐ 4-High ☐ 5-Very High ☐ None ☒

<https://muniorg.maps.arcgis.com/apps/webappviewer/index.html?id=6d9f19e70868491da6296bdb398b33cc&find=07506321000>

Water and Sewer

AWWU Customer: Water ☐ Sewer ☐ Not Current Customer ☐

Anchorage Water and Wastewater: <https://www.awwu.biz/customer-service/for-builders-and-developers>

Wells or Septic Information:

Wells & Septic Document Search: <http://onsite.ci.anchorage.ak.us/WebLink/CustomSearch.aspx?SearchName=SearchOnisteDocuments>

This information is meant purely as a resource and the Municipality does not guarantee the complete accuracy of this data. Always verify any information with the department that is responsible for the data. https://cdn.ancgis.com/documents/legal/GIS_Data_Terms_and_Conditions.pdf



Data Updated as of: January 22, 2023 3:32 AM

ADDITIONAL INFORMATION

Nitrate Map: <https://muniorg.maps.arcgis.com/apps/webappviewer/index.html?id=6c3acc5dca8244a891f954f0e7f75496&find=07506321000>

Soil Boring Map: <https://muniorg.maps.arcgis.com/apps/webappviewer/index.html?id=ff7c8f704663452096705a716c14b1f3&find=07506321000>

MOA MapIt Link: <https://muniorg.maps.arcgis.com/apps/webappviewer/index.html?id=f0bef139a7584820ad9d60c9eeea8a5f&find=07506321000>

POLITICAL BOUNDARIES

Assembly District: 6

<https://muniorg.maps.arcgis.com/apps/webappviewer/index.html?id=c4809e7b77da4f058aacd6936d3079fa&find=07506321000>

Community Council: Girdwood

<https://muniorg.maps.arcgis.com/apps/webappviewer/index.html?id=60eb4a8b1e38445487fb06817d904330&find=07506321000>

Representative Lookup Map: <https://muniorg.maps.arcgis.com/apps/ZoneLookup/index.html?appid=868cbf13fd3144b3a431eed89b48f911&find=07506321000&findSource=2>

1. Project Overview

The Girdwood Valley Service Area (GVSA) Parks and Recreation Department proposes to construct a new picnic shelter at the Girdwood Lions Club park located at the southwest corner of Alyeska Highway and Egloff Dr. The Lions Club Park is comprised of 4 parcels and is approximately 0.86 acres in total. The site serves mainly as a picnic area with existing picnic tables, grills, trash bins and signage. The site landscaping is natural trees and vegetation. Of that area, only approximately 1,738 square feet (SF) is proposed to be disturbed for grading and foundation construction. The project objective is to provide visitors a covered shelter for picnics and community gatherings.

2. General Site Plan Review Standards

1. ***The site plan is consistent with any previously approved subdivision plat, planned development master plan, or any other precedent plan or land use approval.***

The proposed site plan is consistent with the Girdwood Area Land Use plan which designates this area as Public Lands and Institutions.

2. ***The site plan complies with all applicable development and design standards set forth in this title, including but not limited to the provisions in chapter 21.04, Zoning Districts, Chapter 21.05, Use Regulations, chapter 21.06, Dimensional Standards and Measurements, and chapter 21.07, Development and Design Standards.***

21.09.040 Girdwood Zoning Districts: This site is zoned Girdwood Institutions and Parks (GIP-p). The GIP district is intended to include area of public and quasi-public institutional uses and activities. Within the GIP district, parks, whether dedicated or undedicated, existing or future, are designated on the district map by "GIP-p". The addition of a picnic shelter to the Lions Club Park is a permitted use and enhances the park facilities.

21.09.050 Girdwood Use Regulations Section B.3.c.i Passive Outdoor Recreation:

“Those outdoor activities with low environmental impact, are not intrusive, do not use motors and may not requires trails. Activities not necessarily requiring trails include backcountry skiing, dog sledding, snowshoeing, off trail hiking, paragliding, blueberry picking, birding and picnicking. This definition does not include activities involving vehicles or games such as paintball.” A picnic shelter complies with this definition and is an allowable use.

21.09.060 Dimensional Standards and Measurements:

The subject parcel (075-063-21) is a legal nonconforming lot of record created with Plat 66-76 within the GIP-p District, with an area of 8,622 sq ft (0.20 acre), and a width of 67.5 ft. The lot width does not meet the minimum requirement in Table 21.09-9. As such, the property line setback requirements will be those of the district where the lot size and width are closest to the existing lot per AMC 21.013.050, which is the gRST-1 District. Follow the use regulations and other requirements of the GIP District but follow the property setback requirements of the gRST-1 District. In summary, the property line setback requirements for this lot are as follows:

- Front – 13 feet
- Rear- 20 feet
- Sides – 10 feet
- Max height – 40 feet
- Max lot coverage – 50%
- Max FAR – 0.7

The front setback is 38 feet, the side setbacks are 20' from the north lot line and 26 ft from the south lot line and the rear setback is 64.8 feet. The lot coverage is 5.5% and the shelter height does not exceed 35 ft.

21.09.070 Development and Design Standards

The proposed improvements are in compliance with all standards set forth on 21.09.070

- 3. The site plan addresses any significant adverse impacts that can reasonably be anticipated to result from the use, by mitigating or offsetting those impacts to the maximum extent feasible.**

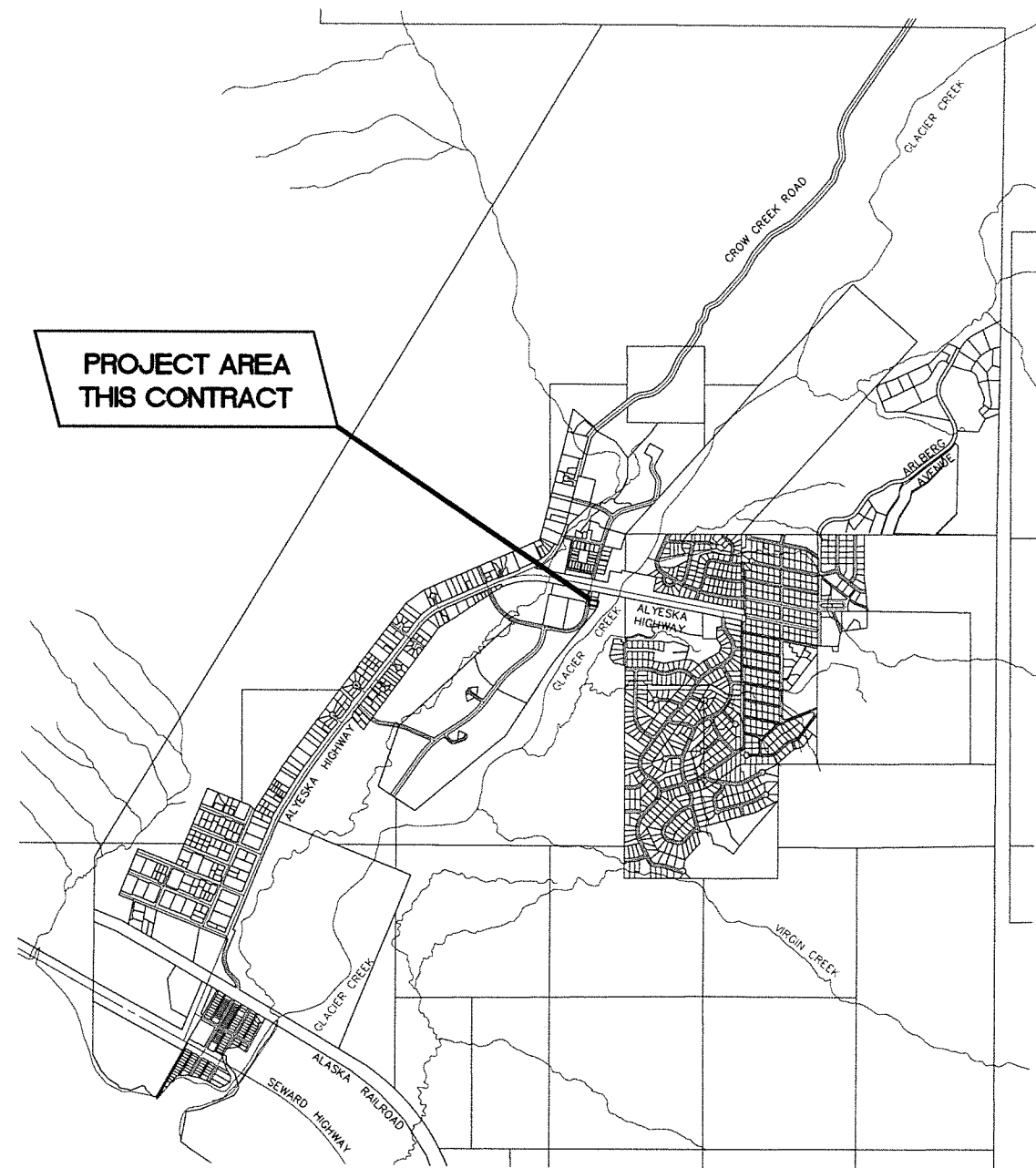
There are no adverse impacts anticipated. The construction of a new picnic shelter will improve the usability of the park facilities.

- 4. The development proposed in the site plan is consistent with goals, objectives, and policies of the comprehensive plan.**

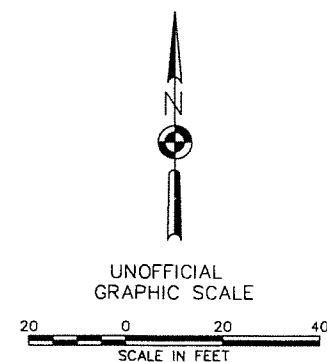
The table below presents key goals identified in the Girdwood Area Plan and describes how the Project aligns with these goals.

Girdwood Area Plan Goals

Goal	Discussion of Consistency
<i>Perpetuate Girdwood's Small-Town Atmosphere</i>	The Lions Club Park serves the community by providing a space for outdoor recreation and community gatherings. The addition of a picnic shelter on this site greatly enhances the facilities and provides all weather protection for community activities.
<i>Preserve Girdwood's Natural Environment</i>	The area of disturbance is very minimal. The new shelter will enhance users' experience and facilitate passive recreation opportunities for the Girdwood community.
<i>Provide a Variety of Year-Round Recreational Opportunities</i>	The new picnic shelter provides weather protection for increased passive recreational opportunities.
<i>Provide Facilities & Services to Maintain & Enhance the Quality of Community Life</i>	See #1 above



VICINITY MAP
GIRDWOOD, ALASKA



VERIFY SCALES
BAR IS ONE INCH ON
ORIGINAL DRAWING
0 1"
IF NOT ONE INCH ON
THIS SHEET, ADJUST
SCALES ACCORDINGLY.

SHEET INDEX

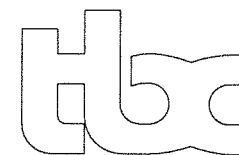
C1	TITLE SHEET
C2	NOTES, ABBREVIATIONS, AND LEGEND
C3	ASBUILT SURVEY
C4	CLEARING, GRUBBING, AND DEMOLITION
C5	SITE AND GRADING PLAN
C6	CROSS SECTIONS
S0.1	STRUCTURAL GENERAL NOTES AND ABBREVIATIONS
S1.1	PLANS AND SLAB DETAILS
S2.1	SHELTER SECTION AND ELEVATION
S3.1	SHELTER DETAILS
S3.2	SHELTER DETAILS



MUNICIPALITY OF ANCHORAGE PUBLIC WORKS DEPARTMENT PROJECT MANAGEMENT AND ENGINEERING DEPARTMENT

LION'S CLUB PARK PICNIC SHELTER MOA PROJECT NO. C25-1146

PREPARED BY:



The Boutet Company, Inc.
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APPROVED BY:

Melinda Kohlhaas, P.E.
DIRECTOR & MUNICIPAL ENGINEER

GENERAL NOTES:

1. CONSTRUCTION SHALL BE COMPLETED IN ACCORDANCE WITH THE MUNICIPALITY OF ANCHORAGE STANDARD SPECIFICATIONS, STREETS-DRAINAGE-UTILITIES-PARKS, DATED 2024 HEREAFTER REFERRED TO AS M.A.S.S., AS CURRENTLY AMENDED BY THE SPECIAL PROVISIONS AND THESE CONSTRUCTION DRAWINGS.
2. DRAWING SCALES ON SHEETS WITHIN THESE PLANS MAY VARY AND SHOULD BE NOTED PRIOR TO USE. THESE PLANS WERE CREATED FOR 22X34 PLAN SET AND AT A SPECIFIC DRAWING SCALE. ANY REPRODUCTION OR PUBLISHING OF THESE PLANS MAY RESULT IN DISTORTION OF SCALE AND SHALL BE VERIFIED PRIOR TO USE.
3. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO BEGINNING CONSTRUCTION. THE PERMITS SHALL BE MAINTAINED AT THE JOB SITE.
4. CONTRACTOR SHALL MAINTAIN "REDLINE" RECORD DRAWINGS ON A CLEAN SET OF CONSTRUCTION DRAWINGS IN ACCORDANCE WITH M.A.S.S. DIVISION 65.00 CONSTRUCTION SPECIFICATIONS FOR CONSTRUCTION SURVEY. THE "REDLINES" SHALL BE KEPT CURRENT ON A DAILY BASIS AND SHALL BE AVAILABLE TO THE ENGINEER FOR INSPECTION ON THE JOBSITE.
5. CONTRACTOR SHALL RECORD SURVEY NOTES FOR SUBMITTAL WITH AS-BUILT PLANS, INCLUDING HORIZONTAL AND VERTICAL LOCATIONS OF ALL UTILITIES ENCOUNTERED IN THE FIELD. CONTRACTOR SHALL RECORD ALL DEVIATIONS FROM THE PLANS.
6. THESE NOTES CONTAIN INFORMATION NECESSARY FOR THE PROPER EXECUTION OF THE WORK CONTAINED ON THESE IMPROVEMENT PLANS. THESE NOTES APPLY TO ALL PLAN SHEETS. ADDITIONAL CONSTRUCTION NOTES MAY ALSO BE SHOWN ON INDIVIDUAL PLAN SHEETS. THE CONTRACTOR IS RESPONSIBLE TO READ AND COMPLY WITH ALL NOTES SHOWN ON THIS SET OF PLANS. THE TERM "CONTRACTOR", AS USED IN THESE NOTES AND ELSEWHERE IN THIS PLAN SET, MEANS THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS AND INDIVIDUALS AUTHORIZED TO PERFORM WORK SHOWN ON THESE IMPROVEMENT PLANS. THE CONTRACTOR IS RESPONSIBLE TO COMPLY WITH ALL NOTES APPLICABLE TO HIS/HER WORK. ALL CONTRACTORS ARE DIRECTED TO CONTACT THIS ENGINEER FOR ANY QUESTIONS REGARDING THE STATED OR IMPLIED MEANING OF ANY NOTE OR OTHER INFORMATION CONTAINED ON THESE IMPROVEMENT PLANS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT HIS/HER CONTRACT FOR SERVICES INCLUDES THE RESPONSIBILITIES DEFINED BY THE APPLICABLE NOTES.
7. NO FROZEN SOILS CAN BE USED IN FILLS. NO FILL CAN BE PLACED OVER FROZEN GROUND.
8. ALL AREAS TO BE FILLED SHALL BE CLEARED OF VEGETATION, ROOT MAT, AND OTHER UNSUITABLE MATERIALS.
9. NO ROCK OR SIMILAR IRREDUCIBLE MATERIAL WITH A MAXIMUM DIMENSION GREATER THAN 12 INCHES SHALL BE BURIED PLACED IN FILLS.
10. HOURS OF OPERATION: MONDAY -SATURDAY: 7AM-7PM, IN COMPLIANCE WITH THE MUNICIPAL NOISE AND HOURS OF OPERATION REQUIREMENTS DURING CONSTRUCTION IN AMC 15.70.060B.3.

