

RETURN COMMENTS TO:

Municipality of Anchorage Planning Department  
Current Planning Division  
PO Box 196650  
Anchorage, Alaska 99519-6650  
Phone: 907-343-7943

**CASE NO:** 2025-0038

**PLANNER:** Francis McLaughlin

**REQUEST:** Conditional Use for a Development Master Plan (Alpenglow Residences).

**SITE ADDRESS:** 204, 206, 208, 210 & 224 Hightower Road, Girdwood, Alaska 99587

**CURRENT ZONING:** gC-9 East Hightower Commercial/Residential District

**ORIG SUBD/LEGAL:** Lots 1 & 2, Block 3, New Girdwood Townsite Alaska (Plat 65-70)

**COMMENTS AND MEETING SCHEDULE**

Planning and Zoning Commission  
Loussac Library Assembly Chambers  
3600 Denali Street  
Anchorage, Alaska

**Hearing Date:** Monday, May 05, 2025

**Agency Comments Due:** Monday, April 07, 2025

**Council Comments Due:** Monday, April 14, 2025

**COMMUNITY COUNCIL(S):**  
Girdwood Board of Supervisors

February 24, 2025

Mélisa R.K. Babb, Planning Director  
Planning Department  
Municipality of Anchorage  
P.O. Box 196650  
Anchorage, Alaska 99519-6650

SUBJECT:           Alpenglow Residences  
                      Development Master Plan

CASE NO: 2025-0038  
P2C: 05/05/2025

Dear Ms. Babb:

Z Architects is submitting a development master plan review application package, per AMC 21.09.030.F, for Alpenglow Residences to be located in New Girdwood Townsite Blk 3, Lt 2, 204 Hightower Rd (*property identification numbers: Parcel: 07507130000*) located within Girdwood Elementary School Subdivision in Girdwood, Alaska.

Property owner and applicant is Girdwood Building Company, LLC., 12201 Industry Way #4, Anchorage, AK, 99587. Phone: (907) 783-1090 [zachary.a.miller1@gmail.com](mailto:zachary.a.miller1@gmail.com)

Schematic design drawings including site and grading plan, floor plans, building elevations, renderings, and a landscape plan have been provided as part of this Development Plan. However, the plans may change slightly as the designs are further developed. The drawings will be finalized and submitted for a Land Use permit for summer 2025 construction.

It is our hope that the project will be placed on the May 5, 2025 Planning and Zoning Commission agenda.

If you have any questions or require additional information, please contact me at 907-783-1090 or [marco@zarch-ak.com](mailto:marco@zarch-ak.com). Thank you.

Sincerely,  
Z Architects, LLC

Marco Zaccaro



# Alpenglow Residences Development Master Plan





## Alpenglow Residences

### Development Master Plan Application

#### Table of Attachments

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# Alpenglow Residences

## Development Master Plan Narrative

February 2025

### Request for Approval

We are requesting a Development Master Plan Approval for the Alpenglow Residences Mixed Use Development located at 204 and 224 Hightower Road in the New Girdwood Townsite approximately 40 miles south of Anchorage. Please see the narrative below and the attached plans for more information.

### Introduction

The Alpenglow Residences development will be phased and occupies two adjacent lots. The owners propose a new physical therapy clinic, ground level retail/commercial spaces and residential condominiums on the upper floors. The site is zoned gC-9 and located at the southeast corner of the Hightower Road / Lindblad Avenue intersection and is across the street from the new Girdwood Health Clinic. The project is in accordance with the 1995 Girdwood Area Plan (identified as 'Commercial/Residential') and the 2024 Girdwood Comprehensive Plan (identified as 'Mixed-use'). Both documents are intended to assist in guiding development in the Girdwood area.

### Project Vision

One of the project owners, Korre Pieper, articulated his vision for the new clinic on February 10, 2025, during a meeting presenting the project to the community:

*"My name is Korre Pieper, Physical Therapist, and currently the longest continuous serving medical professional in Girdwood. My journey to Girdwood began in 2013, developing physical therapy services from part time to a more than full-time practice, I practiced out of a converted mail room, in an ante-room at a church here, and finally in a small building in downtown Girdwood. It has been a journey of commitment to the community. During this time, I have had the honor of working with community members, volunteering time and finances to a variety of projects in Girdwood, as well as getting an in-depth view of this community and have come to the conclusion that this is the time for a project like this. Currently, about 60% of all cases we are able to treat fully start to finish here in Girdwood, after our new facility opens, we will be able to increase this to 95%+ of all patients, meaning patients will no longer have to travel the Seward*

*Highway for their rehabilitation needs. This helps remove barriers for patients with transportation difficulties as well as keep our community members in place during their recovery and for ongoing needs. I look forward to continuing to serve the community of Girdwood and continuing developing the community alongside the people who enjoy this special place as much as I do.”*

Other project goals are to provide much-needed housing options and retail space in Girdwood and to revitalize the New Townsite area which, other than the Girdwood Health Clinic and Girdwood Post Office, has seen very little construction in the last couple of decades. Lack of housing and commercial/retail space for services continue to be a significant obstacle to current and potential businesses and residents of Girdwood.

#### **Building description and Phasing**

The proposed development is in two phases, starting with phase 1 on lot 2. In addition to the clinic space for Seawolf Physical Therapy, phase 1 will include two commercial retail spaces and 5 market-rate residential condominiums. The total gross floor area of phase 1 will be 16,608 sq ft. Please see attached drawing set dated February 24, 2025, showing the building design and detailed site plans, with zoning compliance calculations. Phase 2 has not been designed yet, but a preliminary building footprint is shown on lot 1. It will be a very similar mixed-use building with residences above ground level retail/commercial spaces.

#### **Development Master Plan**

A Development Master Plan allows the developer to propose alternate standards to what is found in title 21. The intent of this process is for master planned areas to result in a development meeting or exceeding the standards of AMC title 21 and 21.09 specifically. The purpose of this Development Master Plan is to provide a clearly articulated vision for the character, layout, and design of the Alpenglow Residences in accordance with local adopted area plans, the Girdwood Land Use Regulations AMC 21.09, in compliance with the requirements of AMC 21.09.030F. Development Master Planning.

#### **Community Meeting & Pre-Application Meeting**

Representatives of Z Architects and Girdwood Building Company (Korre Pieper of Seawolf Physical Therapy and Zachary Miller) presented the project to the Girdwood Land Use Committee (LUC) on February 10<sup>th</sup>, 2025, and will present to the Girdwood Board of Supervisors (GBOS) on February 24<sup>th</sup>. The February 10<sup>th</sup> LUC meeting served as the community meeting per AMC21.03.020H. The community meeting notices were sent 21 days in advance to names and addresses on a list provided by the Municipality of Anchorage (MOA) Planning Department.

The project team anticipates presenting to the LUC again and requesting a letter of support or non-objection on March 10<sup>th</sup>, 2025, and GBOS on March 16<sup>th</sup> in preparation for the Planning and Zoning Commission hearing on May 5<sup>th</sup> 2025.

Attendees generally supported the project, complimented the design, and saw this as a welcome addition to the community (see appended meeting minutes).

The project team met with the MOA Planning Department on February 10<sup>th</sup>, 2025, for a pre-application meeting.

#### **Conformance with Municipality of Anchorage Title 21.09.030F Development Master Plan**

##### **Submittal Requirements:**

##### **i. Lot Description**

*The legal description, acreage, and boundaries of the proposed petition area, an explanation of boundary delineation, pursuant to subsection 21.09.030C, if applicable, and a depiction of the area surrounding the petition area;*

The Development Master Plan area is at 204 and 224 Hightower Road, Lots 1 & 2, Block 3, of the New Girdwood Townsite Subdivision, Girdwood, Alaska, MOA Grid Number SE4815. See attached 49<sup>th</sup> Star Surveying LLC as-built survey dated 3/26/24 and New Girdwood Townsite plat. Both lots are 12,056 sq ft each, for combined area of 24,112 sq ft (.55 acres). We are including both lots in the Development Master Plan area as lot 1 will be developed similarly to the proposed development on lot 2 and both will share a pedestrian oriented access driveway.

See attached Vicinity Map for a depiction of the surrounding area

Immediately south of the petition area is property owned by Still Mountain, LLC and houses commercial space for Base Camp restaurant on the first floor and apartments on the 2<sup>nd</sup> floor. North of Alpenglow residences is a coffee shop and roastery, The Grind, and a mobile house park in gC-8 zoning district. East of the proposed project is Glacier Creek and parcels zoned GOS (Girdwood Open Space).

**ii. Existing Site Plan**

*A site plan of any existing development, including buildings, roads, utilities, drainage systems, trails, and a general description of existing vegetation.*

See attached 49<sup>th</sup> Star Surveying LLC as-built survey, utility, and drainage system maps.

On Lot 1 is a 1,460 sf, mixed use, two story, residential-commercial building constructed in 1996. This was the location of the Yoga Den and is currently housing massage therapy for Seawolf Physical Therapy. This building will be removed in phase 2.

Lot 2 has four small, one and half story, residential and commercial structures constructed between 1971 and 1985. The larger structure is the current site of the Seawolf Physical Therapy clinic. These will all be removed in phase 1.

The petition area is served by Hightower Road, a class IA collector, which connects to Alyeska Highway. On both sides of Hightower Road are sidewalks connecting south to the Alyeska Highway bike path and north to the Girdwood Elementary School.

There are several easements that encumber the properties: a 10-foot utility easement to the west along Hightower Road with Chugach Electric power lines encroaching 3.4 – 3.8 feet outside of the easement into the property, these power lines are scheduled to be buried within the easement. The flag easement on lot 2 is in the process of being vacated. To the north on lot 1, there is a 20' power line easement that encroaches 41 feet into the property in the Northeast corner. Along the east side of both lots is a 10' utility easement.

A water main, sewer main and a storm drain system run below Hightower Rd.

The properties were cleared of natural vegetation at some time in the past and have areas of new vegetative growth. This vegetation consists of grasses and low woody plants, mature shrubs like alder and willow, cottonwood trees and larger isolate conifers. A mature cottonwood/spruce is east of the lots towards Glacier Creek.

**iii. Site Topography**

*The topography of the petition area, with contours lines shown at intervals of four feet or less, including any unique natural or historical features.*

The petition site is generally level with an inconsistent eastward downward slope. See attached as-built survey with one foot interval contour lines. The area is underlain by alluvial deposits from Glacier and California Creeks. There are no known historic features on the property and development is unlikely to yield any archeological features because of prior disturbance (clearing and grubbing).

**iv. Existing Streams and Waterbodies**

*The location of existing streams, water bodies, wetlands, drainage courses, and flood plains, and proposed changes to such features.*

There are no streams, water bodies, wetlands or drainage courses on the two properties. Glacier Creek runs parallel to and approximately 450 feet east of lots 1 and 2. FEMA mapping (attached) designates the east portion of the lots as zone AE, with 1% annual chance flood hazard and a base flood elevation. A small portion of the lots are designated as zone X with a 0.2% annual chance of flooding.

**v. Grading Plan**

*A grading plan and detailed study of existing and proposed drainage, using baseline climatic and environmental data that reflects Girdwood conditions.*

See attached Triad Engineering grading plan.

The completed improvements will follow the existing topography to the extent possible to maintain existing drainage pathways and use new landscaped areas to meet the water quality treatment objective. Other stormwater controls that may be considered to meet the Water Quality and Detention objectives are permeable paving.

The soils on site are generally well draining alluvial gravels and deposits. A geotechnical report is in process and will be available upon request.

**vi. Proposed Site Plan**

*A proposed site plan, showing roads, trails, building locations and uses, parking lots, open space, and any other proposed development. The site plan shall include the total number and type of dwelling units, and the total combined floor area of commercial and industrial uses.*

See sheet A0.1 for phase 1 and 2 proposed site plan and sheet A0.2 for phase 1 site plan.

Phase 1 will include:

- Two retail spaces and a five-car garage on the ground level
- One physical therapy clinic on the second floor
- Five residential condominiums on the second and third floors, consisting of
  - 3 three-bedroom units
  - 2 four-bedroom units
- The total combined area of commercial-use spaces is 4,291 sq ft. There are no industrial uses.

Phase 2 (lot 1) design aims to be similar in nature to Phase I. The full scope will be determined after the planned for relocation of a power line and vacation of the power line easement at the northeast corner.

A pedestrian-oriented shared access drive using the principals of a “Woonerf Street” as envisioned in AMC21.07.060G.23 is proposed to be centered on the property line between Lots 1 and 2. The Woonerf provides access to the Phase I spaces, including a retail shop, main entrance to the clinic and condominiums and the parking garages. The north side of the Woonerf will interface with Phase 2 developments. This project envisions a future trail to connect the proposed Woonerf east to an existing hiking trail that runs parallel to Glacier Creek.

**vii. Landscape Plan**

*A landscape plan, including vegetation retention areas.*

See sheet L0.1 for the proposed landscape plan. The properties were, in the past, cleared of natural vegetation. The proposed landscape plan does not anticipate retention of current regrowth. However, the proposal aims to implement mid-size perennials native to the local area.

**viii. Building Design**

*Floor plans, building elevations, and renderings for all buildings.*

See attached phase 1 architectural drawings.

**ix. Road Cross-Sections**

*Road cross-sections.*

See attached Triad Engineering 'driveway section' through shared access drive.

**x. Other Development Details**

*Details of any other development proposed. N/A*

**xi. Schedule**

*An implementation schedule. See attached Design, Permitting and Construction Timeline.*

See attached architectural design schedule.