EXISTING UTILITIES:

11. LOCATIONS DEPICTED FOR THE UTILITIES AND OTHER EXISTING FEATURES ARE APPROXIMATE. SOME UTILITIES HAVE BEEN LOCATED FROM AS-BUILT DRAWINGS AND SOME FROM UTILITY COMPANY LOCATES, AND THEREFORE MAY NOT BE VISIBLE.
12. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND VERIFYING ALL UTILITIES AND PERFORMING ANY NECESSARY VERIFICATION PRIOR TO CONSTRUCTION.
13. (UNDERGROUND) OVERHEAD ELECTRICAL AND TELECOMMUNICATION LINES (AND POLES) OCCUR WITHIN THE PROJECT AREA; CONTRACTOR SHALL COORDINATE WORK ACCORDINGLY. ALL WORK IN CLOSE PROXIMITY TO EXISTING (OVERHEAD) UNDERGROUND LINES (AND POLES) SHALL COMPLY WITH APPLICABLE FEDERAL, STATE, AND LOCAL STATUTES, CODES AND GUIDELINES, AND THE ELECTRICAL FACILITY CLEARANCE REQUIREMENTS OF THE GOVERNING UTILITY.
14. HAND DIGGING IS REQUIRED WITHIN TWO FEET OF BURIED ELECTRICAL CABLE. SOME UTILITIES HAVE BEEN LOCATED FROM AS-BUILT DRAWINGS AND MAY NOT BE VISIBLE.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL EXISTING UTILITIES WITHIN THE LIMITS OF CONSTRUCTION, WHETHER OR NOT SAID UTILITIES ARE SHOWN ON THE PLANS. THIS RESPONSIBILITY INCLUDES CONTACTING UTILITY COMPANIES FOR LOCATIONS OR POTHOLING PRIOR TO CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES DURING CONSTRUCTION IS THE RESPONSIBILITY OF THE CONTRACTOR.

EXCAVATION:

16. EXACT LOCATION OF EXCAVATION AND BACKFILL SHALL BE AS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER.

17. ORGANIC MATERIAL SHALL BE REMOVED FROM THE SUBGRADE TO A DEPTH TO BE DETERMINED BY THE ENGINEER. NO ORGANIC MATERIAL OR OTHER DELETERIOUS MATERIAL SHALL BE UTILIZED FOR BACKFILL.
18. DEWATERING IS NOT ANTICIPATED FOR THIS PROJECT. IF DEWATERING IS REQUIRED, REFER TO MASS.
19. CLASSIFIED FILL SHALL BE PLACED IN LIFTS NOT TO EXCEED 12-INCHES IN DEPTH AND SHALL BE COMPACTED TO 95% M.D.D.
20. FINISH GRADE (FG) REPRESENTS THE ELEVATION OF THE FINISHED SURFACE. THIS INCLUDES LANDSCAPE AREAS, PAVED OR CONCRETE SURFACES, ROCK RIP-RAP SURFACE AND ELEVATION AT EXTERIOR OF STRUCTURE FOUNDATION, UNLESS OTHERWISE DENOTED ON DETAIL OR SPECIAL LABEL. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ADJUST SUBGRADE OR TOPSOIL TO ALLOW FOR FINISHED SURFACE MATERIAL DIMENSIONS. IF DETAIL IS PROVIDED FOR SPECIAL AREA, DETAIL SHALL DENOTE FINISH GRADES.
21. CUT AND FILL SLOPES SHALL NOT EXCEED 2 HORIZONTAL UNITS TO 1 VERTICAL UNIT. (2:1)

CLEANUP AND TOPSOIL:

22. WORK AND MATERIALS REQUIRED FOR REMOVING LITTER OR DEBRIS THAT EXISTS WITHIN THE PROJECT LIMITS SHALL BE CONSIDERED INCIDENTAL TO THE BID ITEM "DEMOLITION" (OR INCIDENTAL TO THE PROJECT) AND NO SEPARATE PAYMENT SHALL BE MADE.
23. CONTRACTOR SHALL RESTORE DISTURBED PROPERTY TO PRE-CONSTRUCTION CONDITION(S), UNLESS OTHERWISE DIRECTED BY THE ENGINEER. PAYMENT FOR RESTORING DISTURBED PROPERTY SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND AND NO SEPARATE PAYMENT SHALL BE MADE, UNLESS BID ITEMS ARE PROVIDED.

FIRE & BUILDING CODE REVIEW

PROJECT DESCRIPTION:

CONSTRUCTION OF A NEW PICNIC SHELTER, 474 SQ. FT. SEE STRUCTURAL GENERAL NOTE (S0.1) FOR MATERIALS SPECIFICATIONS

CONSTRUCTION TYPE:

(2018 IBC 602) TYPE V; STRUCTURAL FRAMING IS HEAVY TIMBER.

OCCUPANCY CLASSIFICATION:

SMALL ASSEMBLY < 50 PERSONS & < 750 SQ. FT. B

ALLOWABLE BUILDING HEIGHTS:

(2018 IBC 501) 40 FT PER IBC 2021, TABLE 504.3

FIRE PROTECTION:

NEAREST FIRE HYDRANT ACROSS THE STREET ON EGLOFF DR @ 117' FROM PROPOSED PICNIC SHELTER. 4,860 GPM @20 PSI AVAILABLE FLOW AT MAX DAY DEMAND OF YEAR. STATIC PRESSURE 91 PSI. SURFACE ELEVATION ~101 FT. (AWWU)

ABBREVIATIONS

AC	ASPHALT CONCRETE PAVEMENT
ADA	AMERICAN WITH DISABILITIES ACT OF 1990
BM	BENCH MARK
BOW	BOTTOM OF WALL
CL	CENTERLINE
CMP	CORRUGATED METAL PIPE
E	ELECTRICAL
EL	ELEVATION
EP	EDGE OF PAVEMENT
ESMT	EASEMENT
EX	EXISTING
FG(e)	FINISH GRADE EXISTING
FG	FINISHED GRADE
FL	FLOW LINE
FL(e)	FLOW LINE EXISTING
G	GAS
GB	GRADE BREAK
IAW	IN ACCORDANCE WITH
INV	INVERT
LF	LINEAR FEET
MASS	MUNICIPALITY OF ANCHORAGE STANDARD SPECIFICATIONS
MAX	MAXIMUM
ME	MATCH EXISTING
MIN	MINIMUM
NIC	NOT IN CONTRACT
NTS	(WORK TO BE PERFORMED BY OTHERS) NOT TO SCALE
P#	POINT NUMBER
PCC	PORTLAND CEMENT CONCRETE
PP	POWER POLE
PL	PROPERTY LINE
PUE	PUBLIC UTILITY EASEMENT
R	RADIUS
RAP	RECYCLED ASPHALT PAVEMENT
ROW	RIGHT-OF-WAY
REF	REFERENCE
SDFI	STORM DRAIN FIELD INLET
SDMH	STORM DRAIN MANHOLE
ST	STREET
TEL	TELEPHONE
TBC	TOP BACK OF CURB
TBC (e)	TOP BACK OF CURB EXISTING
TOW	TOP OF WALL
TYP	TYPICAL

LEGEND

	PROPERTY LINE
	EXISTING CONTOUR LINE
	PROPOSED CONTOUR LINE
	CLEARING AND GRUBBING LIMITS
	PROPOSED ASPHALT PAVEMENT
	PROPOSED P.C.C.
	PROPOSED EP
	EXISTING DRAINAGE SWALE
	EXISTING VEGETATION
	EXISTING RAILROAD TRACKS
	EXISTING CHAIN LINK FENCE
	EXISTING CULVERT
	GAS
	STORM DRAIN
	WATER
	COMMUNICATIONS
	SEWER
	ELECTRIC
	DAYLIGHT LINE (FILL CONDITION)
	DAYLIGHT LINE (CUT CONDITION)
	SIGN
	FIRE HYDRANT
	WATER VALVE
	STORM DRAIN MANHOLE
	CATCH BASIN
	POLE
	LIGHT POLE
	GUY ANCHOR
	UTILITY PEDESTAL

FIELD BOOKS													
DESIGN:	BM NO.	LOCATION	ELEV.	DATA	DRAWN BY	CHECKED BY	DATA	DRAWN BY	CHECKED BY	REV	DATE	DESCRIPTION	BY
STAKING:				BASE	TBC		TELEPHONE						
				TOPOGRAPHY	TBC		ELECTRIC						
				PROFILE			CABLE TV						
ASBUILT:				SANITARY SEWER			TRAFFIC SIGNAL						
CONTRACTOR:				STORM SEWER			DESIGN						
INSPECTOR:				WATER			QUANTITIES						
				GAS			MUN. FINAL CHECK						
CONSTRUCTION RECORD				PLAN CHECK				REVISIONS					

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MUNICIPALITY OF ANCHORAGE

PROJECT MANAGEMENT AND ENGINEERING DEPARTMENT

GIRDWOOD LIONS CLUB PARK SHELTER

NOTES, ABBREVIATIONS, AND LEGEND









































HORZ SCALE: 1"=5'
VERT SCALE: N.T.S.

DATE: 02/21/2025
ACCT. NO.

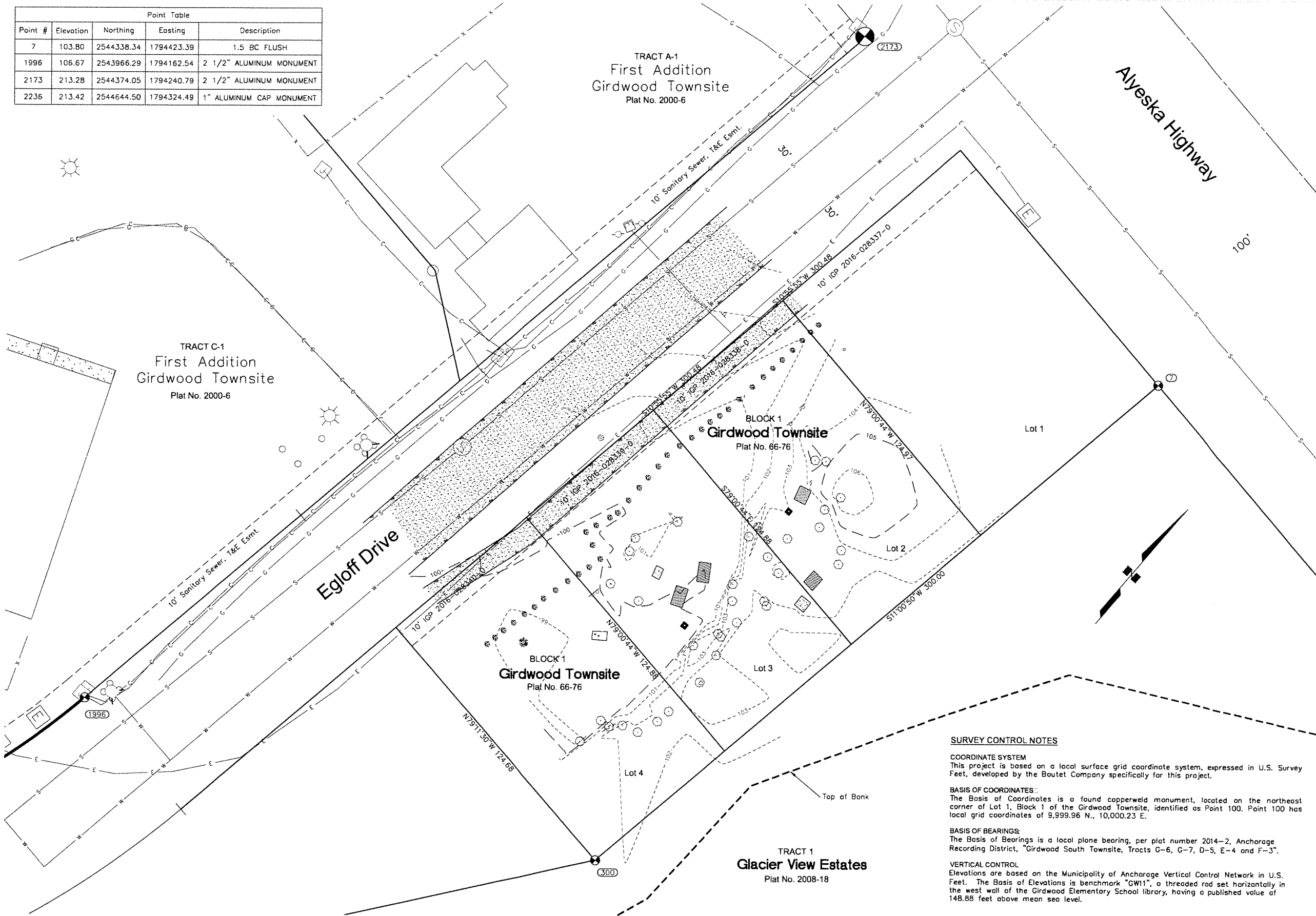
GRID: SE4B15

SHEET C2 of C6

LEGEND

-  SURVEY MONUMENT
-  SURVEY POINT NUMBER
-  BUSH / SHRUB
-  CONIFEROUS TREE
-  SIGN
-  DECIDUOUS TREE
-  GUY ANCHOR
-  LIGHT POLE
-  VEHICLE HEATER OUTLET
-  PIPE END
-  UTILITY JUNCTION BOX
-  UTILITY POLE
-  SANITARY SEWER MANHOLE
-  CULVERT
-  STORM DRAIN CATCHBASIN
-  FIELD DRAIN
-  STORM DRAIN MANHOLE
-  FIRE HYDRANT
-  VALVE
-  BBQ GRILL ON POST
-  FIRE PIT
-  PICNIC TABLE
-  BOULDER
-  EDGE OF TREES
-  CONCRETE / SIDEWALK
-  CURB AND GUTTER
-  EDGE OF ASPHALT
-  FENCE
-  COMMUNICATION LINE
-  FIBER OPTIC LINE
-  ELECTRIC LINE
-  OVERHEAD ELECTRIC LINE
-  GAS LINE
-  SANITARY SEWER LINE
-  STORM DRAIN LINE
-  WATER LINE
-  PROPERTY LINE
-  RIGHT-OF-WAY CENTERLINE
-  EASEMENT LINE
-  SECTION LINE

Point Table				
Point #	Elevation	Northing	Easting	Description
7	103.80	2544338.34	1794423.39	1.5 BC FLUSH
1996	106.67	2543966.29	1794162.54	2 1/2" ALUMINUM MONUMENT
2173	213.28	2544374.05	1794240.79	2 1/2" ALUMINUM MONUMENT
2236	213.42	2544644.50	1794324.49	1" ALUMINUM CAP MONUMENT



SURVEY CONTROL NOTES

COORDINATE SYSTEM
This project is based on a local surface grid coordinate system, expressed in U.S. Survey Feet, developed by the Boutet Company specifically for this project.

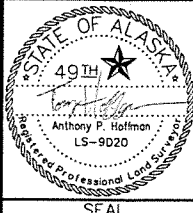
BASIS OF COORDINATES
The Basis of Coordinates is a found copperweld monument, located on the northeast corner of Lot 1, Block 1 of the Girdwood Townsite, identified as Point 100. Point 100 has local grid coordinates of 9,999.96 N., 10,000.23 E.

BASIS OF BEARINGS
The Basis of Bearings is a local plane bearing, per plat number 2014-2, Anchorage Recording District, "Girdwood South Townsite, Tracts G-6, G-7, D-5, E-4 and F-3".

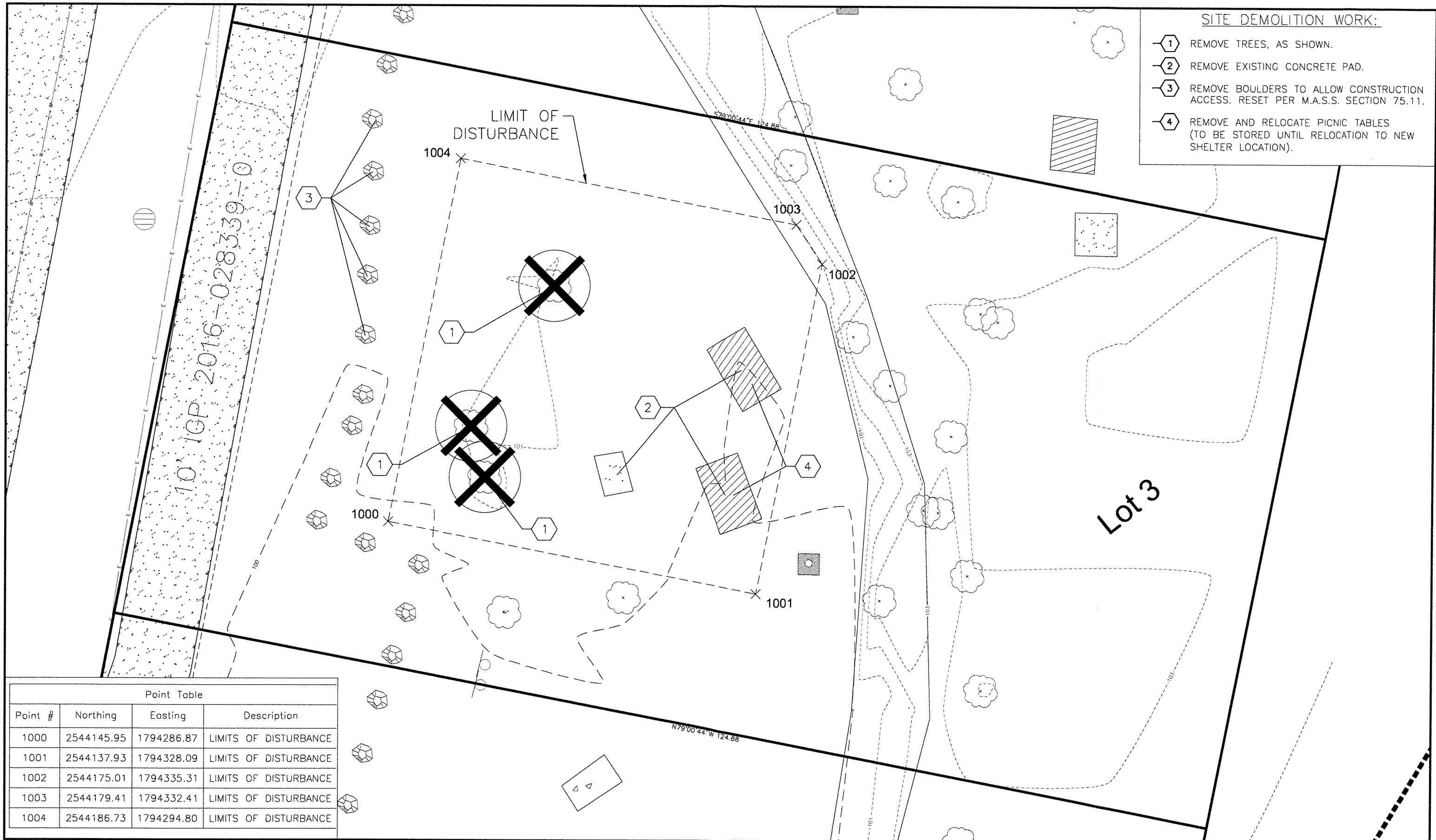
VERTICAL CONTROL
Elevations are based on the Municipality of Anchorage Vertical Control Network in U.S. Feet. The Basis of Elevations is benchmark "GW11", a threaded rod set horizontally in the west wall of the Girdwood Elementary School library, having a published value of 148.88 feet above mean sea level.

FIELD BOOKS		BM NO.	LOCATION	ELEV.	DATA	DRAWN BY	CHECKED BY	DATA	DRAWN BY	CHECKED BY	REV	DATE	DESCRIPTION	BY
DESIGN: 3658/ 2-4, 7-10 & 28		GW 11	MOA 1994 Benchmark Book, GD-6	148.88	BASE	TBC		TELEPHONE	---					
STAKING:		GW 18	MOA 1994 Benchmark Book, GD-10	164.21	TOPOGRAPHY	TBC		ELECTRIC	---					
ASBUILT:					PROFILE	---		CABLE TV	---					
CONTRACTOR:					SANITARY SEWER	---		TRAFFIC SIGNAL	---					
INSPECTOR:					STORM SEWER	---		DESIGN	---					
CONSTRUCTION RECORD					WATER	---		QUANTITIES	---					
					GAS	---		MUN. FINAL CHECK	---					
BASIS OF DATUM: 1972 N.G.S. ADJUSTED DATUM					PLAN CHECK					REVISIONS				
VERTICAL DATUM														

The Boutet Co.




PROJECT MANAGEMENT AND ENGINEERING DEPARTMENT			
GIRDWOOD LIONS CLUB PARK SHELTER			
ASBUILT SURVEY			
HORZ SCALE: 1"=20'	DATE 9/13/22	GRID SE4815	SHEET C3 of C6
VERT SCALE: N.T.S.	ACCT. NO.		

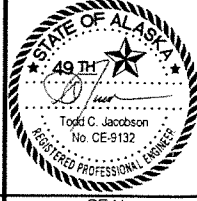


Point Table			
Point #	Northing	Easting	Description
1000	2544145.95	1794286.87	LIMITS OF DISTURBANCE
1001	2544137.93	1794328.09	LIMITS OF DISTURBANCE
1002	2544175.01	1794335.31	LIMITS OF DISTURBANCE
1003	2544179.41	1794332.41	LIMITS OF DISTURBANCE
1004	2544186.73	1794294.80	LIMITS OF DISTURBANCE

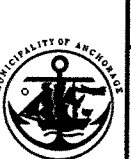
FIELD BOOKS		BM NO.	LOCATION	ELEV.	DATA	DRAWN BY	CHECKED BY	DATA	DRAWN BY	CHECKED BY	REV	DATE	DESCRIPTION	BY	REV	DATE	DESCRIPTION	BY
DESIGN:					BASE	TBC		TELEPHONE										
STAKING:					TOPOGRAPHY	TBC		ELECTRIC										
ASBUILT:					PROFILE			CABLE TV										
CONTRACTOR:					SANITARY SEWER			TRAFFIC SIGNAL										
INSPECTOR:					STORM SEWER			DESIGN										
					WATER			QUANTITIES										
					GAS			MUN. FINAL CHECK										
CONSTRUCTION RECORD					PLAN CHECK					REVISIONS								



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No. CE-9132
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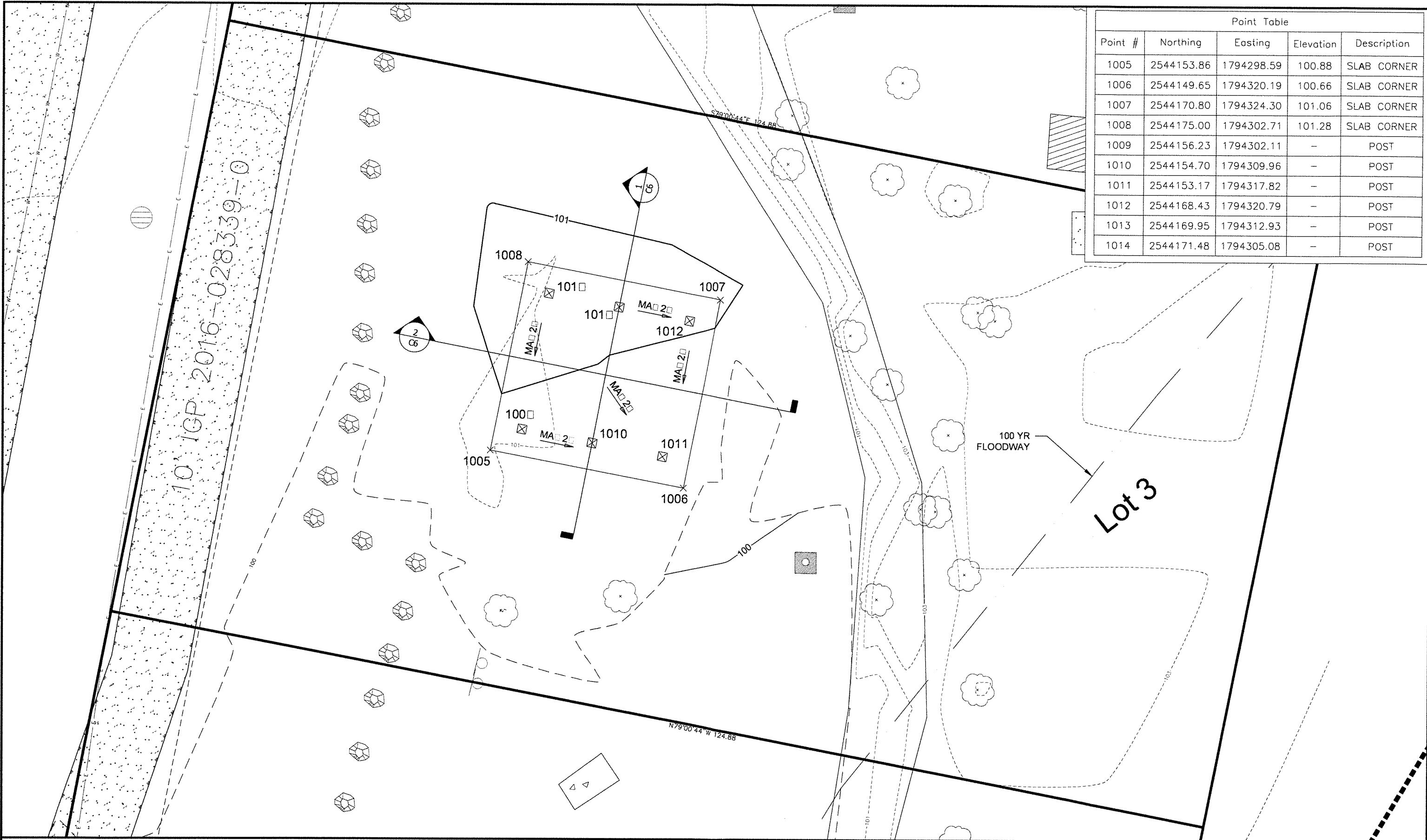
MUNICIPALITY OF ANCHORAGE

PROJECT MANAGEMENT AND ENGINEERING
DEPARTMENT

GIRDWOOD LIONS CLUB PARK SHELTER

CLEARING, GRUBBING, & DEMOLITION

HORZ SCALE: 1"=5'	DATE 02/21/2025	GRID: SE4815	SHEET C4 of C6
VERT SCALE: N.T.S.	ACCT. NO.		



Point Table				
Point #	Northing	Easting	Elevation	Description
1005	2544153.86	1794298.59	100.88	SLAB CORNER
1006	2544149.65	1794320.19	100.66	SLAB CORNER
1007	2544170.80	1794324.30	101.06	SLAB CORNER
1008	2544175.00	1794302.71	101.28	SLAB CORNER
1009	2544156.23	1794302.11	-	POST
1010	2544154.70	1794309.96	-	POST
1011	2544153.17	1794317.82	-	POST
1012	2544168.43	1794320.79	-	POST
1013	2544169.95	1794312.93	-	POST
1014	2544171.48	1794305.08	-	POST

FIELD BOOKS										BM NO.		LOCATION		ELEV.		DATA		DRAWN BY		CHECKED BY		DATA		DRAWN BY		CHECKED BY		REV		DATE		DESCRIPTION		BY		REV		DATE		DESCRIPTION		BY			
DESIGN:																BASE		TBC		TELEPHONE						ELECTRIC																			
STAKING:																PROFILE		TBC		CABLE TV						TRAFFIC SIGNAL																			
ASBUILT:																SANITARY SEWER										DESIGN																			
CONTRACTOR:																STORM SEWER												WATER																	
INSPECTOR:																GAS												QUANTITIES																	
CONSTRUCTION RECORD																PLAN CHECK												REVISIONS																	