- May 5, 2025: Approval of Development Master Plan and Easement Vacation approval.
- Early May 2025 Submit for Land Use Permit and building permit from the Alaska Department of Public Safety.
- June 1, 2025: Construction to begin.
- Construction will take roughly twelve months to complete.
- Summer 2026: Phase 1 approved for occupancy.
- Summer 2026 through 2027: Phase 2 and associated site improvement construction. Construction will take roughly one calendar year to complete. However, changes in market demands, material and labor availability, and other unforeseen factors may delay groundbreaking from Summer 2026.
- Development Master Plan will be fully implemented by 2028.

## A. Development and Design Standards

*The development master plan shall establish specific circulation systems; land uses; site dimensional, design, and development standards; and building design standards for its development areas. These elements may set different development standards than those found in title 21 including sections 21.09.060, 21.09.070, and 21.09.080. The development master plan shall list the specific sections of title 21 for which different standards are to be established. Where different standards are approved in the development master plan, those standards shall be applied instead of the corresponding standards in title 21.*

This section details the code standards this plan modifies, subject to approval. Each code reference includes its Anchorage Municipal Code citation, title, and text. Following is a proposed alternative standard or statement demonstrating the proposed design meets or exceeds the code standard. Each of these will be noted as a DESIGN ALTERNATIVE or INFORMATION. Design alternatives propose an equal or better standard to a section of code to meet the intent of adopted standards. Informational sections do not offer an alternative but to explain how the design meets the intent of the code. At the end of each bullet, a commentary section provides greater clarity to the proposed alternative and offers justification.

- AMC 21.09.040C.3.c.iii Use of Setbacks in Commercial Districts:
  - *Business signs, walkways, snow protection over walkways and landscape plantings may be placed within, and driveways may cross, setback areas.*
    - DESIGN ALTERNATIVE: Property owners of adjacent lots may cooperate in the development of a pedestrian-oriented shared access drive, using the principals of a “Woonerf Street” as envisioned in AMC21.07.060G.23, located in the side setbacks and centered on the property line between them. See site plan A0.1 and A0.2.
    - Commentary: The intent in this district is to have relatively continuous store fronts and arcaded walkways along the street edge. The gC-9 zoning district intent states in part: Site development shall have strong street orientation and provide pedestrian connections to neighboring lots. In this district, arcades or roofed walkways are required along the street face of all new buildings. One driveway with pedestrian oriented amenities in the side setbacks, serving two lots, is a superior way of meeting the zoning district intent; multiple driveways separated by the

width of the side setbacks would needlessly interrupt the street orientation and the arcaded pedestrian connection. The proposed design exceeds the standard in code.

- DESIGN ALTERNATIVE: Driveways and vehicle circulation may occupy the rear setback of Lots 1 & 2, Block 3, of the New Girdwood Townsite Subdivision (gC-9 zoning district). See site plan A0.1 and A0.2.
  - Commentary: The apparent intent of not allowing driveways to run along setbacks in commercial districts is to help screen neighboring properties from on-property commercial traffic. The land to the east of the petition area is zoned Girdwood Open Space; There are no neighbors on that side, and it is unlikely to be developed in the foreseeable future. The driveways in the rear setbacks are for use by building residents to access their garages. In the Girdwood residential districts driveways are allowed in setbacks. The proposed design meets the standard in code.
- 21.09.060B.2 Table 21.09-6 Table of Dimensional Standards: Commercial Districts:
    - *Min. Front Setback: 16 ft, Maximum setback 20 ft. (Footnote 8: Maximum Front Setback Exception: limited portions of building frontage may, subject to admin site plan review, be allowed to step back further than the maximum allowed front setback to create small usable public spaces in the front of the building.*
    - DESIGN ALTERNATIVE: Revise minimum 16 ft Front Yard Setback to 18 ft to resolve conflict with the 10 ft Utility Easement and required 8 ft Arcaded walkway. See site plans and as-built survey.
    - Commentary: In the gC-9 district, arcades or roofed walkways are required along the street faces of all new buildings per 21.09.040C.3.b and the arcade must be a minimum of 8 ft. wide clear (21.09.080F.4.d.iv). The arcaded walkway may be in the front setback however it cannot be within the 10 ft utility easement along Hightower Road. The minimum arcade width plus the utility easement makes compliance with the 16 ft minimum front setback impossible.

- 21.09.070G.2 Exterior Site Lighting:
  - INFORMATION: The shared access drive perpendicular to Hightower Road will include site lighting for pedestrian safety, but care will be taken to ensure that site lighting is at minimum levels necessary to light the walkways and drive areas. The intent is to meet Girdwood land use regulations desire for dark skies, 'to minimize glare or light trespass onto adjacent properties or light pollution in the valley' the design goal is to create an inviting space in the evening but not inconvenience the neighboring properties.
- 21.09.070L.6 Parking Within Multifamily and Non-Residential Structures:
  - *Parking structures for more than two cars within multifamily and nonresidential structures, shall be constructed at least half a level below grade or, if constructed at grade, shall be earth covered using berming at least a half level on all sides. Vegetative and/or architectural screening of multiple level parking structures is required. The mechanical equipment required to vent enclosed parking shall be located away from outdoor play areas or entries, public rights-of-way and pedestrian spaces, and shall be completely screened from view.*
  - DESIGN ALTERNATIVE: Garage parking may be at grade at the rear of the building without earth covering using berming.
  - Commentary: The apparent intent of the standard is to screen large parking structures from public view. Due to high base flood elevations (see as-built survey) and likely shallow water table depths, constructing the parking half a level below grade is impractical, if not impossible. The proposed parking structure is within the building's east end and is indistinguishable from the rest of building when viewed from any public way or the 'woonerf'. Burming cannot be done at the garage doors on the garage east wall. Burming would make it difficult to construct the onsite drainage swale at the south property line, see attached Grading Plan sheet C3. The proposed design meets the standard in code.

- 21.09.080F.2.d. [Commercial, Resort and Public/Institutional Building Design Standards]  
Size and Scale:

- *No wall shall be longer than 42 feet without a change or alteration in alignment of at least four feet in depth from the plane of the referenced wall. For building sides longer than 64 feet, the combined length of the segments not in plane with the primary wall plane of the building side shall equal at least one-third of the building side length. Curved walls that include a change in wall plane of at least four feet depth in 40 feet of wall length shall satisfy this requirement. Where two arms or elevations of a building are separated by a change in wall plane of six degrees or more, these shall be considered as separate building sides for the measurement purposes of this provision.*

- DESIGN ALTERNATIVE: East and west (Hightower Road) facing walls may have an alteration in alignment of two feet in depth from the plane of the referenced wall. See architectural plans A1.1. The design meets all the other requirements of this standard.
- Commentary: This standard cannot be met at the wall facing Hightower Road. As noted previously, the effective minimum setback from the property line is 18 ft and the maximum front setback in this district is 20 ft. This calculation leaves only 2 ft of depth for alteration of alignment.

The intent of this code section is to reduce the visual mass of a building by introducing changes in wall plane. The east wall faces away from the street and the neighbors, therefore it is not readily visible to the public. The proposed design meets the standard.

- 21.09.080F.3.a. [Roof Form] Pitch:
  - *Roofs visible from a public way shall be primarily pitched. The pitch for the primary roof structure shall be between 8:12 and 12:12, but may be as shallow as 5:12, as long as the eave overhangs are at least two and one half feet. Segments of the roof may be flatter or steeper slopes, however, to achieve a specific design effect. Wherever a portion of the roof has a shallower pitch than the standard, or if it is flat, provision shall be made to avoid glaciation.*
  - DESIGN ALTERNATIVE: Flat roof decks as amenities to the residential or commercial units in the building are allowed.
  - **Commentary.** This code section makes allowances for “flatter or steeper” roofs. The flat roof decks will alleviate the conditions that cause glaciation. Because of the large building area, sloped roofs – especially the steep slopes indicated in the standard – pose a great danger of roof snow slides impacting pedestrian spaces around the building. Further, such slides could be detrimental to neighboring properties. The proposed roof is designed for snow country, creating an improvement on safety standards. Additionally, the added roof amenities for the building users is superior to what is prescribed in the design guidelines. The proposed design exceeds the standard.

The roof decks will be internally drained, all water is directed away from perimeter pedestrian areas.

Note: the Girdwood Health Clinic and the Girdwood Post Office, both directly across Hightower Road from Alpenglow, are the only significant structures constructed near the townsite core in the last couple of decades. The post office has a flat roof, and the clinic has much shallower pitched roofs than is indicated in the standard. Both buildings set a precedent for more contemporary snow country sensitive design than is envisioned in the standard.

- 21.09.080F.3.b. [Roof Form] Flat Roofs:
  - *Flat portions of roofs shall have distinctive cornice features, to create visual interest and provide sufficient overhang to protect walls from the weather. Large visible flat roof forms shall step or be broken by dormers. Design elements may also be used on flat roofs to create the appearance the building has a pitched or shed roof. The canopy sheltering cars at fueling stations may be flat but shall have distinctive cornice detailing. Fueling station canopies shall not be significantly larger and out of proportion to the fueling station building.*
  - **INFORMATION:** The standard requires sufficient overhangs to protect the walls from weather, however it does not define what sufficient depth is and leaves interpretation to the discretion of the designer. 72% of the roof perimeter in phase 1 has overhangs of 24" deep or deeper. Portions of the north wall and east wall do not have overhangs for architectural design effect; these areas the building will be clad with inherently weather-resistive siding materials (metal panels and phenolic resin panels) on a rain screen system.

The above proposed design standards are equivalent to or exceed the generally applicable development standards of sections 21.09.060, .070, and .080, and result in high quality, environmentally sensitive development in keeping with the Girdwood Area Plan, the new Girdwood Comprehensive Plan, the intent of this chapter, and the character of Girdwood.

**Girdwood Building Company, LLC**

12201 Industry Way, Suite #4  
Anchorage, AK 99515

949-306-1622  
zachary.a.miller1@gmail.com

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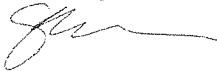
To Whom it may Concern,

This letter serves as authorization for Z Architects LLC and staff members thereof to act on Girdwood Building Company's behalf for permitting applications and procedures through the Municipality of Anchorage for my property at Lots 1 & 2, Tract 3 of the New Girdwood Townsite Alaska Subdivision in Girdwood, Alaska.

Point of Contact for this matter is the undersigned and may be contacted for any clarification or additional information.

Respectfully,

Zachary A. Miller





MARCO ZACCARD  
PO Box 842  
GIRDWOOD, AK 99587

(907) 783-1090  
[LISA@ZARCH-AK.COM](mailto:LISA@ZARCH-AK.COM)  
Admin.  
[Marco@zarch-ak.com](mailto:Marco@zarch-ak.com)

January 27, 2025

Planning Department  
Municipality of Anchorage  
4700 Elmore Road  
Anchorage AK 99507

Re: **Pre-application Conference Project Narrative** for Lots 1 & 2 of Tract 3 of the New Girdwood Townsite Subdivision

Project Narrative:

This pre-application conference is for a mixed-use project in Girdwood (gC-9 zoning district). We are in the schematic design phase of the project and are wanting to discuss strategy for designing and permitting the project, as well as understand the positions of different municipal reviewing agencies.

We determined that the project was eligible for a Development Master Plan per 21.09.030.F, and will pursue one as we continue the design. Now that we are in the schematic design phase, we would like to present the project, our strategies for meeting applicable regulations, and hear concerns or suggestions from reviewers. This meeting is also a requirement of the Development Master Plan procedure.

We are looking for site access along the side setbacks between lots 1 and 2, rear yard setback, design standard changes from slopped to flat roof decks, and the front yard easement conflict with Chugach Electric front yard required setbacks.

The project is proposing a revised design standard for:

- AMC 21.09-6.2. Table of Dimensional Standards, Commercial – Revise minimum 16' Front Yard Setback to 18' to resolve conflict with 10' Utility Easement and required 8' Arcade.
- AMC 21.09.040.C.3.c.iii - to allow site access alongside setbacks between lots one and two and in the rear setback.
- 21.09.070L.7 to allow basement parking at grade to the rear of the building without berm
- 21.09.080F.d to allow a 2 foot offset on the East wall alteration in alignment
- 21.09.080.F.3.a – to allow flat roof decks in lieu of pitched roofs

Sincerely,

Lisa Miles

Z Architects

**Girdwood Mixed-Use Project  
Development Master Plan**

**Pre-application Conference**

**Meeting Notes**

February 10, 2025, 2:00 p.m.

Z Architects and Triad Engineering.

**Planning:**

- No ~~landscaping~~ <sup>snow storage</sup> is permitted in required landscaping.
- The proposed design alternatives are practical and make for a nice design.
- The phased plan for two lots should be explained in the application.
- The project is supported by the Girdwood Area Plan.

AWWU: No objection

**Flood Hazard Administrator:**

- Not present. A follow up meeting is needed.

Girdwood Service Area Manager: No objection

Water Management Services: No objection

Heritage Land Bank: No objection

**Traffic:**

- Resolve driveway width for two-way driving and design of the driveway.

DOT: No objection

**Private Development:**

- Record a shared access agreement for the driveway.

Watershed Management Services: No objection

**Fire Plan Review:**

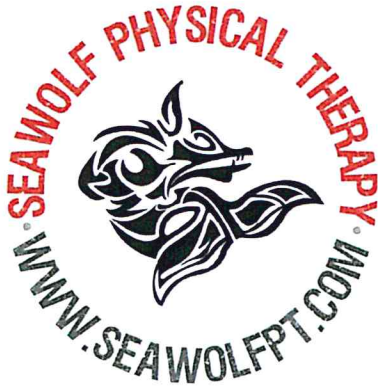
- Not present. Resolve building height and driveway width.