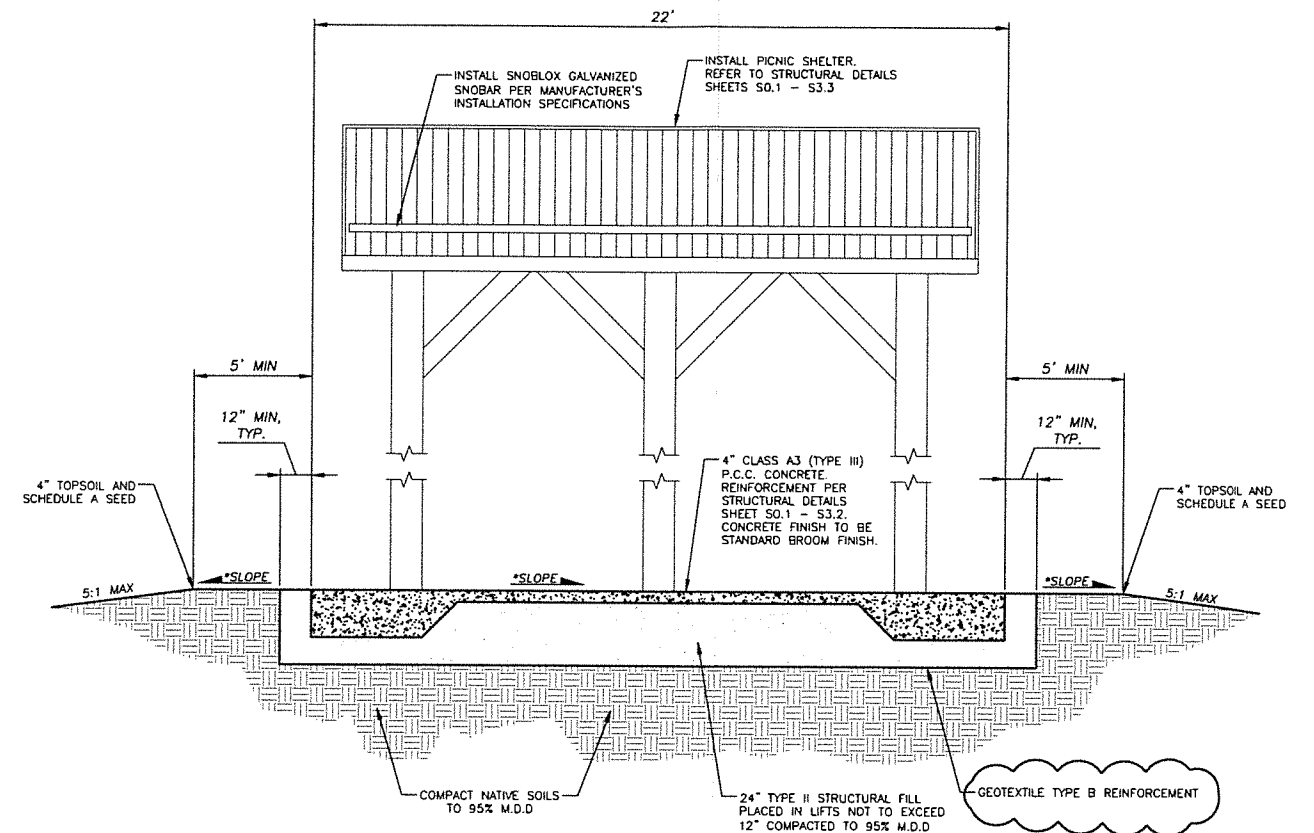
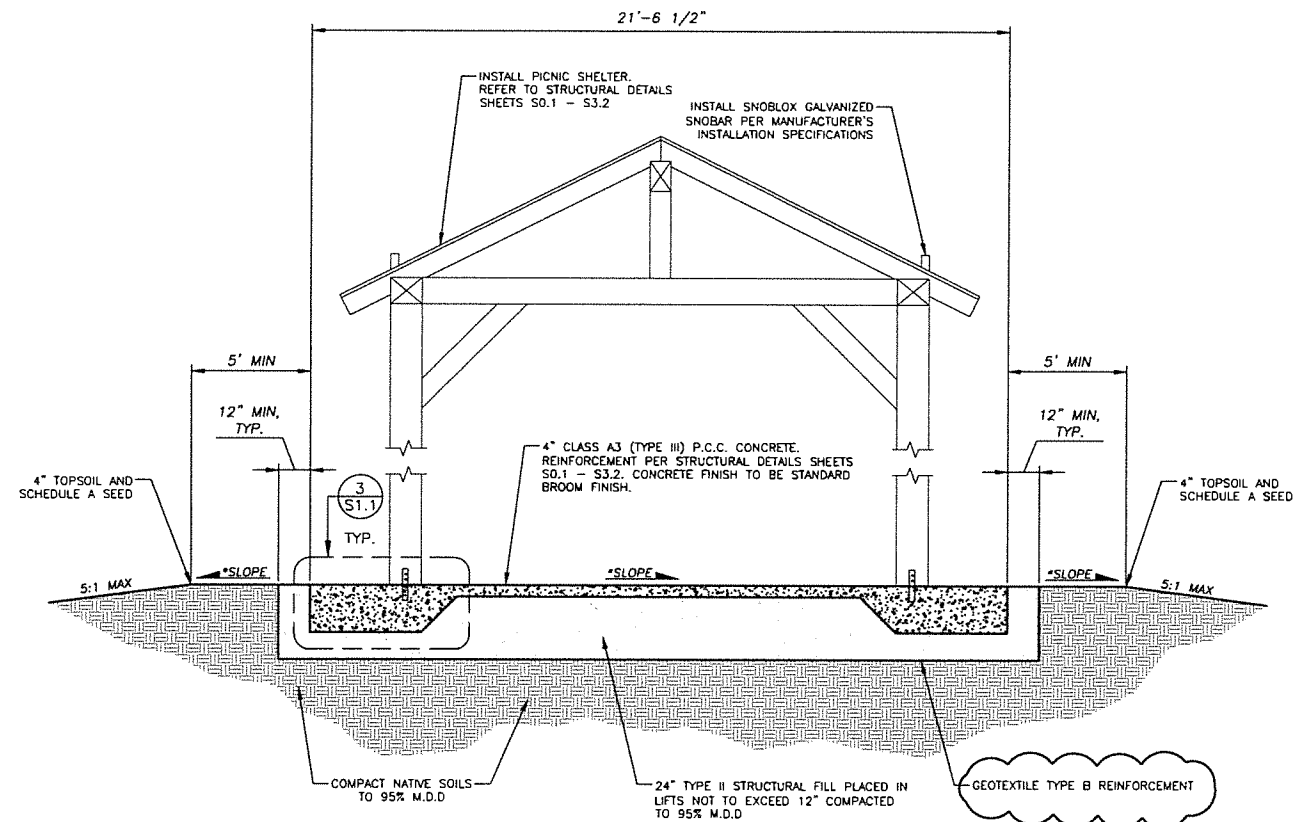
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PROJECT MANAGEMENT AND ENGINEERING DEPARTMENT

GIRDWOOD LIONS CLUB PARK SHELTER

SITE AND GRADING PLAN

HORZ SCALE: 1"=5' DATE 02/21/2025 GRID: SE4815 SHEET C5 of C6
VERT SCALE: N.T.S. ACCT. NO.



* CROSS SLOPES SHALL BE A MINIMUM OF 1.0% AND A MAXIMUM OF 2.0% AS MEASURED IN ALL DIRECTIONS (See Grading Plan)

* CROSS SLOPES SHALL BE A MINIMUM OF 1.0% AND A MAXIMUM OF 2.0% AS MEASURED IN ALL DIRECTIONS (See Grading Plan)

FIELD BOOKS										BM NO.	LOCATION	ELEV.	DATA	DRAWN BY	CHECKED BY	DATA	DRAWN BY	CHECKED BY	REV	DATE	DESCRIPTION	BY	REV	DATE	DESCRIPTION	BY						
DESIGN:													BASE	TBC		TELEPHONE																
STAKING:													TOPOGRAPHY	TBC		ELECTRIC																
ASBUILT:													PROFILE			CABLE TV																
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INSPECTOR:													STORM SEWER			DESIGN																
CONSTRUCTION RECORD													WATER			QUANTITIES																
													GAS			MUN. FINAL CHECK																
													PLAN CHECK										REVISIONS									

CONSULTANT

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SEAL

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Todd C. Jacobson
No. CE-9132
REGISTERED PROFESSIONAL ENGINEER

SEAL

MUNICIPALITY OF ANCHORAGE

PROJECT MANAGEMENT AND ENGINEERING DEPARTMENT

GIRDWOOD LIONS CLUB PARK SHELTER

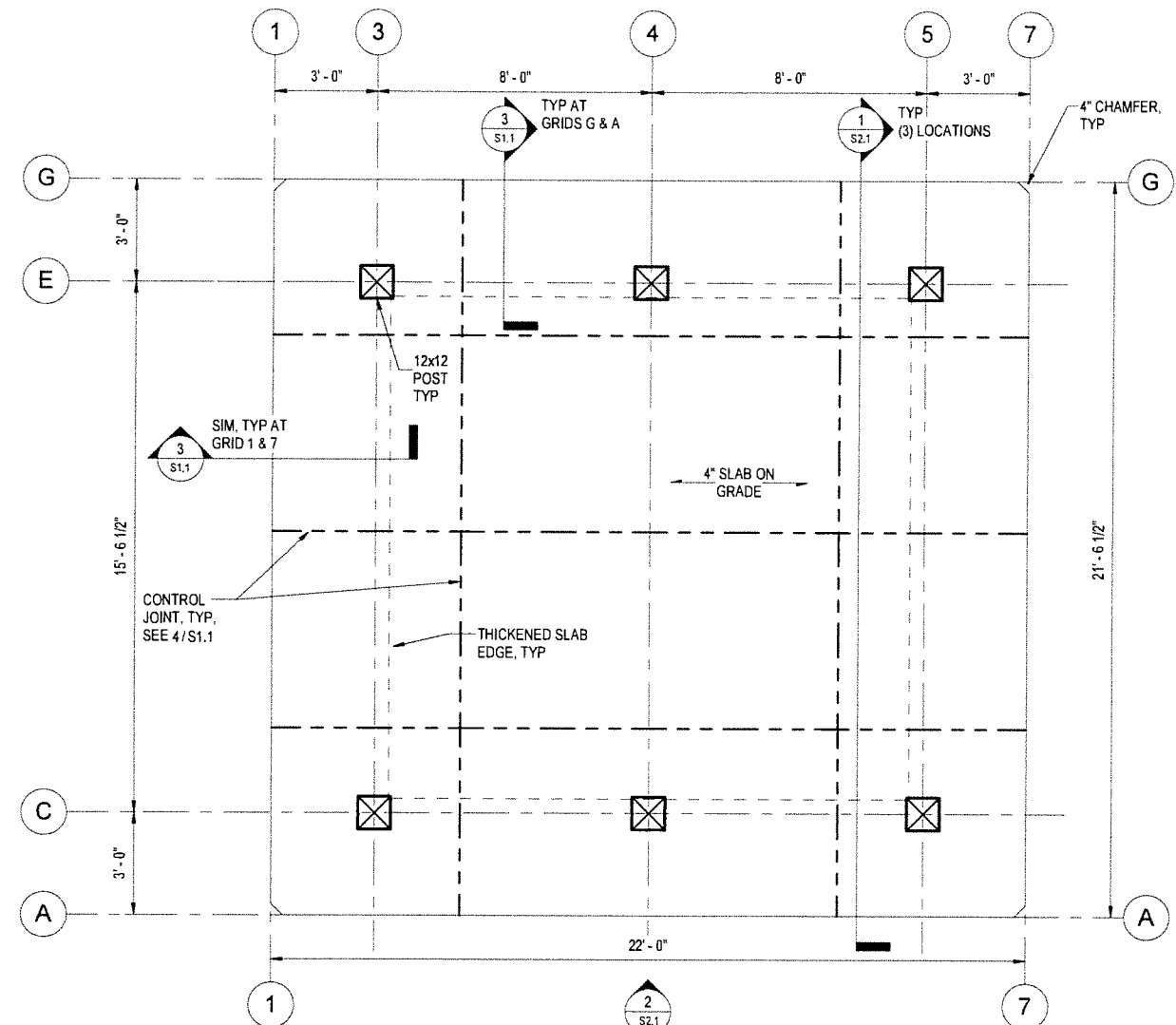
CROSS SECTIONS

HORZ SCALE: 1"=5'
VERT SCALE: N.T.S.

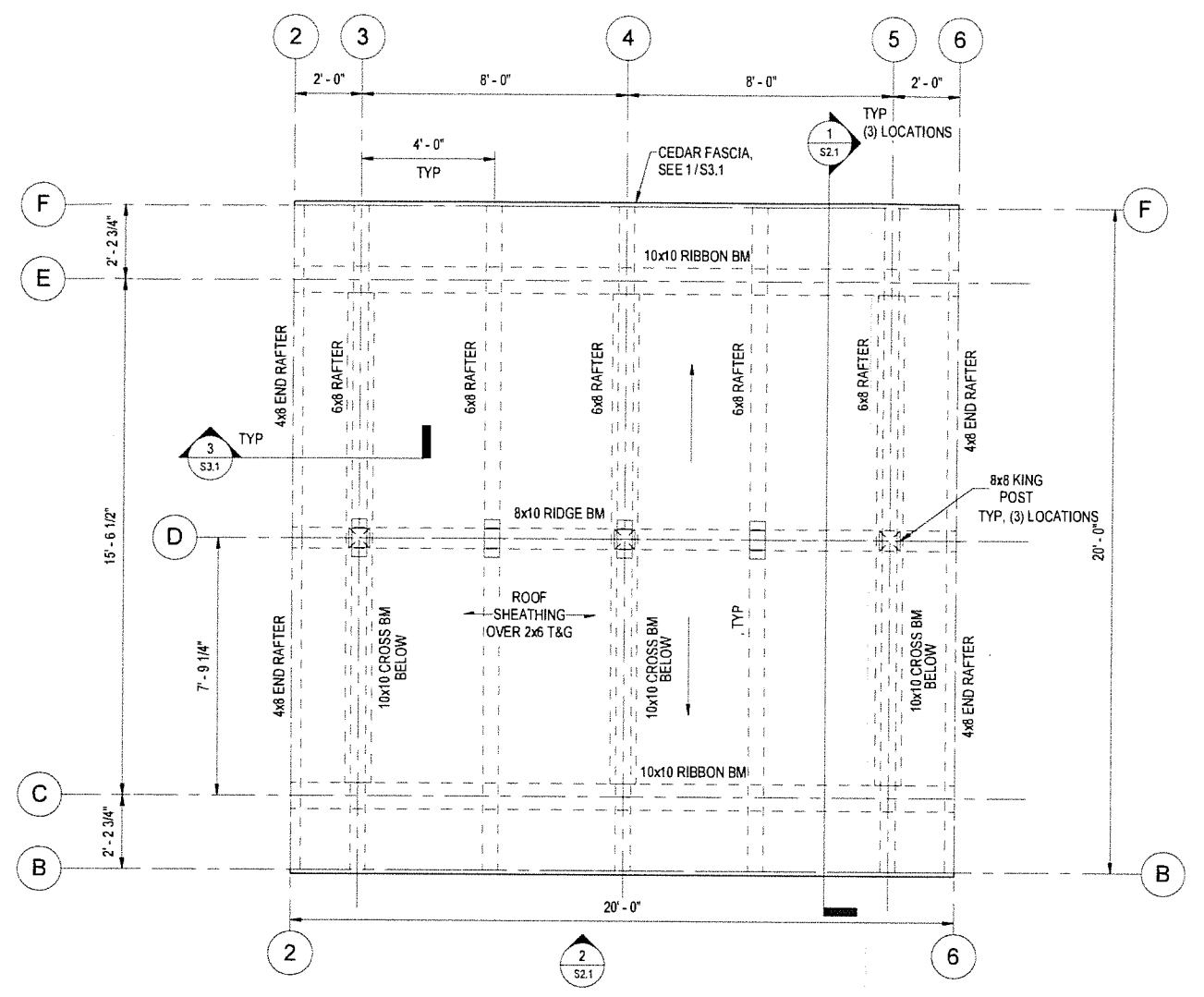
DATE 02/21/2025
ACCT. NO.

GRID: SE4B15

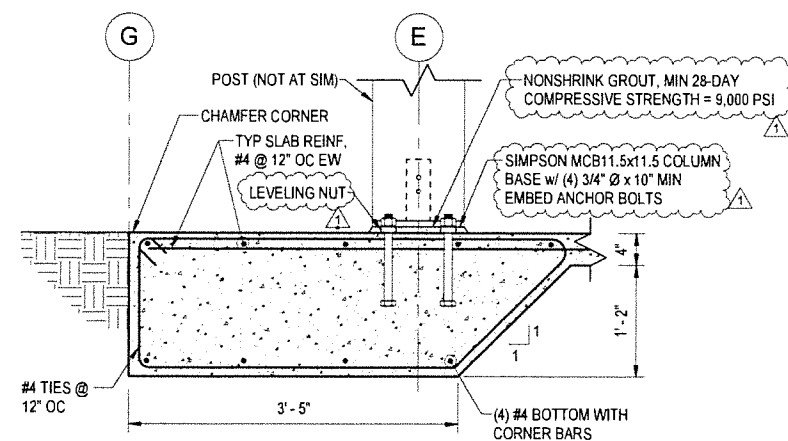
SHEET **C6** of **C6**



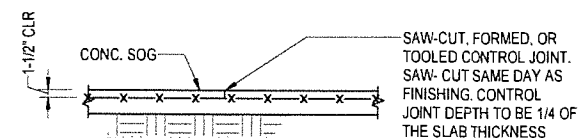
1 FOUNDATION PLAN
S1.1 3/8" = 1'-0"



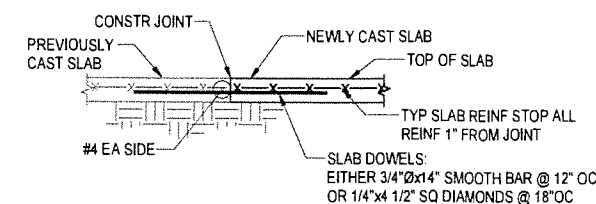
2 ROOF FRAMING PLAN
S1.1 3/8" = 1'-0"



3 SECTION AT SLAB PERIMETER
S1.1 1" = 1'-0"



TYPICAL CRACK CONTROL JOINT (CCJ)



TYPICAL CONSTRUCTION JOINT (CJ)

- NOTES:
- CONSTRUCTION JOINTS MAY BE USED AT ANY CONTROL JOINT.
 - LOCATE JOINTS BTWN 24x & 36x SLAB THICKNESS 1" IN BOTH DIRECTIONS.
 - CREATE SQUARE OR RECTANGULAR SPACES BTWN JOINTS (NOT TRIANGULAR). DO NOT EXCEED 1.5:1 ASPECT RATIO IN RECTANGULAR PORTIONS. DO NOT CREATE T-OR L-SHAPED PORTIONS. LOCATE JOINTS AT EACH RE-ENTRANT CORNER OR REINF W/ #4x4'-0" DIAG BAR.

4 TYP SOG JOINT DETAILS
S1.1 3/4" = 1'-0"

100% FINAL
DOCUMENTS

ReidMiddleton

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GIRDWOOD LIONS CLUB PARK SHELTER
GIRDWOOD, ALASKA

REVISION SCHEDULE

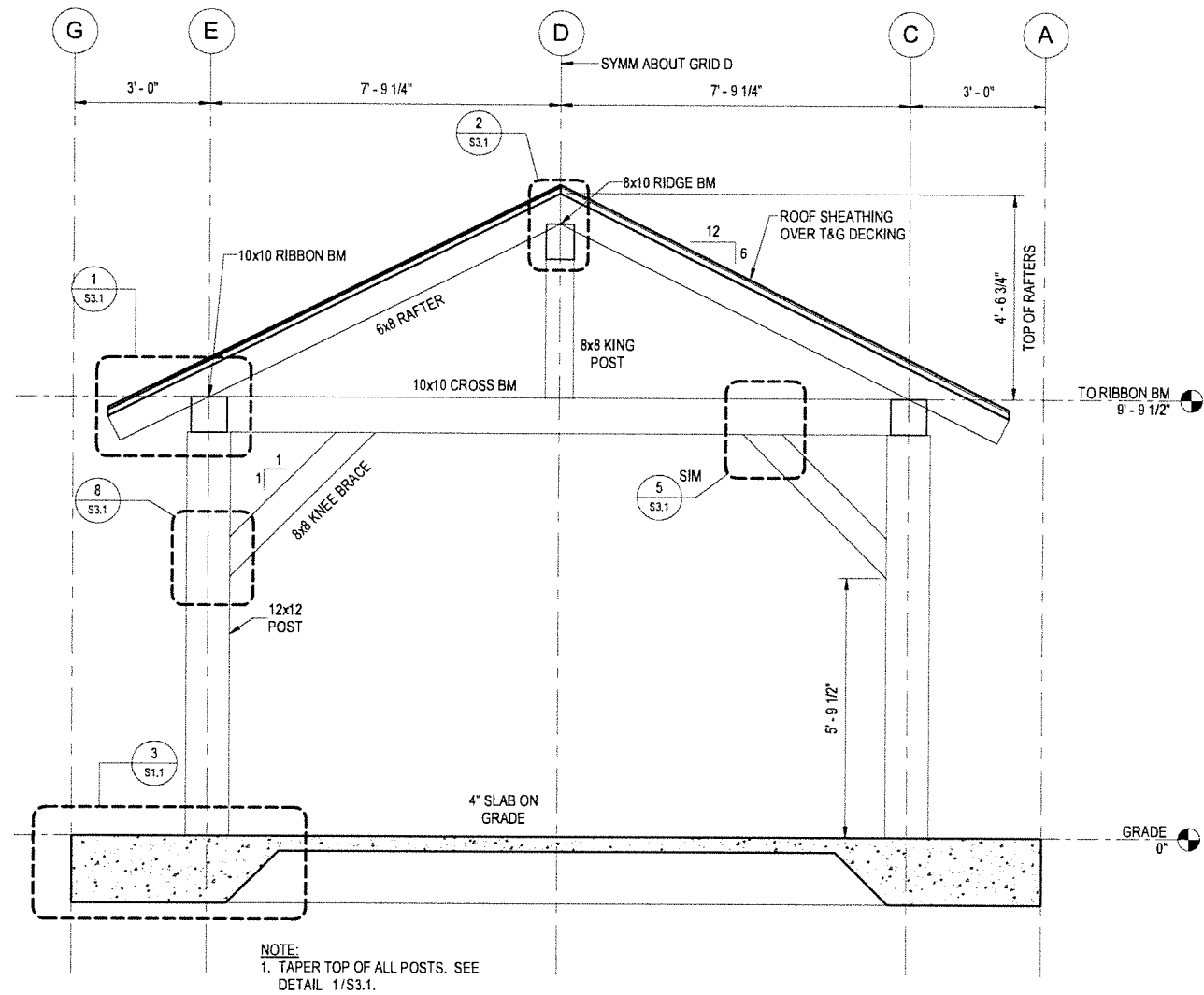
#	DESCRIPTION	DATE
1	PERMITTING	03/18/25

DATE : 02/26/25
PROJECT NO : 402022.085
DRAWN BY : GC
CHECKED BY : EH
COPYRIGHT : 2025

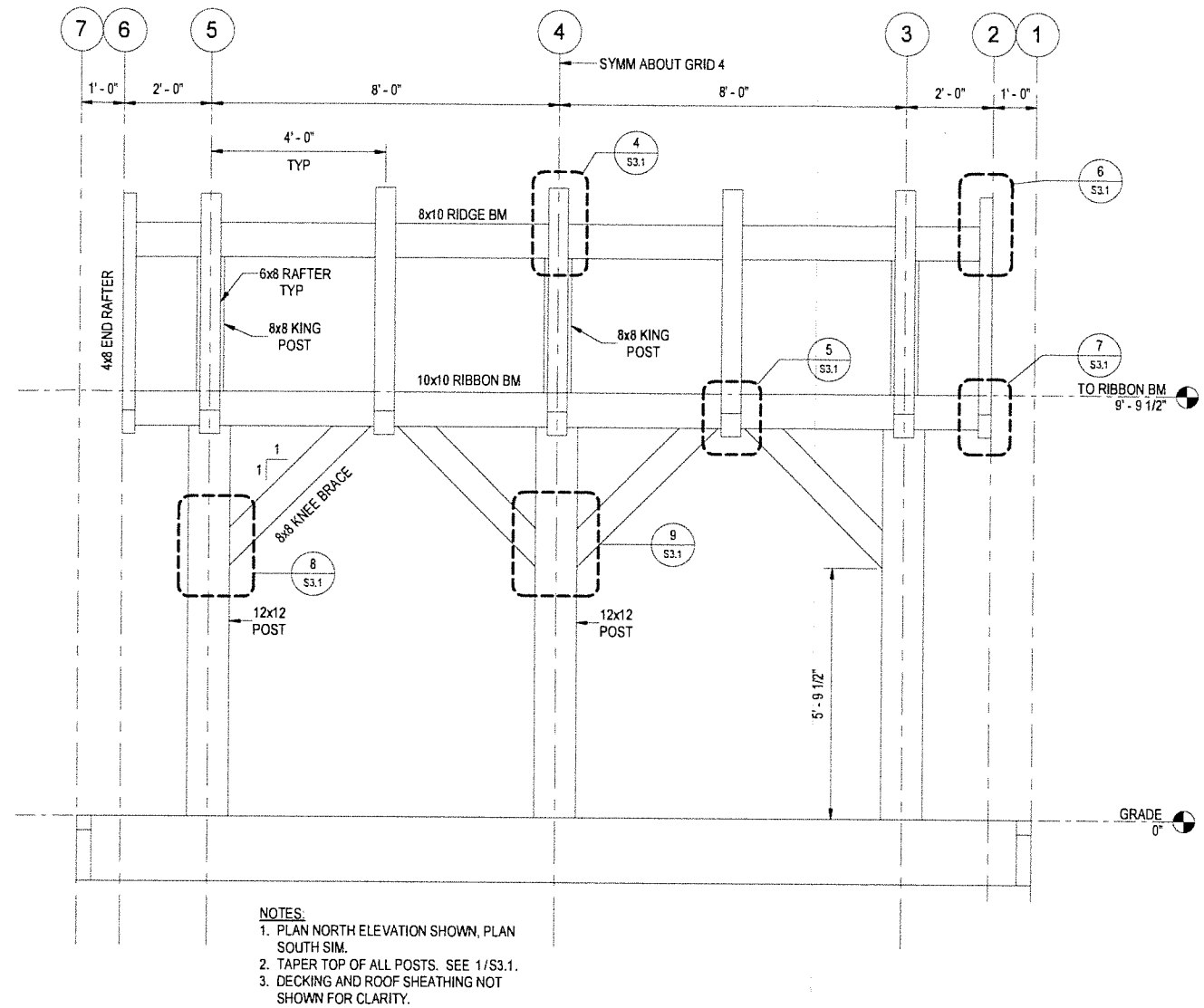
SHEET DESCRIPTION:
PLANS & SLAB
DETAILS

SHEET NO:

S1.1



1 SHELTER SECTION
S2.1 1/2" = 1'-0"



2 PLAN NORTH ELEVATION
S2.1 1/2" = 1'-0"

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GIRDWOOD LIONS CLUB PARK SHELTER
GIRDWOOD, ALASKA

REVISION SCHEDULE		
#	DESCRIPTION	DATE

DATE : 02/26/25
PROJECT NO : 402022.085
DRAWN BY : GC
CHECKED BY : EH
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SHEET DESCRIPTION:
SHELTER SECTION
AND ELEVATION

SHEET NO:

S2.1

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GIRDWOOD LIONS CLUB PARK SHELTER
GIRDWOOD, ALASKA

REVISION SCHEDULE

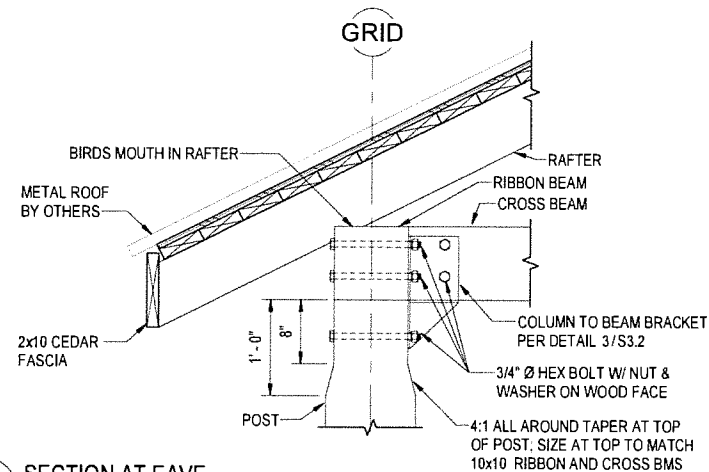
#	DESCRIPTION	DATE
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DATE : 02/26/25
PROJECT NO : 402022.085
DRAWN BY : GC
CHECKED BY : EH
COPYRIGHT : 2025

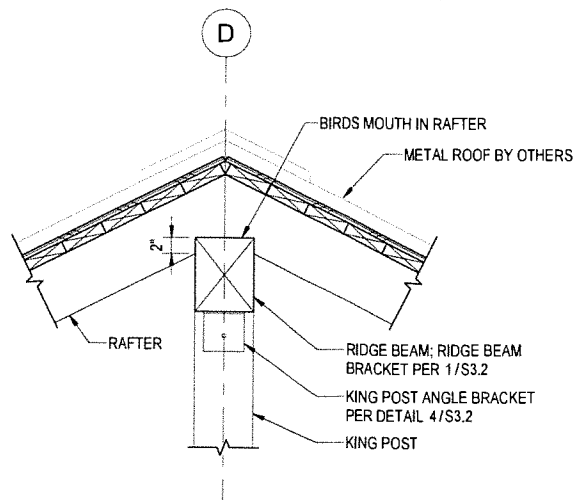
SHEET DESCRIPTION:
SHELTER DETAILS

SHEET NO:

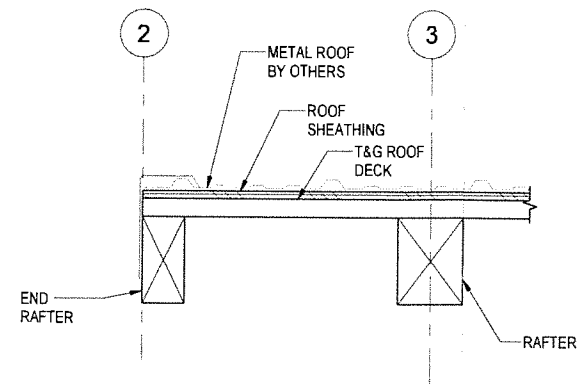
S3.1



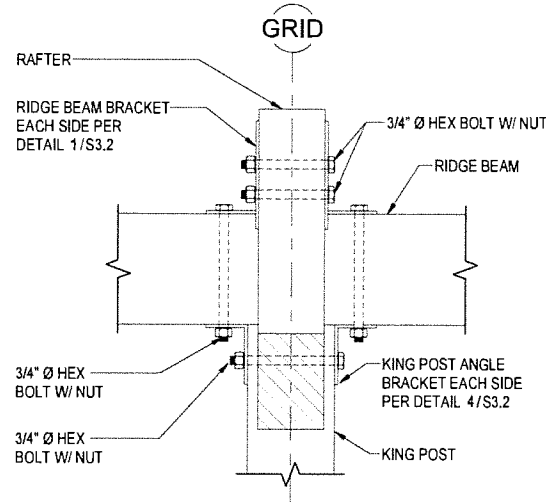
1 SECTION AT EAVE
S3.1 1" = 1'-0"