Thank you,

Francis McLaughlin

Current Planning Division

Phone: 343-8003



## ALPENGLOW RESIDENCES PRE-APP MEETING Z ARCHITECT'S MINUTES

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Date: February 10, 2025

Location: Teams meeting

Originator: Planning and Zoning

### Participants:

Zach Miller, Project Manager

Ivana Senjak, Project lead architect

Marco Zaccaro, Principal, Development Master Plan lead

Grant Matthews, Civil Engineer

Korre Pieper, SeaWolf Physical Therapy, Project owner partner

Lisa Miles, Admin Z Architects, Meeting Minutes

McLaughlin, Francis D. <francis.mclaughlin@anchorageak.gov>; Babb, Melisa R.K. <melisa.babb@anchorageak.gov>; Yelle, Ryan J <ryan.yelle@anchorageak.gov>; Appleby, Elizabeth I. <elizabeth.appleby@anchorageak.gov>; Farias, Claudia F. <Claudia.F.Farias@anchorageak.gov>; Gupta, Aritra <Aritra.Gupta@anchorageak.gov>; Odell, Shawn M. <shawn.odell@anchorageak.gov>; Hatcher, Paul A. <Paul.Hatcher@anchorageak.gov>; LaFrance, Paul J. <Paul.J.LaFrance@anchorageak.gov>; Soule, Gregory G. <gregory.soule@anchorageak.gov>; mark.eisenman@alaska.gov <mark.eisenman@alaska.gov>; Panilo, Mark M <mark.panilo@anchorageak.gov>; Just, Travis M. <travis.just@anchorageak.gov>; Giboney, Emma <Emma.Giboney@anchorageak.gov>; Ribble, Randon A. <randon.ribbon@anchorageak.gov>; Kelley, Kyle T. <kyle.kelley@anchorageak.gov>; Marco Zaccaro <marco@zarch-ak.com>; Lisa Miles <lisa@zarch-ak.com>; Ivana <Ivana@zarch-ak.com>; Ellen Twiname <ellen@zarch-ak.com>; Prosak, Alex <Alex.Prosak@awwu.biz>; Turker, Ali X. <WWAXT@awwu.mail.onmicrosoft.com>; Ellis, Steve M. <steven.ellis@anchorageak.gov>; Cunningham, Kyle B. <kyle.cunningham@anchorageak.gov>; Billups, Kenna J. <Kenna.Billups@anchorageak.gov>

Meeting Objective: Pre-App Conference

## Site Plan A0.1

DMP is much more positive way of getting to the needed design standards.

On-site parking will be tucked under the buildings, we are hoping to utilize the side yard and back yard setbacks for a driveway to access the parking and maximizing the lot and not disturbing the neighbors. Greenery and sidewalk between building connects to Glacier Creek trail.

### R1.1

Flat roof design.

### A1.1

DMP would cover phase 1 and phase 2. Retail shops on Hightower Road. Parking for all 5 residential units at the back of the first floor.

### A1.2

Two residential units 1,300 and 1,600

### A1.3

Third floor has 3 residential units.

SketchUp model:

Minimum 16, max 20 set back, 8 foot arcade requirement, trying to stay out of the 10 foot utility easement. Triad, we'll need drainage swale. Standard for berm does not make sense – Francis.

Base Elevation 113 feet

The permeable surface area have been calculated for lot 1 only. Francis states that we can ask for approval for phase 1 even if phase 2 is not completely designed yet. We are going to be using permeable paving. Planning department will review phase 2 when it is time for development.

Building height calculated correctly. Roof deck is at 33.1'.

Francis says this is what mixed use is for and that this is the first commercial residential mixed use he's seen in a long time, since Rustic Goat.

Current MOA FEMA map doesn't match ours. MOA has 100 and 500 year flood plane extending further into lot. We'll have to talk with Steve Ellis anyway; he's on vacation. Survey shows 100 and 500 year flood plane. The layer Kyle is looking at looks different from our survey.

HLB – to the east. Open space. Grant – Title 23, 2' grading setback to the back?

Paul LaFrance will get back to Grant and work with HLB on grading.

Travis with traffic – minimum of 12' maximum 24' for commercial driveway width. Shared access agreement for the driveway. Read 21.07-060.e.4.d.i on site pedestrian walkways – 21.07 is not always applicable in Girdwood since they have their own code. Design may be applicable for woonerf standard.

Defer to Kyle Kelly curb cuts, curb returns. Kyle is fine with driveway curb cuts. Not supportive of permeable in the right-of-way. Asphalt or concrete in right-of-way. Put in manufacturer specs of the permeable paving.

Traffic wants to support the woonerf design so ask the agencies to approve woonerf design. One way driveway is allowed, one or two way is not called out. If the driveway is for the residences, everyone knows what is up. Consider if you're counting the whole 12 feet. 21.09.07.11 with ten commercial parking spaces, up to 12 feet is allowed. Skinny down landscaping a bit.

There is also a plan for a future sky bridge.

Paul LaFrance – shared access agreement. Snow storage in Southeast corner, make sure it does not drain into the neighbor's property. Snow storage can happen under the power line that is heavily encumbering the property. Do not show snow storage in required landscaping areas.

Grant wants to do some grading on HLB property due to the difference in grade, draining out to HLB property. Grant needs temporary permit to use the space.

Permeable paver allows the water to get into the ground.

New Girdwood Comprehensive Plan hasn't been adopted quite yet. Under the 1995 G.A.P. this project is the poster child for Mixed use – Ryan Yelle.

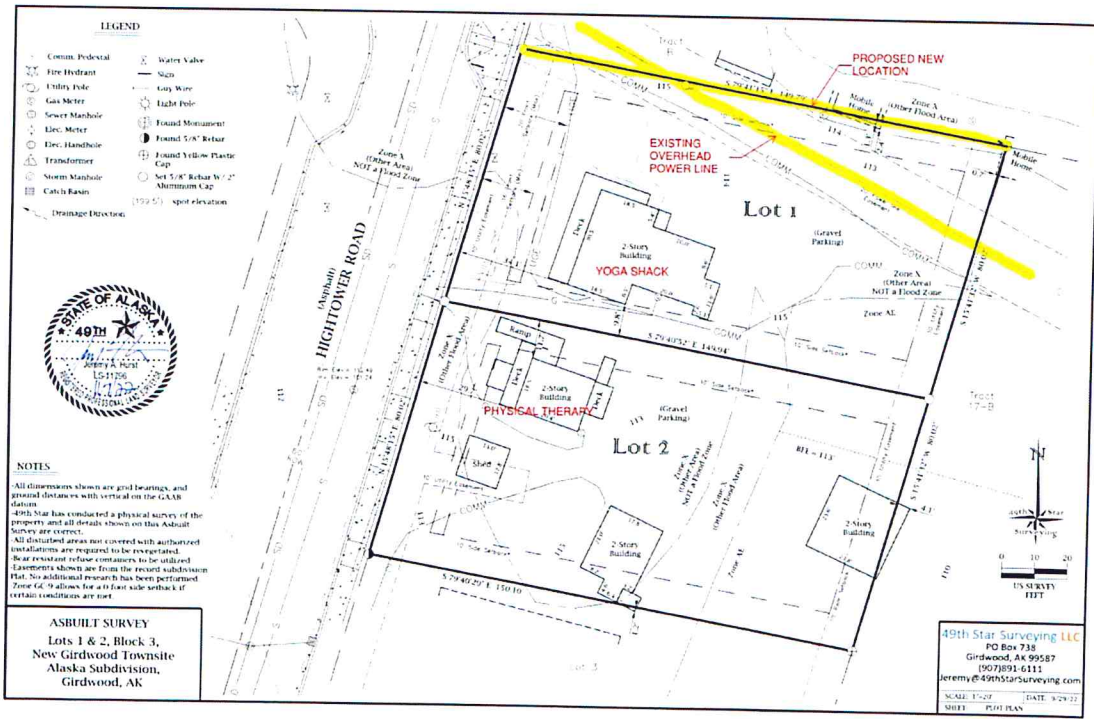
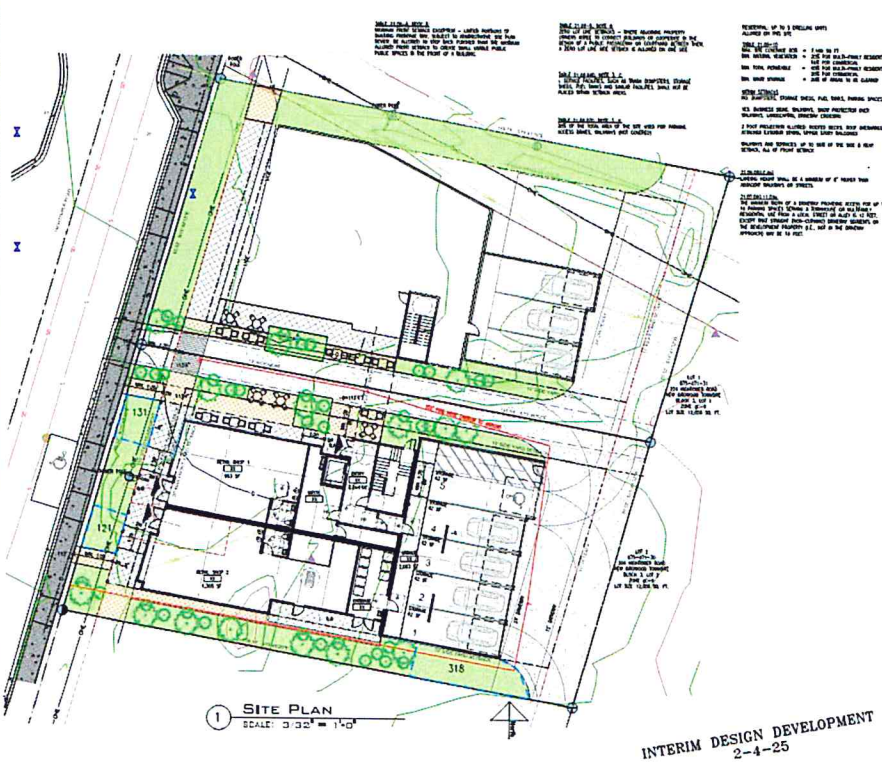
GCP will be adopted soon, by the 27<sup>th</sup> of this month.

Planning supports the design deviations and setbacks. Driveway and flood plain discuss with Steve Ellis.

Monday the 24<sup>th</sup> is the cut-off date.