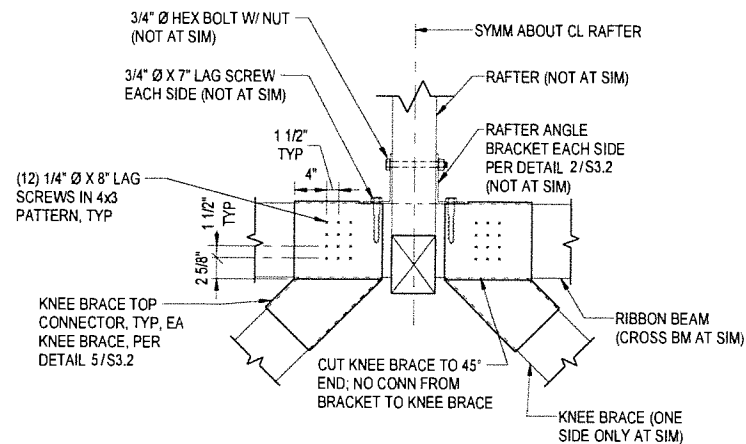
2 RIDGE W/ ROOFING
S3.1 1" = 1'-0"



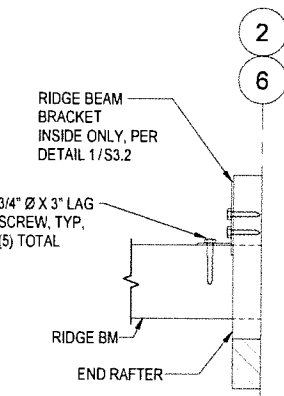
3 GABLE SECTION
S3.1 1 1/2" = 1'-0"



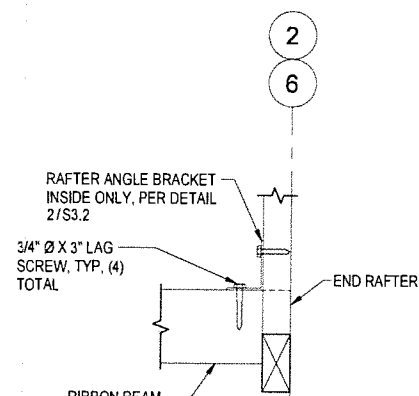
4 RAFTER CONN TO RIDGE BEAM
S3.1 1 1/2" = 1'-0"



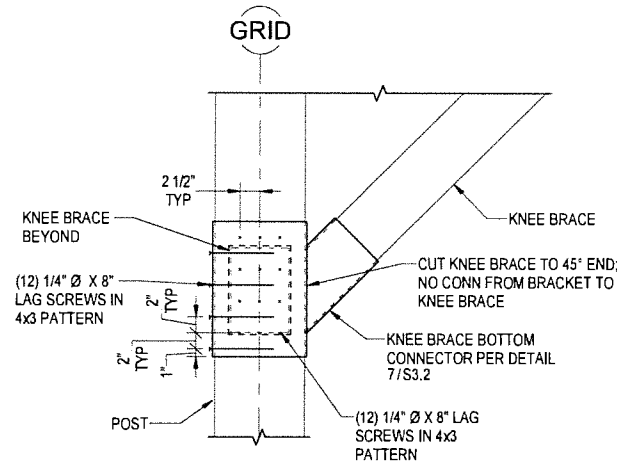
5 RAFTER CONN TO RIBBON BEAM
S3.1 1" = 1'-0"



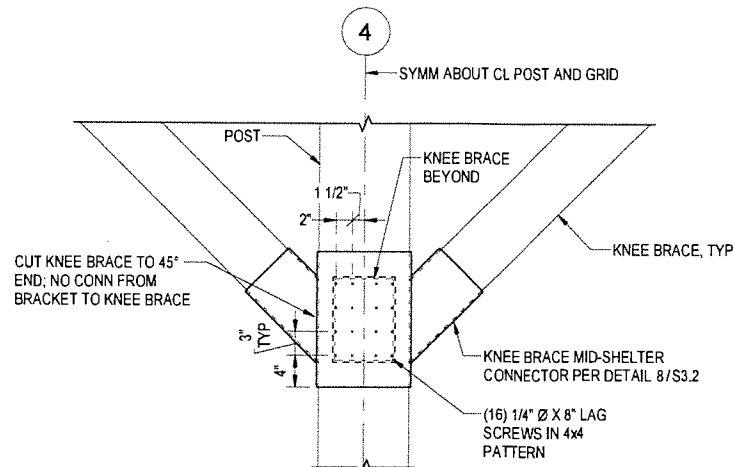
6 END RAFTER TOP CONN
S3.1 1" = 1'-0"



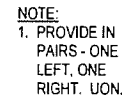
7 END RAFTER BOT CONN
S3.1 1" = 1'-0"



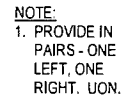
8 KNEE BRACE BOTTOM CONNECTION
S3.1 1" = 1'-0"



9 KNEE BRACE BOTTOM CONNECTION AT MID-SHELTER
S3.1 1" = 1'-0"



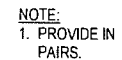
S3.2 $1\frac{1}{2}'' = 1'-0''$



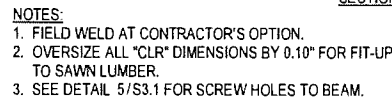
S3.2	11/2 = 1.4
------	------------



53.2	$117 = 14$
------	------------



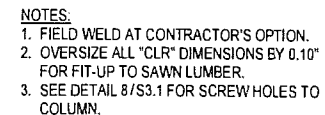
4 KING



S3.2 $1\frac{1}{2}'' = 1'-0''$



S3.2 $1\frac{1}{2} = 1-0$



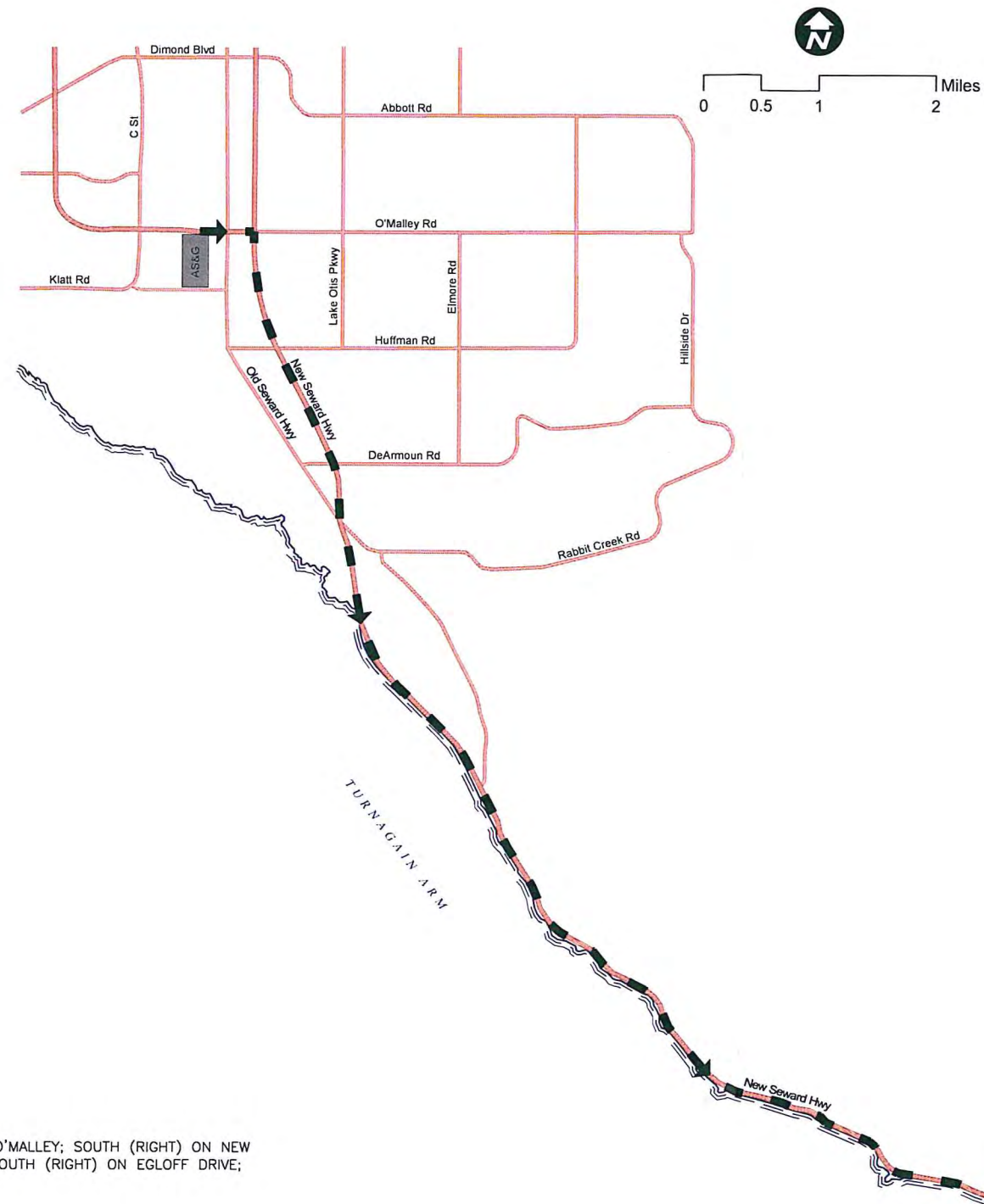
NOTE:

1. SEE 7/S3.2 FOR DETAILS NOT SHOWN.
2. OVERSIZE ALL "CLR" DIMENSIONS BY 0.10" FOR FIT-UP TO SAWN LUMBER.
3. SEE 9/S3.1 FOR SCREW HOLES TO COLUMN.

8 KNEE B

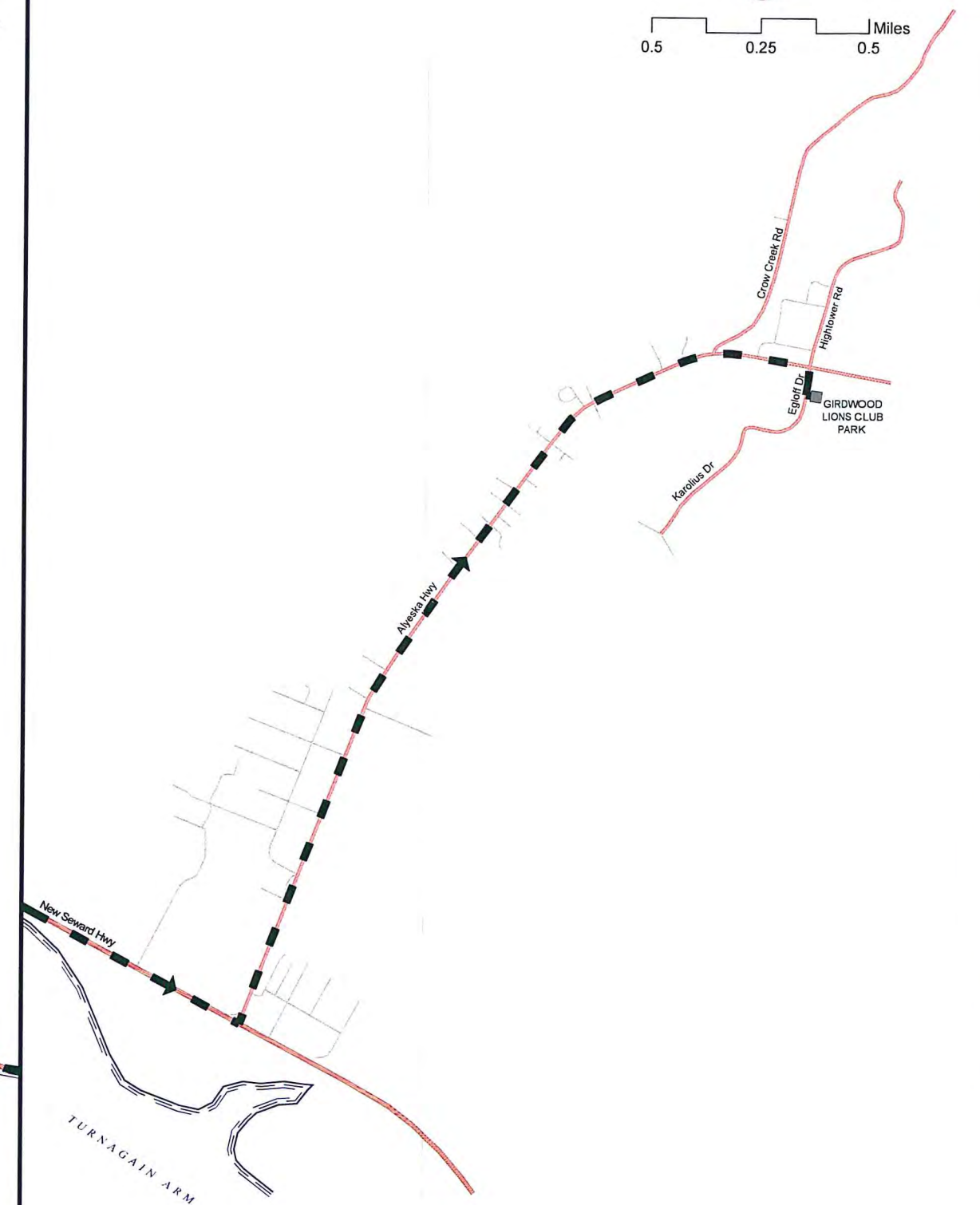
SHEET NOTE:
1. ALL BOLT HOLES IN PLATES TO BE STD HOLES FOR 3/4" Ø BOLT.

S3.2



HAUL ROUTE:

IMPORT HAUL ROUTE: ANCHORAGE SAND AND GRAVEL AT O'MALLEY; SOUTH (RIGHT) ON NEW SEWARD HIGHWAY; NORTH (LEFT) ON ALYESKA HIGHWAY; SOUTH (RIGHT) ON EGLOFF DRIVE; PROJECT SITE IS ON THE LEFT.