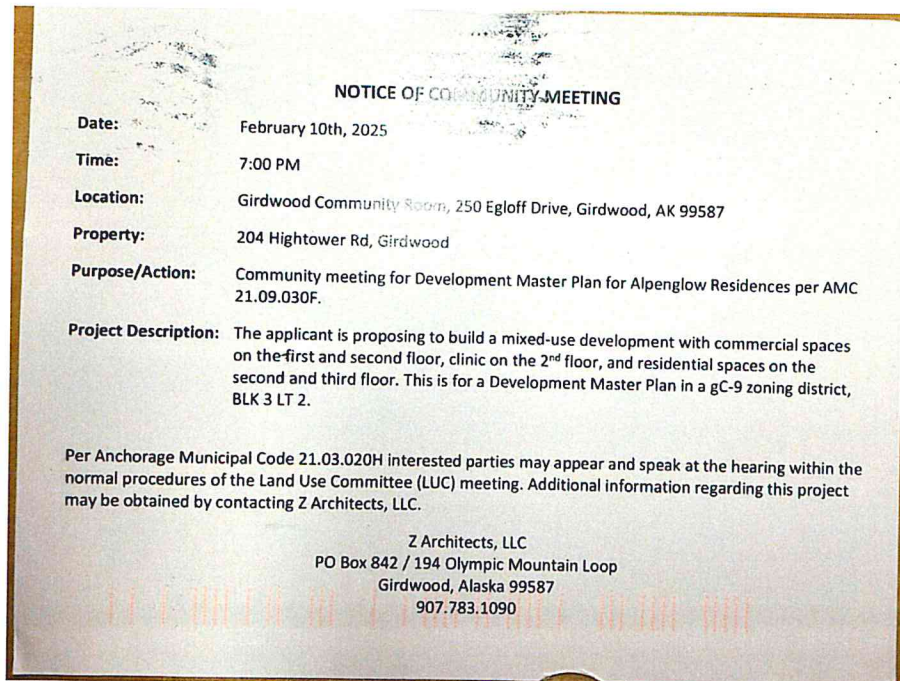
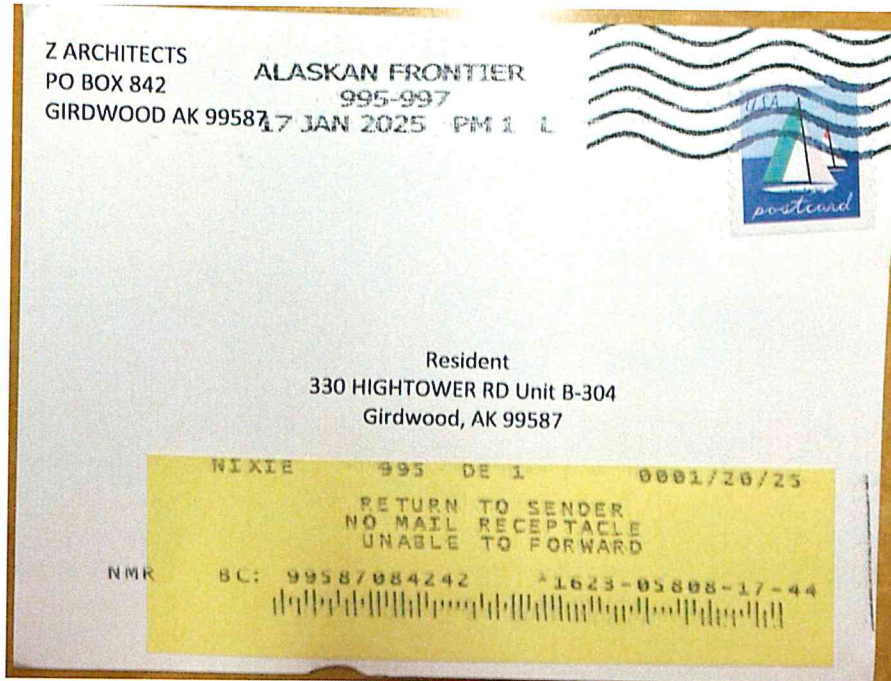
ZONING INFORMATION	
UNOFFICIAL ZONING DISTRICT	6-1
COMMERCIAL/PRESENTATION DISTRICT	
UNOFFICIAL, MEANS-ONE (SPECIFIC SINGAPORES 21.09.000-1)	
USE: REQUIRED PARKING FOR ANY NON-RESIDENTIAL USE MAY BE LOCATED OFF SITE WITHIN 400 FT.	
PARKING PROVIDED ON SITE	5 SPACES
BUILDING HEIGHT ALLOWABLE PER TABLE 21.09.000-2 35 FEET	
BUILDING HEIGHT ACTUAL (TO THE TOP OF THE FLAT ROOF)	35'-1"
FRONT YARD SETBACK PER TABLE 21.09.000-2	18 FEET MIN., 20 FEET MAX.
SIDE YARD SETBACK PER TABLE 21.09.000-2	ZERO SETBACK PERMITTED ON ONE SIDE [3] AND IN ACCORDANCE WITH DISTANCE TO OTHERS IF APPLICABLE. CONFORMANCE TO FEET
REAR YARD SETBACK	10 FEET
LOT SIZE	12,024 S.F.
MAXIMUM LOT COVERAGE BY BUILDING PER TABLE 21.09.000-1 (12.24%)	80%
ACTUAL LOT COVERAGE BY BUILDING (INCLUDING DECKS) 6,520 S.F.	54%
MAXIMUM FLOOR AREA RATIO	N/A
ACTUAL FLOOR AREA RATIO	N/A
REQUIRED NATURAL VEGETATION AREA PER TABLE 21.09.000-1 (1% OF LOT SIZE)	1,202 S.F.
NATURAL VEGETATION AREA REMAINS	1,498 S.F.
REQUIRED PERMEABLE SURFACE AREA PER TABLE 21.09.000-1 (1% OF LOT SIZE)	2,411 S.F.
PERMEABLE SURFACE AREA PROVIDED	2,818 S.F.
PERMEABLE SURFACE AREA REMAINS	4,067 S.F.
REQUIRED SNOW STORAGE PER TABLE 21.09.000-1	2,818 S.F.
PERMEABLE SURFACE AREA	544 S.F.
REQUIRED SNOW STORAGE AREA PROVIDED 248-1221-1221-1221 S.F.	
ALL ACCESS WALKWAYS ARE WITH HEATED SURFACES FOR WALKING	
MINIMUM DRIVEWAY WIDTH PER TABLE 21.09.000-3	12 FEET
MAXIMUM DRIVEWAY WIDTH PER TABLE 21.09.000-3	24 FEET

LEGEND	
	ENTRANCE / EXIT
	PERMEABLE PAVERS
	WALKWAYS / DRIVEWAYS WITH HEATED SURFACES FOR MELTING SNOW
	COVERED WALKWAYS
	SNOW STORAGE
	FIRE HOSE





## Alpenglow Residences Mailer



# **Girdwood Land Use Committee**

## **Notice of Meeting on February 10, 2025 7PM**

### **Agenda Draft Revised 2.7.25**

Meeting will take place via Teams teleconference and in person at the Girdwood Community Room, 250 Egloff Rd.

**Join the meeting now** Meeting ID: 256 534 518 525 Passcode: DP7mJ6FF

**Dial in by phone** +1 907-519-0237, 889811680# Phone conference ID: 889 811 680#

The following items have been submitted as agenda items for consideration at the meeting of the Girdwood Land Use Committee. A voting member is any Girdwood Valley resident eighteen (18) years of age or older. Non-resident property owners, businesses, and non-profit associations are allowed one (1) vote per entity. Detailed voting qualifications can be found in the rules outlined in the Girdwood Land Use Committee Operating Principles.

The Girdwood Board of Supervisors, its committees, and subcommittees are subject to the Alaska Open Meetings Act as found in Alaska Statute 44.62.310 and Anchorage Municipal Code 1.25 - Public Meetings.

The Girdwood Land Use Committee operates under the Girdwood Public Meetings Standards of Conduct.

#### **Agenda Item LUC 2502-01:**

Land Acknowledgement: As we gather with a common intention for our GVSA this evening, LUC would like to begin by acknowledging the stewardship of the indigenous peoples of Alaska, whose land we reside on and the surrounding waters we depend on. The current area of Girdwood is situated between the areas known to be Dena'ina and Alutiiq homeland. A necessary connection for Alaska Native people, the landscape and waters around us served to carry their traditional ways of life; to gather here and harvest Native foods. The community of Girdwood respects the Dena'ina and Alutiiq people, who were stewards of this land for generations. We will continue to be stewards of this land and are grateful to be a part of this community.

7PM Call to order Ryan Hutchins-Cabibi

Agenda Approval for February 10, 2025 meeting

Minutes approval from the January 13 2025 GBOS LUC Joint Meeting and LUC Regular Meeting

LUC Officer report

HLBAC Update

GBOS update

#### **Announcements:**

- \* ZBEA will hear Dimensional Variance Case 2025-0009 for property at 1230 Timberline Rd on 2/13/25:  
<https://www.muni.org/CityViewPortal/Planning/Status?planningId=18125>.
- \* PZC Case No. 2025-0021 Parks and Recreation Administrative Site Plan Review Thresholds.  
<https://www.muni.org/CityViewPortal/Planning/Status?planningId=18147>.
- \* GBOS FEB Meeting will be held Feb 24 to avoid Presidents Day Holiday.
- \* LUC March meeting will be held March 17 and GBOS March Meeting will be held March 24 to avoid spring break conflict.

#### **Reports:**

**Agenda Item LUC 2502-02:** Public Comment (3 minutes each) Persons offering public comment must state their full name and address. Public Comment must be on subjects not listed on the agenda

**Agenda Item LUC 2502-03:** Committee Reports. Any items for update or discussion should be brought up at this time.

#### **Old Business:**

**Agenda Item LUC 2403-04:** Status of the Girdwood Comprehensive Plan, Intro Nov 19, hearing Dec 17 and Jan 21. Likely hearing will occur February 25. Imagine!Girdwood).

**Agenda Item LUC 2409-07 & Agenda Item LUC 2409-08** Status of DNR Section Line Easement appeals

**Agenda Item LUC 2408-04:** Request for LUC recommendation for exclusion of the GVSA from the proposed 3% Municipal Sales Tax (Brice Wilbanks)

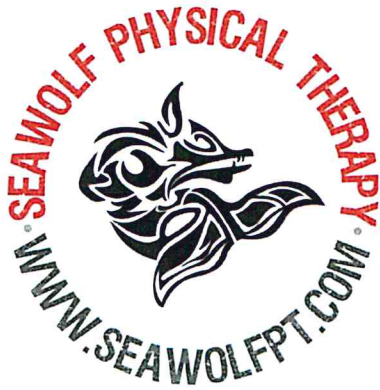
#### **New Business:**

**Agenda Item LUC 2502-04:** Development Master Plan for Alpenglw Residences gC-9 zoning district, BLK3 LT2. Mixed-use building housing two retail shops, Physical Therapy Clinic and 5 apartments. Petitioner seeking LUC recommendation for GBOS Letter of Non Objection or Resolution of support, TBD (Z Architects, presenting)

**Agenda Item LUC 2502-05:** Request for LUC recommendation for GBOS Resolution of Support for variance for a retail hardware store in gC-10, Tract B2A, Alpine View Estates, Phase 3 (Tim Cabana, presenting).

**Request for GBOS/LUC Joint Meeting (1 of 2 required meetings completed in 2025, Jan 13)**

**Adjourn**



## Alpenglow Residences Community Meeting

Z Architect's minutes, Land Use Committee, Girdwood, February 10, 2025

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**Owners in attendance:** Zach Miller, Korre Pieper

**Z Architects:** Marco Zaccaro, Ivana Senjak, Lisa Miles, Cassidy Johnson, Ellen Twiname

Physical therapist seeking to graduate to an adult full size therapy clinic and to have a little more housing for downtown Girdwood. Korre started in 2013 in the mail room, and then moved to the church, and now has a space downtown over the past 12 years. They have outgrown the space and are ready to grow and address multiple needs like commercial space and housing.

Rooftop decks instead of sloped roofs. Sloped roofs are a challenge when it comes to snow sliding on the building next door.

One driveway to serve both lots. Woonerf concept, public walkway, seating area, driveway. The city is writing code to allow this in the rest of Anchorage. Not just a driveway but an active space.

Landscaping meets the code in that it will have a "downtown" feel by having perennials and Girdwood native plants and edible plants. Elise is thinking of adding color and raised beds.

Grant Matthews, civil engineering considerations. They've approached AWWU for shared services to minimum disruption on Hightower. Shared driveway limits vehicular and pedestrian conflicts.

Questions:

Burntski - Have issues with the power line been resolved?

Neighbor to the south, Tonia Burrow, owner of Still Mountain LLC / Basecamp: I love it! Housing, jobs, growth, glad you're not going to have a sloped roof.

Alpenglow is tying into the 16" main to be sprinklered.

Is the well on one of those lots? No. Basecamp is still on the community well.

How does the landscaping tie into basecamp? Basecamp connex is represented by the dashed line. 16 to 20 foot setback. We can place their building on the Z Architects model. Tie in the landscaping. Korre and Zach would be amenable to that.

Lynnea - Will these be long term rentals or condominiums to be sold off? Some will be sold immediately and some will be held by the owner group and rented out. Korre was "hell bent" on having long term housing, but the cost of building would make these far too expensive to build.

Patrick – June construction. Is June attainable? Cost of construction? Contractor? It went out for bid and Korre has settled on his contractor. Zach – this is now version 3 of the building. The contractor is not local to Girdwood but has done local work in Girdwood. Pricing question, they are undergoing getting to a better understanding. It is an aggressive timeline. It depends upon these meetings, but the building will be ready for dirt work in June. There's quite a bit of civil work that needs to be done that wasn't set up very well, but the contractor believes this will be moving forward. This is a permitted use by right, the only reason for the DMP is design standard. So yes it is an aggressive permitting and construction timeline, but we believe the city is in support of this project and that it will move forward.

Long term high end housing would even be better than short term housing.

Regarding businesses and retail: If you have an idea bring it. A bank would be really great.

The building will stay on Lot 1 until time to develop Lot 1. Lot 1 houses the Yoga studio and massage therapy for Seawolf Therapy currently.

North and South setbacks are standard. Southern border is at 10 foot setback. 2021 IBC so neighbors won't be forced to sprinkler. Multi-family needs to be sprinkled. Townhouses have two hour party walls, but 4 plex and more have to be sprinkled.

Permeable paving and snow storage on the site plan. Power line clips the northeast corner so that will be utilized for snow storage.

Project allows pedestrian access through the woonerf to the trail on the HLB property to the rear, as well as parking for onsite residences.

The design is in keeping with the intent of the initial Girdwood Area Plan and is in alignment with the new Girdwood Comprehensive Plan being voted on by the Assembly on February 25<sup>th</sup>, 2025.

# **Girdwood Land Use Committee**

## **Notice of Meeting on February 10, 2025 7PM**

### **Minutes Draft**

Meeting will take place via Teams teleconference and in person at the Girdwood Community Room, 250 Egloff Rd.

The following items have been submitted as agenda items for consideration at the meeting of the Girdwood Land Use Committee. A voting member is any Girdwood Valley resident eighteen (18) years of age or older. Non-resident property owners, businesses, and non-profit associations are allowed one (1) vote per entity. Detailed voting qualifications can be found in the rules outlined in the Girdwood Land Use Committee Operating Principles.

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#### **Agenda Item LUC 2502-01:**

Land Acknowledgement: As we gather with a common intention for our GVSA this evening, LUC would like to begin by acknowledging the stewardship of the indigenous peoples of Alaska, whose land we reside on and the surrounding waters we depend on. The current area of Girdwood is situated between the areas known to be Dena'ina and Alutiiq homeland. A necessary connection for Alaska Native people, the landscape and waters around us served to carry their traditional ways of life; to gather here and harvest Native foods. The community of Girdwood respects the Dena'ina and Alutiiq people, who were stewards of this land for generations. We will continue to be stewards of this land and are grateful to be a part of this community.

7PM Call to order Brice Wilbanks

Agenda Approval for February 10, 2025 meeting

L Miles/Brice Wilbanks

Minutes approval from the January 13 2025 LUC Regular Meeting

L Miles/J Wingard

LUC Officer report: None

HLBAC Update: Meeting Feb 27 via teams will include hearing on the HLB 1 and 5 year plans.

See meeting packet for additional details.