FIELD BOOKS				BM NO.	LOCATION	ELEV.	DATA	DRAWN BY	CHECKED BY	DATA	DRAWN BY	CHECKED BY	REV	DATE	DESCRIPTION	BY	REV	DATE	DESCRIPTION	BY
DESIGN:							BASE	TBC		TELEPHONE	---									
STAKING:							TOPOGRAPHY	TBC		ELECTRIC	---									
							PROFILE	---		CABLE TV	---									
ASBUILT:							SANITARY SEWER	---		TRAFFIC SIGNAL	---									
CONTRACTOR:							STORM SEWER	---		DESIGN	---									
INSPECTOR:							WATER	---		QUANTITIES	---									
							GAS	---		MUN. FINAL CHECK	---									
CONSTRUCTION RECORD				VERTICAL DATUM			PLAN CHECK					REVISIONS								



The Boutet Company, Inc.
601 E. 57th Place #102
Anchorage, AK 99518
Ph. 907-522-6776
Fx. 907-522-6779
License No. AECC957



PROJECT MANAGEMENT AND ENGINEERING
DEPARTMENT

GIRDWOOD LIONS CLUB PARK SHELTER

HAUL ROUTE

HORZ SCALE: SEE SHEET

DATE 02/21/2025

GRID: SE4815

VERT SCALE: N.T.S.

ACCT. NO.

SHEET G1 of G1

TRANSIT-SUPPORTIVE DEVELOPMENT

March 2025



WHAT IS TRANSIT-SUPPORTIVE DEVELOPMENT?

- ▶ Transit-Supportive Development is a planning and design strategy that consists in promoting urban development that is compact, mixed-use, pedestrian- and bicycle-friendly, and closely integrated with mass transit by clustering jobs, housing, services, and amenities around public transport stations
- 
- A series of white diagonal lines of varying lengths and thicknesses are positioned in the bottom right corner of the slide, creating a modern, abstract graphic element.

DO WE WANT IT?

- ▶ At the Federal Level (HUD): “Transit-Oriented Development is increasingly recognized as having the potential to improve the quality of life for American households, by creating vibrant, livable communities in proximity to transit.”
- ▶ At the Muni Level:
 - ▶ 2040 Land Use Plan (LUP), AO 2017-116
 - ▶ Goal 2:
 - ▶ Identify the most appropriate areas that can absorb more intensive use and compact housing
 - ▶ Ensure that infrastructure can serve identified sites, and that public amenities are available nearby; and
 - ▶ Support redevelopment and infill projects that can catalyze additional development.



Transit-supportive Development

Transit-supportive Development (TSD) identifies corridors where expanded public transit service will support a compact, walkable pattern of commercial, residential, and/or mixed-use development. Over time, compact development can create ridership demand to support more frequent bus service. It will give Anchorage’s households more choices in how to get to work and other destinations. It also provides more opportunities to live in a walkable, accessible, and affordable neighborhood environment.

WHAT DOES TSD LOOK LIKE?

2040 LUP



St. Paul, MN



Smyrna, TN



Portland, OR



Mercer Island, WA

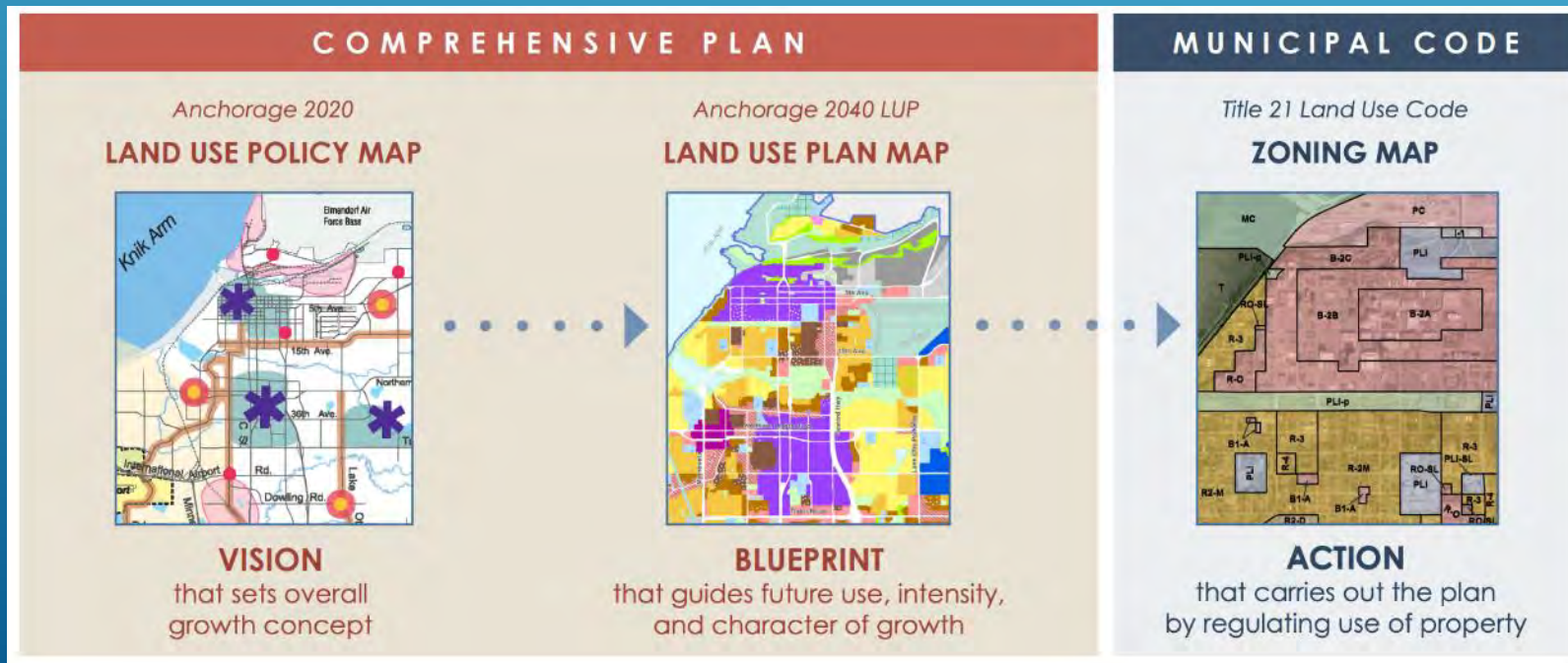


RELATIONSHIP BETWEEN PLANS AND CODE

- ▶ Plans: Vision and Strategy for the future shape of Anchorage
- ▶ Code: What can actually be built on the ground
- ▶ Transit-Supportive Development is in our plans, but was never implemented to be in code

We want this In the future

We can do this now

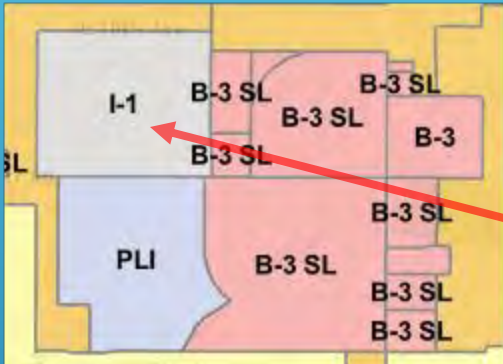
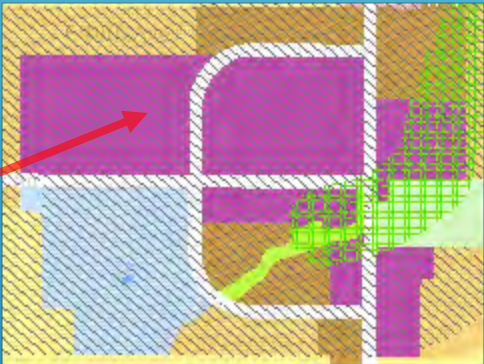


RELATIONSHIP BETWEEN PLANS AND CODE

We want this In the future
(2040 LUP)

Muldoon

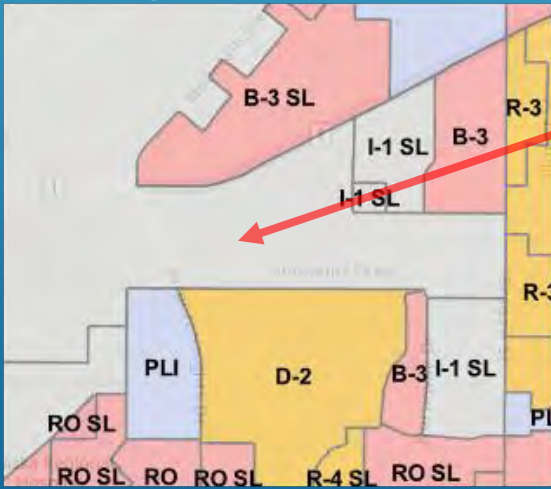
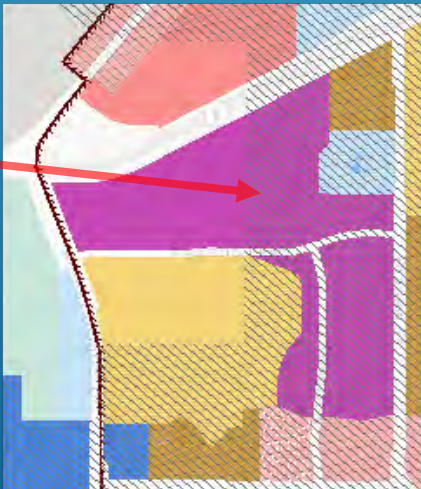
We can do this now
(Code)



Town Centers (Purple):
Housing
Mixed-Use
Walkable

Airport Heights

Industrial:
No Housing Allowed



WHAT OUR EXISTING CODE RESULTS IN: (MULDOON FRED MEYER AREA)

Existing land use regulations result in this:



WHAT TSD COULD RESULT IN:

Updated land use regulations could allow this:



[illegible]

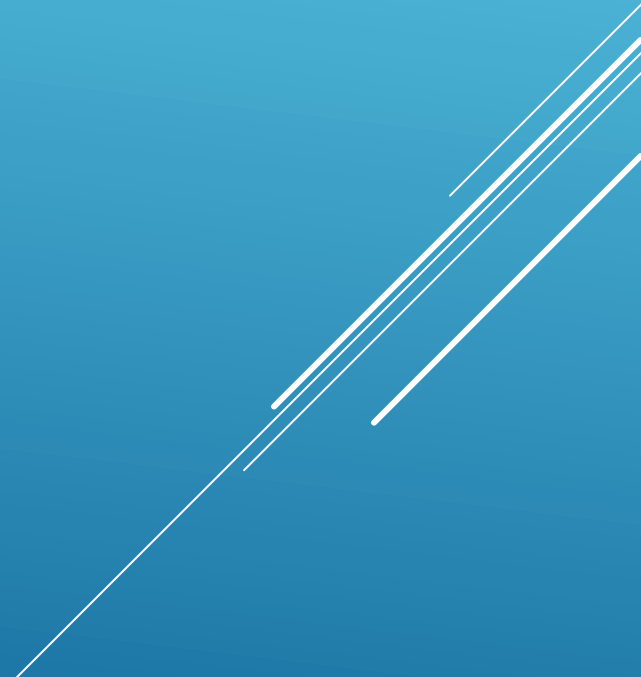
ALSO, TOWN CENTERS
ARE DARK PURPLE

WHO DOES IT HELP AND HOW?

▶ Who

- ▶ Young families and professionals
- ▶ Seniors Looking to downsize but stay in their community and maintain independence
- ▶ Entrepreneurs who want to serve their community
- ▶ Everyone who loves walking or biking to get a cup of coffee or a pastry

▶ How

- ▶ Increased availability and diversity of housing
 - ▶ Dynamic neighborhoods and corridors
 - ▶ Greater transportation flexibility and choice
 - ▶ Commercial opportunities and growth
 - ▶ Financial benefits to city and residents
- 
- A series of white diagonal lines of varying lengths and thicknesses, located in the bottom right corner of the slide, creating a modern, abstract graphic element.

BENEFITS

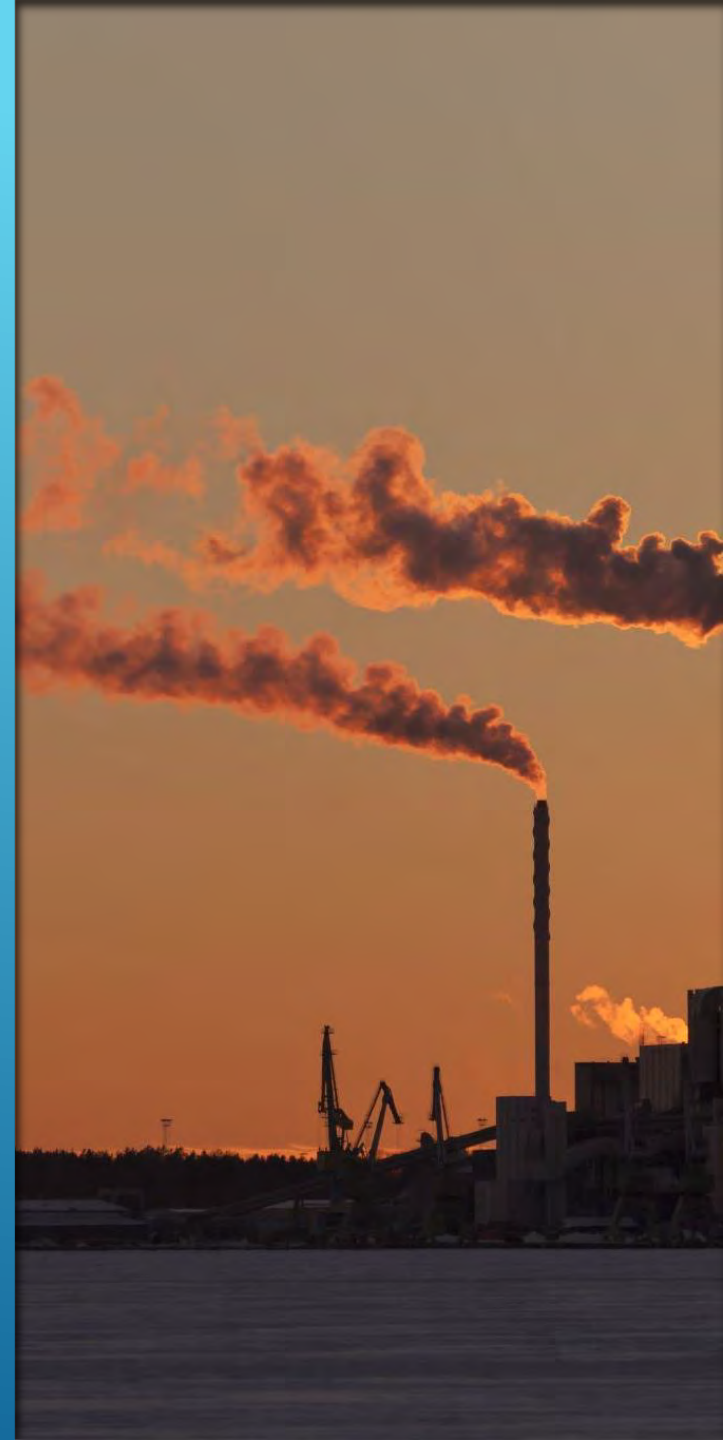
- ▶ University of Utah: Walkable neighborhoods contribute to 15% decrease in obesity and 20% decrease in diabetes
- ▶ Fiscally sound policy: more intensive land use contributes greater property taxes at same mill rates and land valuations for existing properties
- ▶ Increases development by relieving constrictions on development that contribute to high housing prices and depreciating housing stock
- ▶ Creates affordable, attainable, desirable housing at a range of income levels and in multiple areas of town
- ▶ Provides greater incentive for roads to be retrofitted for greater pedestrian and cyclist use as areas transform into mixed-uses

DOES IT WORK?