GBOS update: Work Sessions on First Quarter Revisions and Girdwood Industrial Park will be held 2/11 and 2/18 at 7PM

#### **Announcements:**

\* ZBEA will hear Dimensional Variance Case 2025-0009 for property at 1230 Timberline Rd on 2/13/25:

<https://www.muni.org/CityViewPortal/Planning/Status?planningId=18125>.

\* PZC Case No. 2025-0021 Parks and Recreation Administrative Site Plan Review Thresholds.

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\* GBOS FEB Meeting will be held Feb 24 to avoid Presidents Day Holiday.

\* LUC March meeting will be held March 17 and GBOS March Meeting will be held March 24 to avoid spring break conflict.

#### **Reports:**

**Agenda Item LUC 2502-02:** Public Comment (3 minutes each)

Wingard: Army Corps of Engineers Permit has been requested for Pomeroy's Glacier Creek Development. See meeting packet for additional materials. [POA-2025-00047 PortageCreekDrainagePN.pdf](#)

**Agenda Item LUC 2502-03:** Committee Reports. Any items for update or discussion should be brought up at this time.

GHEC: gC-1 and gC-2 code change has been approved. Hoping for action on other projects soon that have been through GHEC and LUC and are currently in process with GBOS and MOA.

GTC: GTC is seeking members to serve as co-chair and treasurer.

PSAC: Recruiting for member to be appointed by GBOS, one application has been received.

#### **Old Business:**

**Agenda Item LUC 2403-04:** Status of the Girdwood Comprehensive Plan, Intro Nov 19, hearing Dec 17 and Jan 21. Imagine!Girdwood).

Last public hearing and likely vote at Assembly on Feb 25, Likely to see amendments come via Planning or Assembly members spoken testimony - phone or in-person. anyone who hasn't testified at the Assembly can speak on Feb 25. Those who have testified before should be able to speak to amendments See here for phone sign-up and written testimony:

<https://moaonlineforms.formstack.com/forms/assemblyphonetestimony>

**Agenda Item LUC 2409-07 & Agenda Item LUC 2409-08** Status of DNR Section Line Easement appeals. No news or other information. Item will move to Pending Business.

**Agenda Item LUC 2408-04:** Request for LUC recommendation for exclusion of the GVSA from the proposed 3% Municipal Sales Tax (Brice Wilbanks), New version of Sales Tax ordinance is under discussion with Assembly with hearing on March 4. This version includes the Girdwood-based Arts and Recreation proposal. Special Election will give voters an opportunity to vote if a sales tax ordinance passes the Assembly. Item will remain on the agenda in March. As the current proposal includes Girdwood-based project, which has been discussed and received support from LUC and GBOS, there is no action on this item at this time.

**New Business:**

**Agenda Item LUC 2502-04:** Development Master Plan for Alpenglw Residences gC-9 zoning district, BLK3 LT2. Mixed-use building housing two retail shops, Physical Therapy Clinic and 5 apartments. Petitioner seeking LUC recommendation for GBOS Letter of Non-Objection or Resolution of support, TBD (Z Architects, presenting). This meeting serves as the public meeting as required by code. Several people are attending the meeting to hear this presentation, part of which is included in the meeting packet. Project is owned in part by Korre Pieper, who has been serving Girdwood as a Physical Therapist for 12 years. Project includes two lots and phase construction of two buildings. The project at this time is just the first building, on lot 2. Project request is for a Development Master Plan, so that they can modify design standards. There are no variances requested, project complies with other aspects of Girdwood building code (height, setbacks, etc). Previously LUC has heard of issues with the powerline impacting buildability of this property. Owner and Chugach Electric have an agreement that CEA will move the power line and plans to underground this line within 5 years. Project will tie in to water main. Project includes PT Clinic, 2 retail spaces, 5 condominiums. Condos will be sold and some will be retained by owners. No plans to restrict use to owner/Long term rental via condo association rules. Group plans to break ground in June.

Specifically the elements that require Development Master Plan are:

- Flat roofs and rooftop deck: Flat roofs eliminate issues of snow shedding
- Driveway design that runs the property line between the two lots. Concept for this is a blended pedestrian, driveway, parking and café-seating concept.
- Adjustments to landscape plan to make retail space on the first floor more inviting. Landscaping will include Girdwood native plants, including edible berries.

This item will return to LUC in March requesting recommendation of action to GBOS. It is uncertain if the petitioner will request Letter of Non-Objection or a Resolution of Support.

**Agenda Item LUC 2502-05:** Request for LUC recommendation for GBOS Resolution of Support for variance for a retail hardware store in gC-10, Tract B2A, Alpine View Estates, Phase 3 (Tim Cabana, presenting).

Cabana is unclear on what he needs to do for this project and is initiating discussion as he wants to make retail option possible on this commercial lot. He did this previously for the parcel that has the brewery and for the unbuilt hotel, but not this parcel. A business is interested in building the facility and leasing the land.

Group discusses the intersection with Alyeska Highway as it is already congested and oddly offset from Donner Rd, across the street.

This item will go to pending business until petitioner has submitted a packet to planning.

**Request for GBOS/LUC Joint Meeting (1 of 2 required meetings completed in 2025, Jan 13): None requested**  
**Adjourn 8:27PM**

## Property cards, lots 1 and 2

PARID: 07507131000

PIEPER KORRE L

224 HIGHTOWER RD

LUC: 105

TAX YEAR: 2025

### Property Information

Property Location: 224 HIGHTOWER RD  
Class: C - Commercial  
Use Code (LUC): 105 - Mixed Resi/Comm  
Condo/Unit #:  
Tax District: 04  
Zoning: GC9  
Plat #: 650070  
HRA #: 000000  
Grid #: SE4815  
Deeded Acres:  
Square Feet: 12,056  
Legal Description: NEW GIRDWOOD TOWNSITE ALASKA  
BLK 3 LT 1

Economic Link: No

[Show Parcel on Map](#)

### Owner

Owner: PIEPER KORRE L  
Co-Owner:  
Care Of:  
Address: 12201 INDUSTRY WAY STE 4

PARID: 07507130000

GIRDWOOD BUILDING COMPANY LLC

204 HIGHTOWER RD

LUC: 301

TAX YEAR: 2025

### Property Information

Property Location: 204 HIGHTOWER RD  
Class: C - Commercial  
Use Code (LUC): 301 - Resi Structure on Commercial Land  
Condo/Unit #:  
Tax District: 04  
Zoning: GC9  
Plat #: 640126  
HRA #: 000000  
Grid #: SE4815  
Deeded Acres:  
Square Feet: 12,056  
Legal Description: NEW GIRDWOOD TOWNSITE ALASKA  
BLK 3 LT 2

Economic Link: No

[Show Parcel on Map](#)

### Owner

Owner: GIRDWOOD BUILDING COMPANY LLC  
Co-Owner:  
Care Of: THERAPIST CENTRAL LLC  
Address: 12201 INDUSTRY WAY SUITE 4  
City / State / Zip: ANCHORAGE, AK 99515  
Deed Book/Page: /



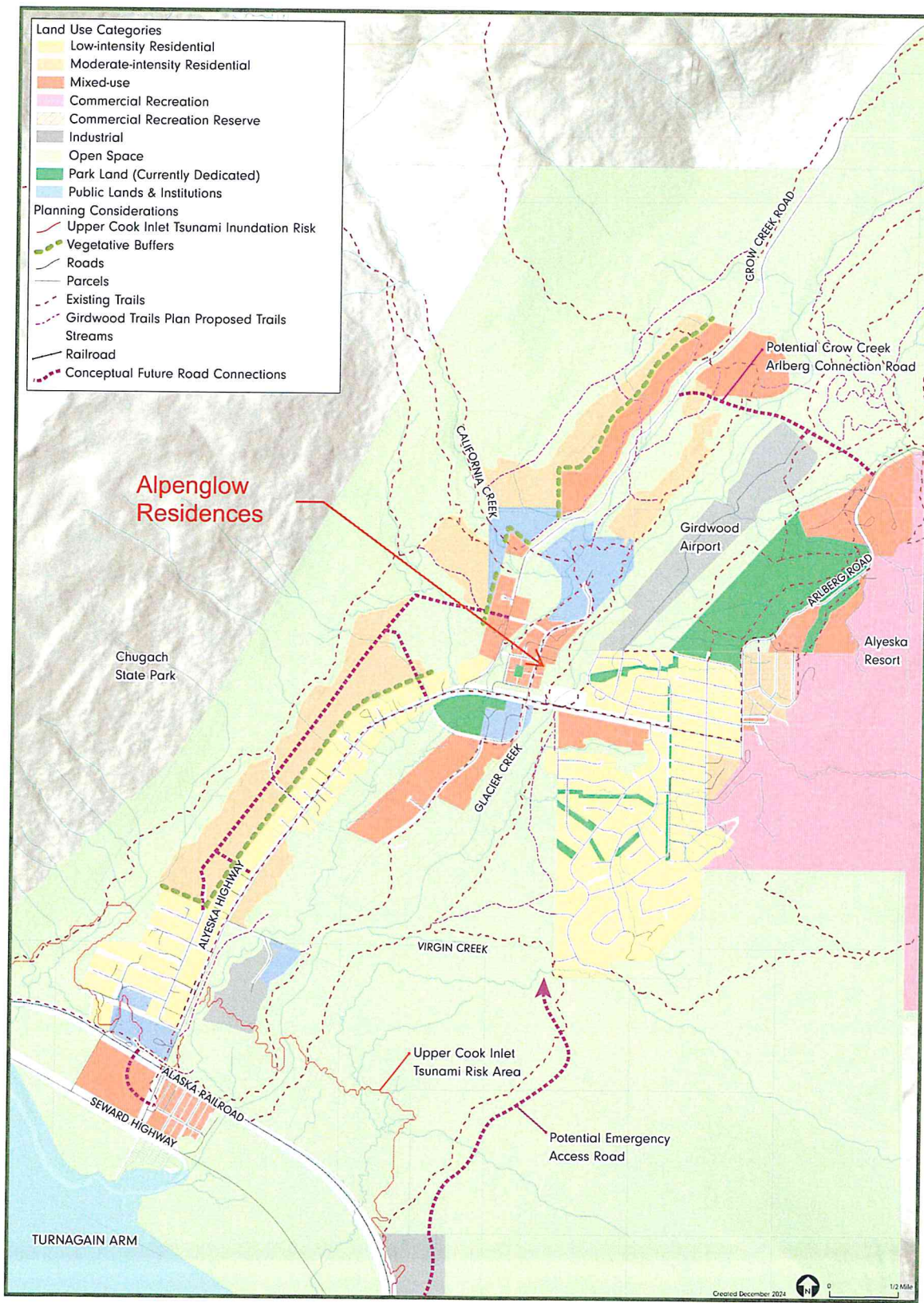
## ALPENGLOW RESIDENCES TIMELINE

PRELIMINARY TIMELINE as of 12-5-24 (Rev. 1-10-25)

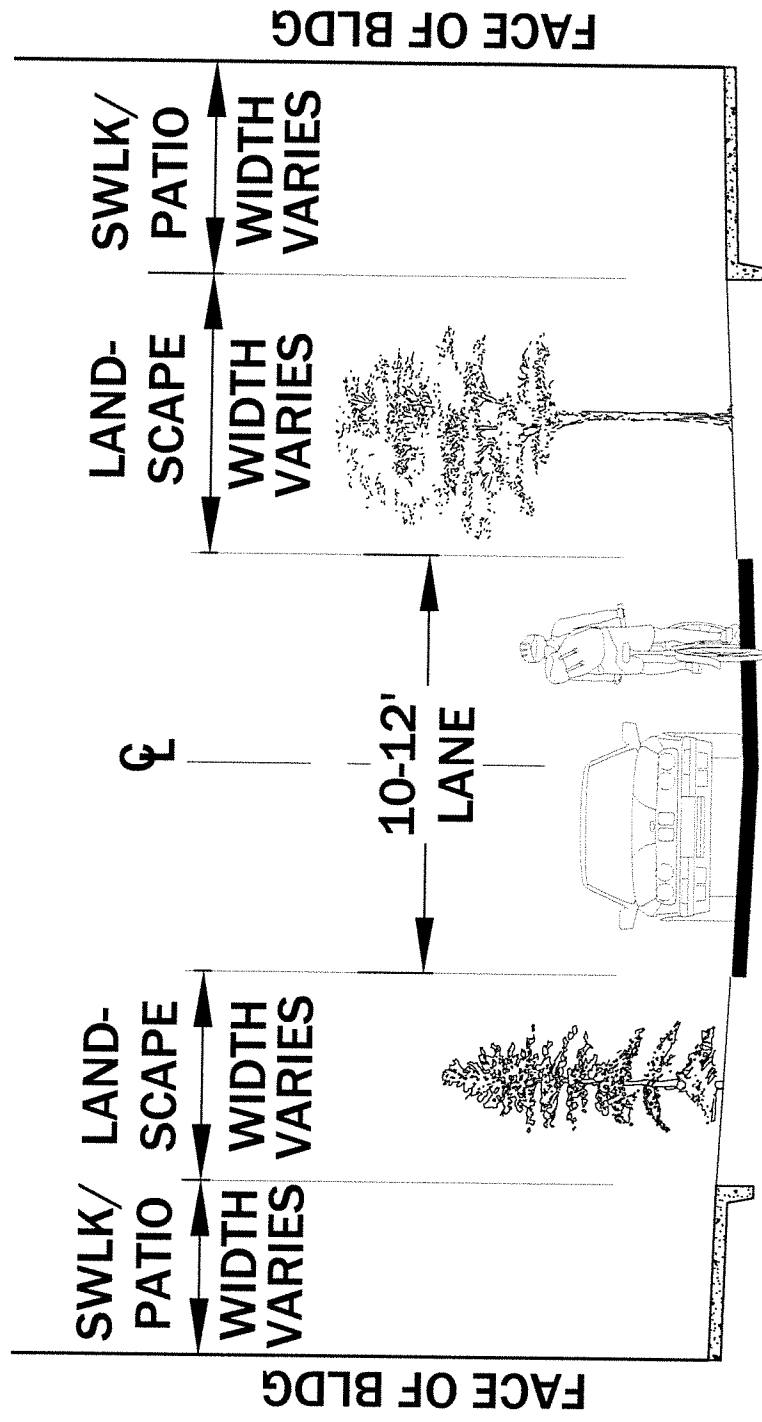
%	TYPE	GOAL / NOTE	TIME	DEADLINE
<b>ARCHITECTURAL DESIGN SCHEDULE</b>				
<b>UNDERSTANDINGS</b>				
<ol style="list-style-type: none"> <li>This design schedule is contingent on full design team of Civil, Structural, Mechanical &amp; Electrical Engineers being hired and engaged by January 2, 2025 and on all engineers agreeing to meet this design schedule and on Z Architects receipt of signed AIA contract by January 2, 2025. Engineers selected by client are subject to approval by Z Architects.</li> <li>Design schedule is based on assumption of minimal architectural revisions as a result of initial engineering review and comments.</li> <li>All contractor and Owner comments are due within one week after each submittal to maintain progress and stay on schedule.</li> <li>If, because of contractor pricing and budgeting, there is redesign this will result in schedule extension.</li> <li>Any substantive owner or contractor requested design changes will result in a schedule extension and fee adjustment.</li> <li>The Development Master Plan (DMP) schedule is dependant upon receipt of all documents and information that are to be furnished by owner (such as but not limited to a Letter of Authorization for Z Architects to be the Owner's Representative for the purpose of filling out applications and setting up meetings with the Planning Department).</li> </ol>				
		Receipt of signed AIA contract		1/2/2025
		Civil, Structural, Mechanical & Electrical Engineers hired and engaged		1/2/2025
		Engineer Review of and Comments on Architectural 35% Design received	2 wks	1/16/2025
<b>DESIGN SCHEDULE</b>				
65%	DESIGN	Design Development	6 wks	2/28/2025
95%	DESIGN	Construction Documents	6 wks	4/11/2025
	DMP	Meeting Date for Planning & Zoning Commission		4/14/2025
100%	DESIGN	Construction Documents	3 wks	5/2/2025
	PERMITTING	Apply for Land Use Permit		5/2/2025
	PERMITTING	Apply for Fire Marshal Permit		5/2/2025
		Fire Marshal Permit Issued assuming they need 4 weeks	4 wks	5/30/2025
		Construction Administration	TBD	TBD
<b>MOA Planning Department Process</b>				
<p>Note: Planning Department schedule is dependant upon receipt of all documents and information that are to be furnished by owner, such as but not limited to a Letter of Authorization for Z Architects to be the Owner's Representative for the purpose of filling out applications and setting up meetings with the Planning Department.</p>				
		Request addresses from MOA for Community Meeting Mailing		1/13/2025
DMP		Submit Request For Pre-Application Conference		week of Jan 20, 2025
DMP		Cut-off date for Public Process Notices to be mailed		1/20/2025
DMP		Pre-Application Conference		week of Jan 26, 2025
DMP		Cut-Off Date for submittals to Planning & Zoning Commission		2/3/2025
DMP		Public presentation at LUC (new business)		2/10/2025
DMP		Public presentation at GBOS (new business)		2/24/2025
DMP		Request a Letter of Support from LUC (old business)		3/10/2025
DMP		Request a Letter of Support from GBOS (old business)		3/17/2025
DMP		Meeting Date for Planning & Zoning Commission		4/14/2025
PERMITTING		Apply for Land Use Permit		5/2/2025

# Girdwood Comprehensive Plan Land Use Plan Map

## Lower Valley Enlargement

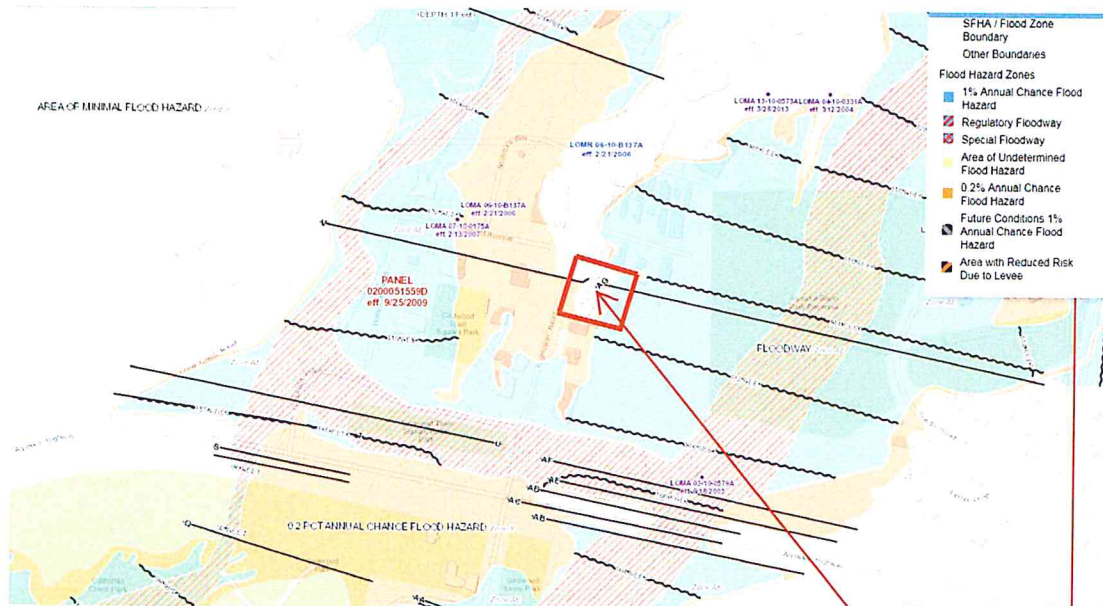


Map 3-2. Girdwood Land Use Plan Map- Lower Valley Enlargement

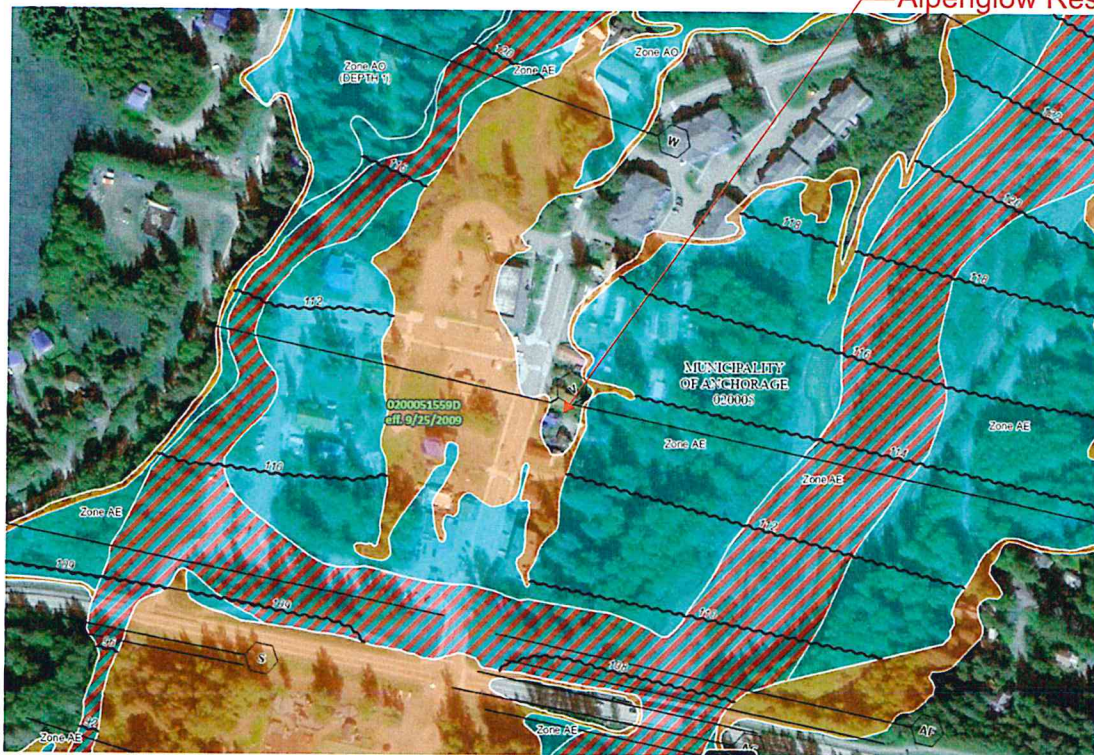


# DRIVEWAY SECTION

# FEMA Flood Maps for Alpenglow Residences



Alpenglow Residences



[illegible][illegible]

Contact the FEMA Map Service Center at 1-800-368-5816 for information on previously produced products associated with this FEMA Flood Insurance Study, including previously issued Letters of Map Change, Aerial Inundation Study report, and/or digital versions of this map. The FEMA Map Service Center may also be reached by fax at 1-800-368-5830 and its website at <http://www.msc.fema.gov/>.

If you have questions about this map or questions concerning the National Flood Insurance Program in general, please call 1-877-FEMA (363-3627).

[illegible]

Plotting Boundary	Zone 0 boundary	CRS and ON boundary	Boundary defining Standard Flood Hazard Areas of different Base Flood Frequencies, Flood Depths or Flood Occurrences	Base Flood Elevation line and values; elevation in feet	Base Flood Elevation value where surface within zone
~ ~ ~ ~ ~	~ ~ ~ ~ ~	~ ~ ~ ~ ~	~ ~ ~ ~ ~	~ ~ ~ ~ ~	(1, 997)

[illegible]

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and may be available to request from the American Psychological Association, 750 First Street, NE, Washington, DC 20002-4242.

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0893-3200/05/\$12.00 DOI: 10.1037/0893-3200.20.5.517

517



PANEL 1539 OF 1975	CONTAINS	NUMBER	PANEL SIZE
(SEE MAP INDEX FOR PANEL LAYOUT)	COMMUNITY	1539	5

Category and its relationship to address in the CDD and PDD forms

020005155200  
MAP REVISED  
JAN 1963

SEPTEMBER 25, 2009

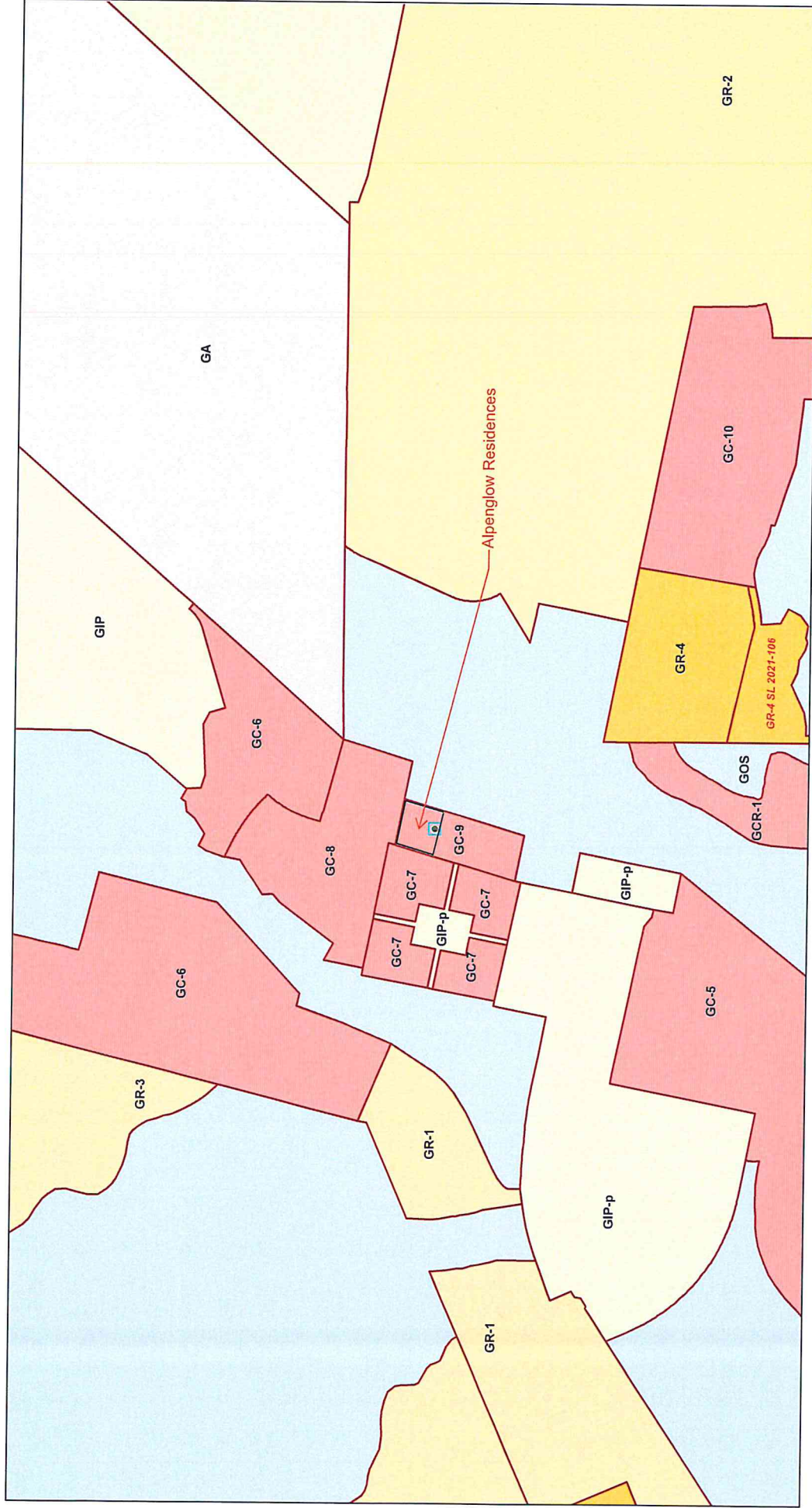
Federal Emergency Management Agency



☐ B.L.M. Brass Cap Monuments returned this survey.  
☐ Brass Cap Monuments set by Steady McLeve received this survey.  
☐ A.D.L. Copperhead Monuments set this survey.  
☐ A.D.L. Brass Cap Monuments set this survey.  
 All other corners,  $\sqrt{2}$  Wooden Stakes.