- ▶ U.S. Department of Transportation: “Homes in walkable and transit-accessible areas are extremely desirable, and insufficient supply generally leads to higher prices for these homes. Increasing the amount of development near transit enables lower housing costs and makes more convenient transit service available for residents of all incomes.”

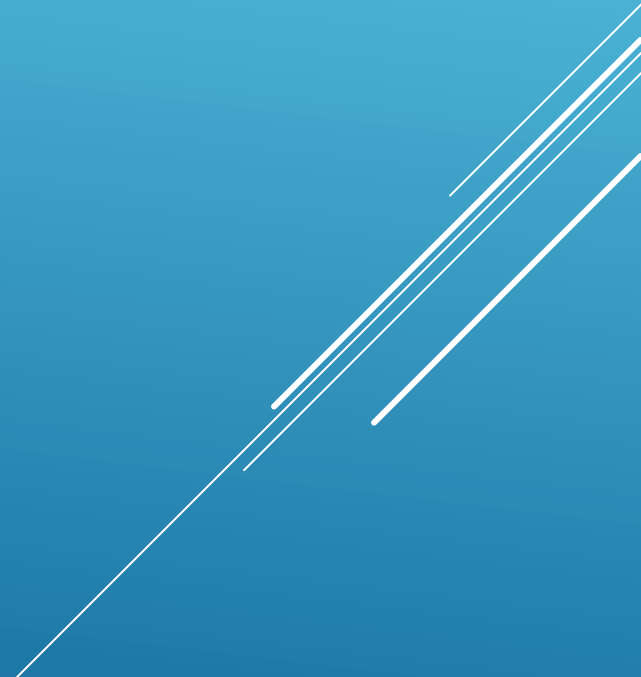
- ▶ Urban Areas
 - ▶ Significant drops in energy consumption
 - ▶ 4,000 ppl/km²
 - ▶ 10,000 ppl/km²
 - ▶ 22,000 ppl/km²
 - ▶ DU/Acre:
 - ▶ 6
 - ▶ 16
 - ▶ 35 (FTA goal for TSD is 36 du/acre)
- ▶ Per Capita Energy Consumption:
 - ▶ U.S. Average: 279 Million BTUs
 - ▶ Alaska: 987 Million BTUs (3.5x the average)

FROM A CLIMATE STANDPOINT

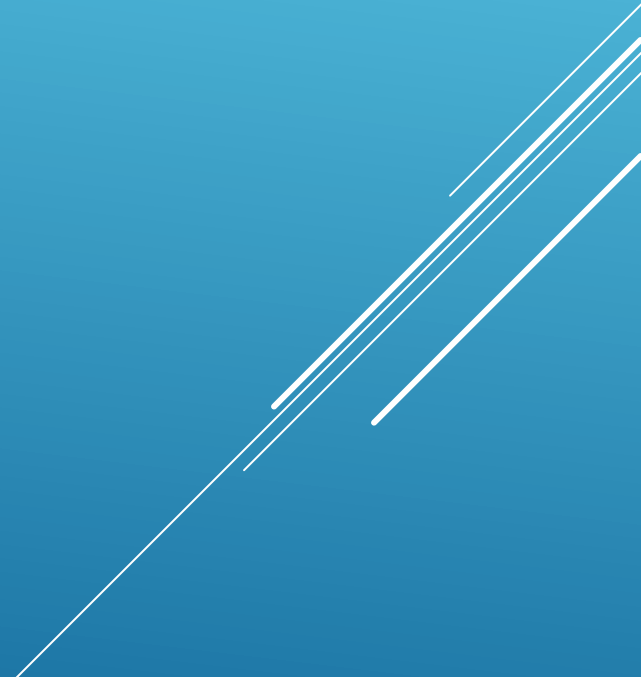


WHAT IS THE PATH FORWARD?

- ▶ Resolution in support of implementing Town Centers and Transit-Supportive Corridors from the 2040 LUP.
- ▶ Engage in the public process should an ordinance come forward.



BACKUP SLIDES



GIRDWOOD BOARD OF SUPERVISORS

Town Centers and Transit Supportive Development Corridors

WHEREAS, the Girdwood Board of Supervisors exists to afford citizens an opportunity for maximum community involvement and self-determination, and to provide a direct and continuing means of citizen participation in local affairs,

WHEREAS, Girdwood Board of Supervisors acknowledges Anchorage's ongoing housing crisis is linked to: a decline in population, an increase in homelessness, an increase in criminal activity, a lack of economic opportunities for young people and entrepreneurs, a lack of housing choices for seniors, a lack of well-paying jobs in the trades, increased traffic safety issues, a lack of resilience in the transportation system, and a lack of housing that is affordable for everyday hardworking Alaskans,

WHEREAS, Girdwood Board of Supervisors desires to see housing and entrepreneurial opportunities developed in areas of the Anchorage Bowl that through a robust public process were determined to be acceptable for such development and additional density while simultaneously relieving pressure to increase density in areas that are predominantly single family in nature,

WHEREAS, the Anchorage 2040 Land Use Plan employed such a robust public participation process in designating certain areas of the Anchorage Bowl as Town Centers and Transit Supportive Development Corridors which should be developed in a manner that is mixed-use in nature with densities sufficient to encourage walkability and support both active and public transit,

WHEREAS, these areas align with Girdwood Board of Supervisors's vision for areas that are proper for additional development and density of housing and entrepreneurial opportunities,

WHEREAS, multiple adopted plans support such development in these areas including the Anchorage 2020 Comprehensive Plan, Anchorage 2040 Land Use Plan, and Anchorage Climate Action Plan,

NOW THEREFORE BE IT RESOLVED Girdwood Board of Supervisors supports the Anchorage Assembly taking action to implement Transit Oriented Development in the areas designated in the Anchorage 2040 Land Use Plan as Town Center and/or Transit Supportive Development Corridor. This support is subject to the following items:

- 1) The resulting code should be flexible enough to allow for many different types of housing including, but not limited to:
 - a. Small-Lot Single Family Homes
 - b. Cottage Courts

- c. Apartment buildings of reasonable heights for the subject areas and which can be configured in a way that support floor plans that can accommodate young families
 - d. Single-Room Occupancy Developments
- 2) These areas should incentive mixed-use and active transportation for maximum benefit by:
 - a. Studying ways to reduce the dependence on traffic signaling
 - b. Encourage safe, comfortable, and affordable active and public transit options
- 3) Recognizing the importance of honoring the public process, areas prioritized for implementation should include areas which:
 - a. Supported implementation within their neighborhood boundaries during development the Anchorage 2040 Land Use Plan or;
 - b. Provide support for implementation during any process leading up to a change in code
- 4) Changes in code should incentivize development of affordable and workforce housing in ways that do not discourage development in general. The Assembly should avoid restrictions such as inclusionary zoning, which, while well intentioned, has the practical effect of discouraging development.

Resolved this XXth day of May 2025

SAMPLE

Signature

Title

From: [Honest, Miranda L.](#)
To: zackary.gottshall@gmail.com; Girdwood Board of Supervisors; TACCPresident@proton.me
Cc: [Spano, Liza M.](#); [Community Councils](#)
Subject: Notice of Deemed Complete Renewal Application of License 2025-2027
Date: Tuesday, April 29, 2025 1:49:15 PM
Attachments: [2025-2027 The Frost Frontier #M10161 Renewal-TakuCampbell.pdf](#)
[2025-2027 The Herbal Cache #M19277 Renewal-GBOS.pdf](#)
[2025-2027 Alaska Rustic #M10239 Renewal-TurnagainArm.pdf](#)

Dear Community Council:

This email is to notify you that the Clerk's Office has received and deemed complete the attached application(s) for the renewal of a municipal marijuana license within your boundary as required by Anchorage Municipal Code (AMC) 10.80.036C.

Currently, the application(s) are under review. The application(s) will be scheduled for final review by the Assembly at a regularly scheduled Assembly Meeting. You will be notified of the date and time, once scheduled.

The Community Council may send comments regarding the attached municipal marijuana license application to wwwmas@muni.org or reply to this email. Please include the business name in the subject line.

If you have any concerns or issues with the above referenced establishment(s) we recommend contacting Municipal Code Enforcement and the State of Alaska Enforcement, and file a formal complaint, supplying detailed information regarding your concerns.

- *File a complaint with Municipal Code Enforcement – 343-4141 or online [HERE](#).*
- *File a complaint with the State of Alaska Alcohol & Marijuana Enforcement – 269-0350 or email amco.enforcement@alaska.gov*

If you feel that there are criminal activities taking place, please contact Anchorage Police Department and give them information possible criminal activities associated with the premises.

File a complaint with Anchorage Police Department - [file your report here](#)



Thank you,
Mandy Honest
Business License Official

Municipality of Anchorage
Municipal Clerk's Office
907-343-4316

Messages to and from this email address may be available to the public under Alaska Public Records Law.

Renewal Application for Municipal Marijuana Establishment License

Municipality of Anchorage
Clerk's Office
PO Box 196650
Anchorage, AK 99519-6650

APPLICANT INFORMATION

Name of Authorized Applicant (see 3 AAC 306.020(d)) (last, first, MI):

Carse, Brent

Home Physical Address:

317 Timberline dr

Contact Phone - Day:

907-764-7108

Contact Cell:

City, State, Zip Code:

Girdwood, AK 99587

Business Mailing Address:

PO Box 822

E-mail (required):

Brent.Carse@gmail.com

City, State, Zip Code:

Girdwood, AK 99587

MARIJUANA ESTABLISHMENT INFORMATION

Business Owner and Doing Business As Name: Brent Carse The Herbal Cache LLC

Municipal License Number: M 19277

☐ Cultivation Facility (including Limited Cultivation Facility)

☐ Manufacturing Facility (including Concentrate Manufacturing Facility)

☐ Testing Facility

☒ Retail Sales Establishment

☐ On-Site Consumption Endorsement

PROPERTY INFORMATION

Site Street Address: 158 Holmgren Pl Girdwood, AK 99587

Any dwelling units on the property?

☐ Yes

☒ No

Any liquor licenses on the property?

☐ Yes

☒ No

APPLICATION REQUIREMENTS (Supporting documents must be submitted with renewal application.)

☒ Signed (original)

☒ List of all licensees and affiliates (3 AAC 306.020) with their home physical addresses (use additional sheet if necessary)

☒ Report any changes from last submitted application as required by AMC 10.80.036 (must also submit a change report/transfer application).

(Additional information may be required)

SWORN STATEMENT LISTING ALL CRIMINAL CHARGES ON WHICH THE LICENSEE(S) HAVE BEEN CONVICTED AND ANY CIVIL VIOLATION OF AS 04, AS 17.38, OR TITLE 10.80 IN THE CURRENT AND PREVIOUS CALENDAR YEARS AS REQUIRED BY AMC 10.80.036B.

I, the applicant, hereby swear that the following is a complete list of all such convictions for each proposed owner and manager of the marijuana establishment. None

(use additional sheet if necessary)

RECENT REGULATORY INFORMATION (Events that have occurred in the last 1 year for all or a portion of the site)

☐ Building or Land Use Permit:

☐ Land Use Enforcement Action:

☐ Nonconforming Determination requested for property?

ALL LICENSEES & AFFILIATES (3 AAC 306.306.020, use additional sheet if necessary)

Current Licensees and Affiliates:

Last, First, MI

Carse Brent

Home Physical Address:

317 Timberline dr, Girdwood, AK 99587

BC (initial) I hereby certify that I am owner of the property described above, or that I have permission from the owner to use the property described above, and that I am applying for a municipal license renewal in conformance with Title 10 and Title 21 of the Anchorage Municipal Code. My establishment will remain in conformance with municipal code at all times.

BC (initial) If I am applying for a license renewal for a marijuana cultivation facility, marijuana manufacturing facility, or marijuana retail sales establishment, I swear that neither I nor any proposed licensee (as defined in 3 AAC 306.020(b)(2)), agent, or employee of the proposed licensee, have any ownership or financial interest in any marijuana testing facility. If I am applying for a license renewal for a marijuana testing facility, I swear that neither I nor any proposed licensee, agent, or employee of the proposed licensee, have any ownership or financial interest in any marijuana cultivation facility, marijuana manufacturing facility, or marijuana retail sales establishment.

BC (initial) I hereby swear that no proposed licensee (as defined in 3 AAC 306.020(b)(2)) owes past-due taxes (property, business personal property, or other), fees (utility or other), or fines (traffic, library, trash, or other) to the municipality.

BC (initial) In accordance with AMC 10.80.056, I will immediately provide the Municipal Clerk with any communication from the state Marijuana Control Board disclosing the substance of information received by the Board as a result of a criminal history record check.


BC (initial) I acknowledge that the Assembly may deny my renewal application for a marijuana establishment license for any of the reasons listed in AMC 10.80.080.

BC (initial) In accordance with AMC 10.80.036B.b., I have read and am familiar with AS 17.38 and AMC 10.80 and will comply with all applicable requirements.

MODIFICATION INFORMATION (If applicable; if not applicable, select N/A.)

The licensed premises area is increasing by _____ square feet.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A
A caretaker's unit is being added to the property.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A
My retail store is within 500 feet of a residential zoning district, and I am increasing my hours of operation from _____ to _____.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A
My retail store is within 500 feet of a residential zoning district, and I am increasing the number of outdoor light fixtures.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A
In my retail store , I am increasing the retail sales area within the licensed premises area by _____ square feet.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A
In my cultivation establishment , I am increasing my cultivation area within the licensed premises area by _____ square feet.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A
In my manufacturing establishment , I am adding a type of extraction process not previously approved for my facility.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A
My modification is not listed above and/or I have additional modifications to those checked above.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A
Please describe all the proposed modification(s) on a separate sheet, and attach any drawings or plans that show the proposed modifications.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A

I state, under penalty of perjury, that my name and signature or mark are shown on this application and that I am the individual making the foregoing application and authorized agent for this business and affirm that the answers to the questions, the sworn statements regarding (1) a person other than the proposed licensee(s) may not have a direct or indirect financial interest in the business being issued the license per AMC 10.80.015A (2) listing all criminal convictions and (3) past due taxes, fines, and fees, and all other information contained in this application are true and complete to my knowledge. WARNING: I understand that it is illegal to falsely sign or forge a signature. Falsely signing this declaration is an offense and may be prosecuted. It is a crime to submit a false written statement. AMC 8.30.170 - Unsworn falsification in the second degree. Unsworn falsification is a class A misdemeanor. AS 11.56.220, AS 11.56.235, AS 11.56.240


Signature of Applicant

4/28/25
Date