[illegible]

# MOA Zoning



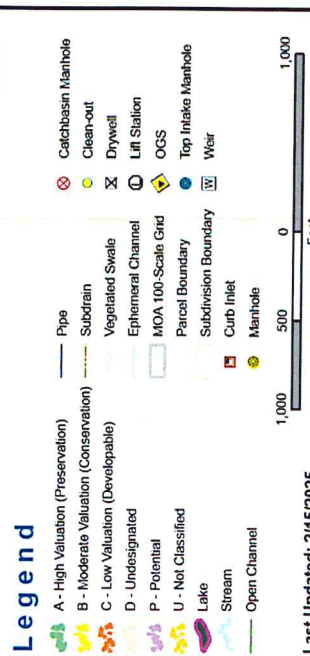
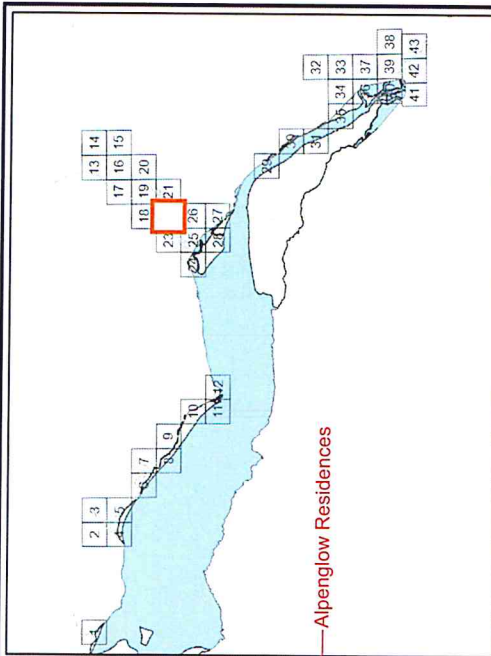
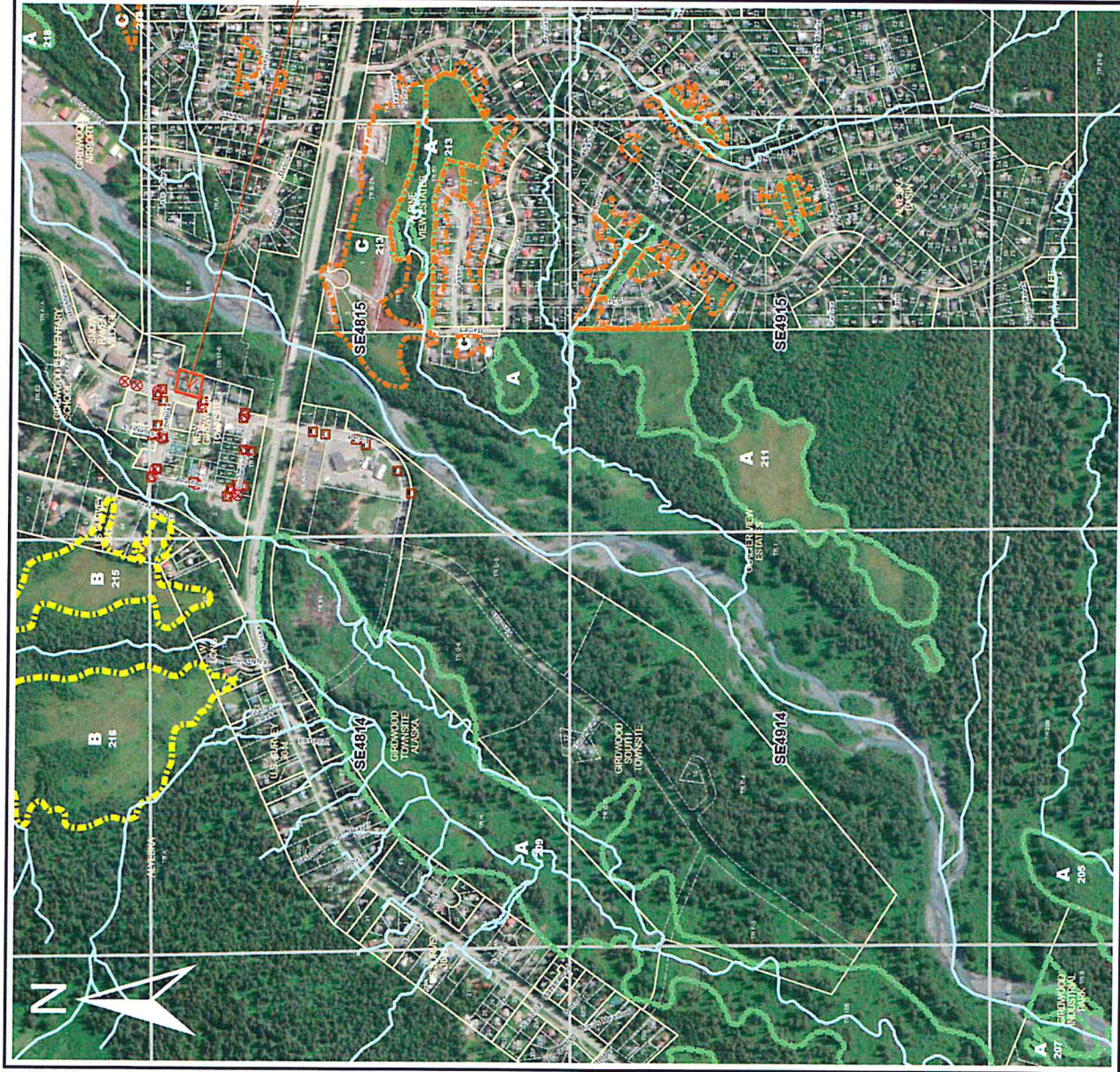
1/27/2025, 12:55:19 PM

- Zoning Outlines
- Zoning
- Multiple Family Residential
- Girdwood Residential
- Commercial
- Aviation
- Public Lands and Institutions
- Parks
- PropertyInformation\_Hosted

1:9,028



Kenai Peninsula Borough, Municipality of Anchorage, State of Alaska, © OpenStreetMap, Microsoft, Esri, TomTom, Garmin, SafeGraph, METINASA, USGS, EPA, NPS, US Census Bureau, USDA, USFWS, Esri, USGS, FEMA



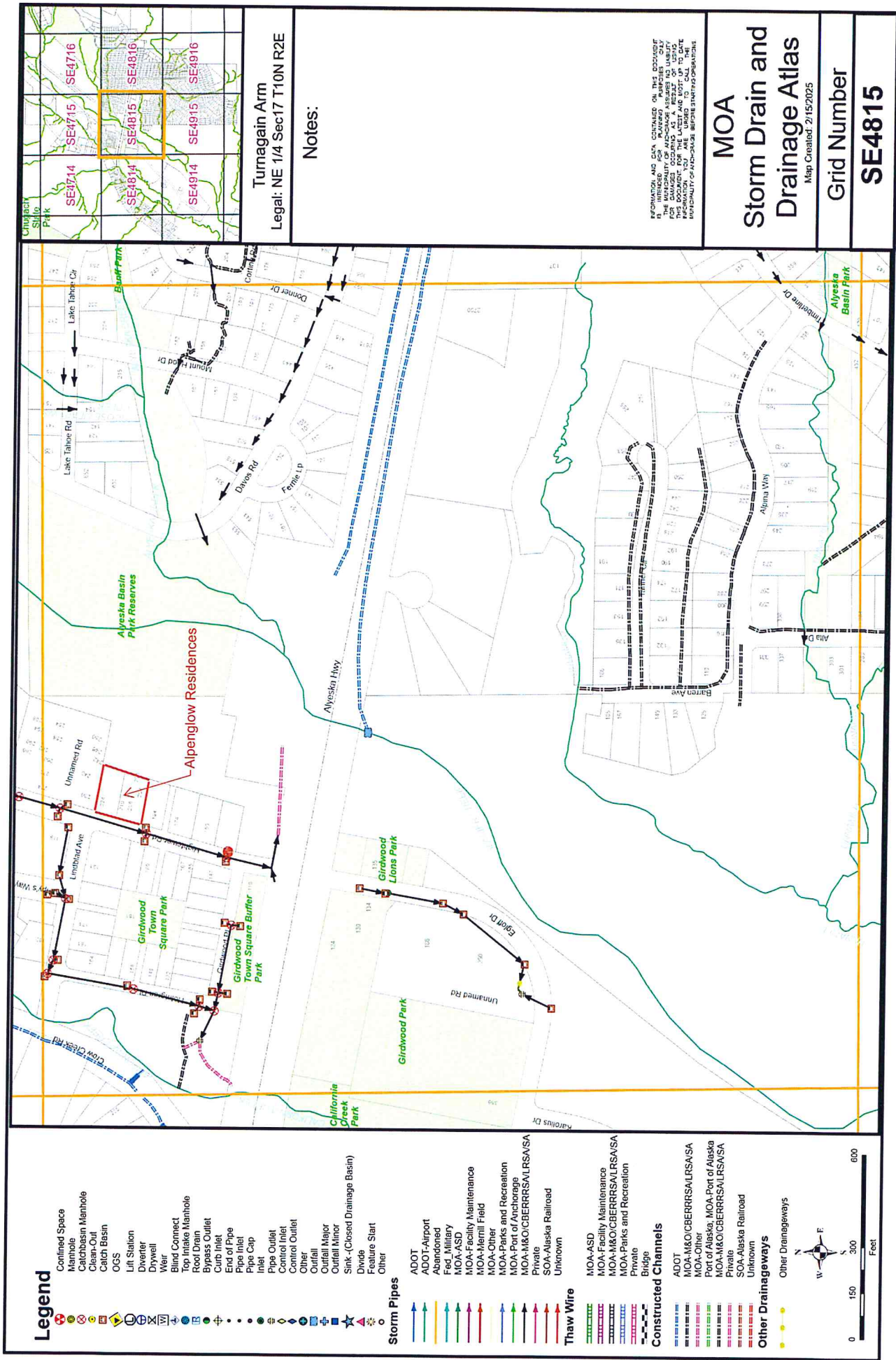
**NOTES**

1. Information contained on these maps is provided for planning purposes and may be incomplete or contain errors. Please contact the Municipality to confirm project-specific applications.
2. Numbered Map Plates match the 1995 Wetlands Map.
3. Plates with an "a" suffix have been added since the 1995 Wetland Management Plan.



# Turnagain Arm Wetlands Map 22

## T10N R02E S17

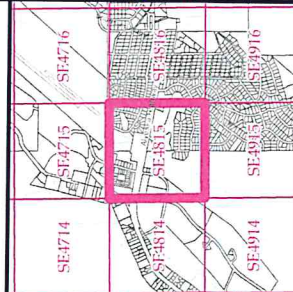


























ABS	Acrylonitrile-Butadiene-Styrene
AS	Asbestos
CC	Concrete Cylinder
CC	Concrete
CI	Cast Iron
CFRP	Cured In Place Pipe
CMP	Corrugated Metal
CN	Concrete
CN	Copper
DI	Ductile Iron
DC	Formed Concrete
DM	Dimensional
HDPE	High Density Polyethylene
MLC	Mortar Lined Concrete
PE	Polyethylene
PVC	Polyvinylchloride
RC	Reinforced Concrete
RC	Steel
TC	Textile
UNK	Unknown
WC	Wet Lay
WST	Welded Steel
WST	Welded Steel
NP	No Print
*	Private System



Legal:  
NE 1/4 Sec17 T10N R2E



- | Controlled and Design  | Administrative Facility  |
|--|--|
| <br><br><br><br><br><br><br><br><br><br><br><br><br><br><br><br><br><br><br><br><br> | <p>Chlorox AMVU</p> <p>Chlorox Private</p> <p>Chlorox/Indochem AMVU</p> <p>Dangerous Material</p> <p>Across the AMVU</p> <p>Murphy AMVU</p> <p>Murphy Private</p> <p>Dangerous Boat AMVU</p> <p>Alfred AMVU</p> <p>Indochem AMVU</p> <p>Leftover Station</p> <p>Mining Station</p> <p>Scrapage Recycling Station</p> <p>Treatment Facility</p> |

- | Constructed Pipe  | Gravity Main, All Owners | Service Line, All Owners | Casing and Outer Pipe, All Owners |
|---|--------------------------|--------------------------|-----------------------------------|
|  |                          |                          |                                   |
|   |                          |                          |                                   |
|   |                          |                          |                                   |

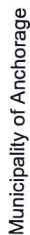
- | Design Pipe | Cr  | Cr  | Fe  | Cr  |
|-------------|---|---|---|---|
|             |  |  |  |  |

- |                      |                                |
|----------------------|--------------------------------|
| Force Main, nonAWVU  | Abandoned in Place, All Owners |
| Record Drawing Limit | MOA Grid                       |
| Sewer has n          |                                |

INFORMATION AND DATA CONTAINED ON THIS DOCUMENT IS NOT TO BE CONSIDERED ACCURATE AND THE MUNICIPALITY OF ANCHORAGE ASSUMES NO LIABILITY FOR DAMAGES OCCURRING AS A RESULT OF USING THIS DOCUMENT. FOR THE LATEST AND MOST UP TO DATE INFORMATION YOU ARE URGED TO CALL THE ANCHORAGE WATER & WASTEWATER UTILITY AT (907) 564-2725 BEFORE STARTING OPERATIONS.

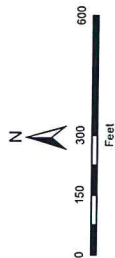
## Wastewater Collection System

Grid Number SE4815



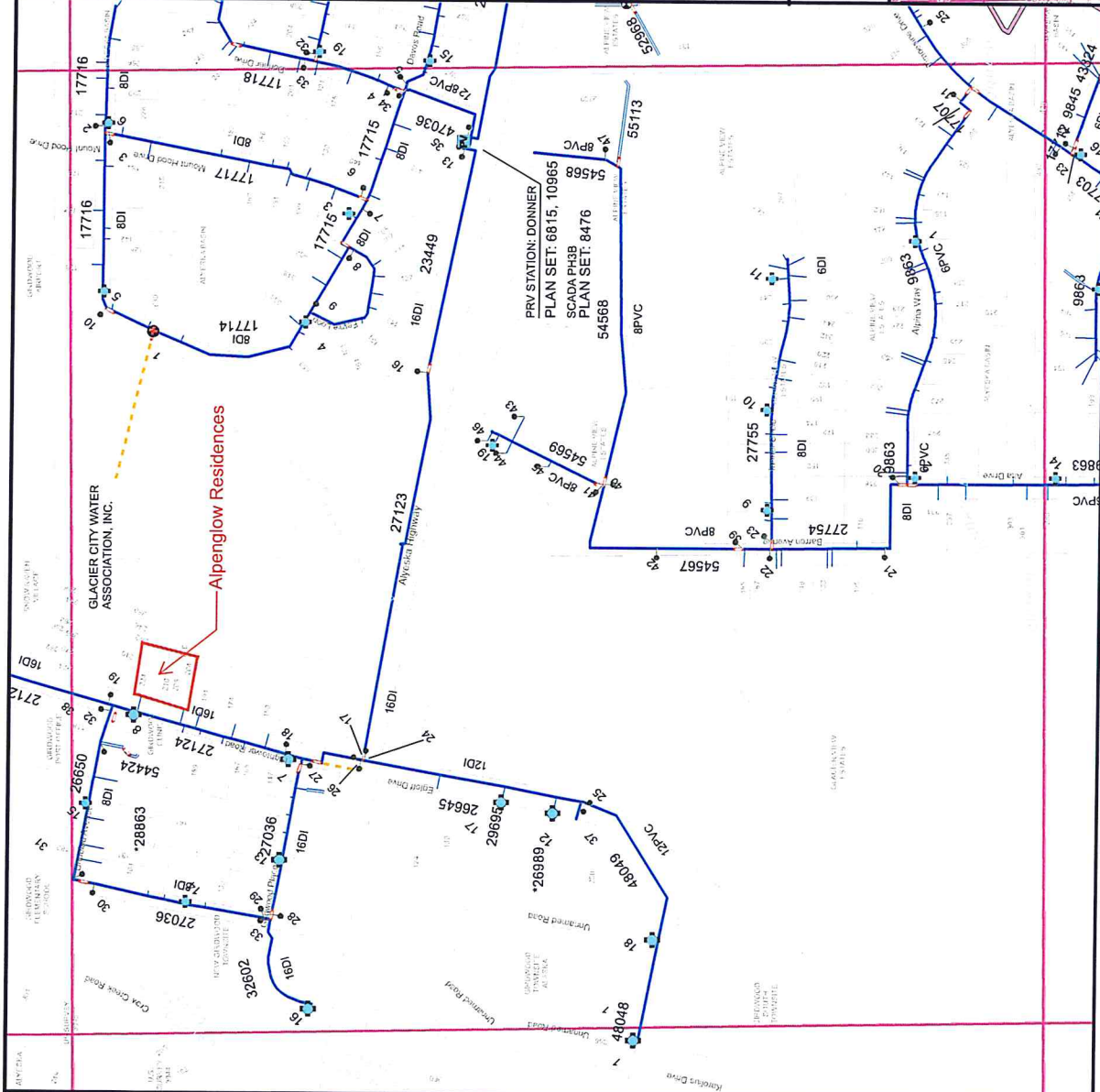
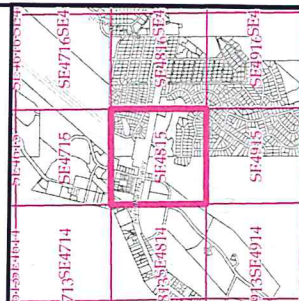
## Pipe Types

- |      |                                 |
|------|---------------------------------|
| ABS  | Acrylonitrile-Butadiene-Styrene |
| AS   | Asbestos Concrete               |
| CC   | Concrete Cylinder               |
| CI   | Cast Iron                       |
| CC   | Cast Con                        |
| CFRP | Cured In Place Pipe             |
| CMPC | Corrugated Metal                |
| CU   | Copper                          |
| CN   | Concrete                        |
| CU   | Copper                          |
| F    | Purified Iron                   |
| E    | Expanded Concrete               |
| G    | Galvalume                       |
| GL   | Galvanized Steel                |
| HDPE | High Density Polyethylene       |
| MLC  | Mortar Lined Concrete           |
| PVC  | Polyvinylchloride               |
| PE   | Polyethylene                    |
| R    | Reinforced                      |
| RC   | Reinforced Concrete             |
| ST   | Steel                           |
| TC   | Tactile                         |
| VK   | Unknown                         |
| WC   | Welded Steel                    |
| WS   | Wood Decking                    |
| WST  | Welded Steel                    |
| NP   | No Print                        |
| *    | Private System                  |

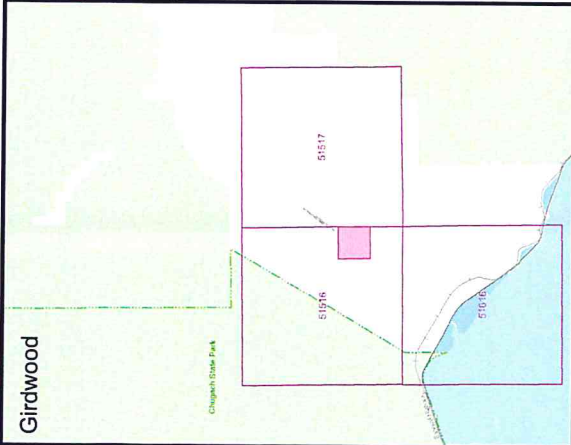


Map Created: 01/10/2025

Legal:  
NE 1/4 Sec17 T10N R2E



# Water Distribution System



### Legend

- [illegible]

### Design Pipe

- [illegible]

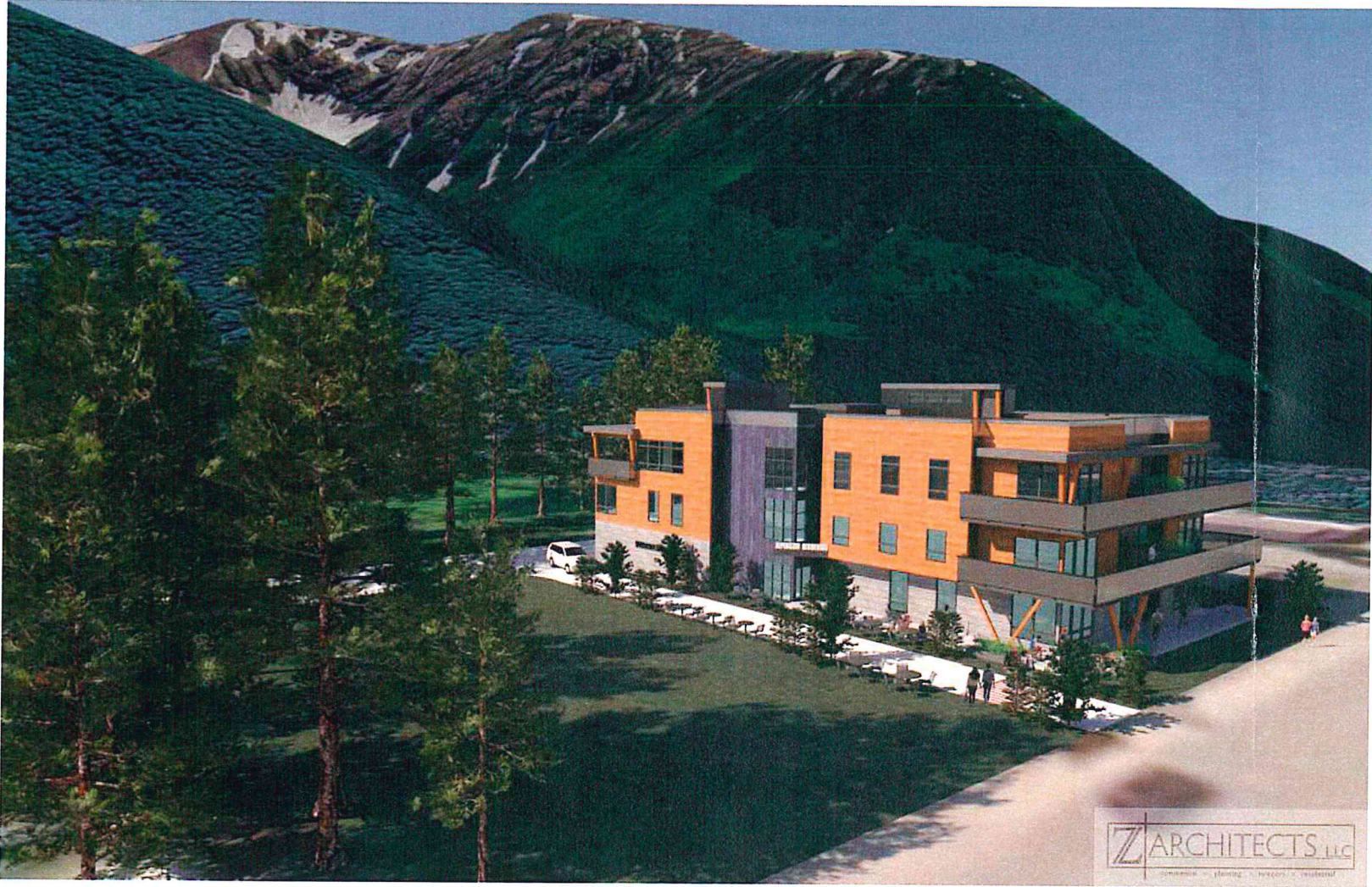
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SE4815 Grid Number

SE4815

# ALPENGLOW RESIDENCES MIXED USE DEVELOPMENT

204 Hightower Road, Girdwood, Alaska



**Z ARCHITECTS LLC**  
commercial • planning • interiors • residential  
G I R D W O O D , A L A S K A  
BOX 842 99587  
PH 907.783.1090  
ZARCHITECTS@ALASKA.NET

- Survey

49TH STAR SURVEYING  
JEREMY A. HURST  
GIRDWOOD, ALASKA
- Civil

TRIAD ENGINEERING  
GRANT MATTHEWS  
ANCHORAGE, ALASKA
- Landscape

EARTHSCAPE  
ELISE HUGGINS  
ANCHORAGE, ALASKA
- Structural

ENNOVATIVE. LLC  
JEFFREY S. ROBERTSON,  
ANCHORAGE, ALASKA
- Mechanical

T3 ALASKA  
ALEC C. THOMSON  
ANCHORAGE, ALASKA
- Electrical

T3 ALASKA  
SAMANTHA REDICK  
ANCHORAGE, ALASKA

BUILDING AREA

FIRST FLOOR (COMMERCIAL & GARAGE)	5,539 SF
SECOND FLOOR (RESIDENTIAL & COMMERCIAL)	5,657 SF
THIRD FLOOR (RESIDENTIAL)	5,412 SF
TOTAL GROSS BUILDING AREA	16,608 SF

PROJECT INFORMATION

THIS PROJECT IS A MIXED USE DEVELOPMENT WITH COMMERCIAL SPACE ON THE FIRST FLOOR AND SECOND FLOOR AND RESIDENTIAL SPACE ON THE SECOND AND THIRD FLOOR.

ADDRESS

204 HIGHTOWER ROAD, GIRDWOOD AK 99587

LEGAL DESCRIPTION

NEW GIRDWOOD TOWNSITE  
BLOCK 3, LOT 2

ZONING INFORMATION

ZONING:

FLOOD ZONE:

BASE FLOOD ELEVATION (BFE)

LOWEST FLOOR MINIMUM ELEVATION BFE +1'

BUILDING HEIGHTS ALLOWABLE:

FRONT YARD SETBACK:

SIDE YARD SETBACK:

REAR YARD SETBACK:

gC-9

AE, X

113 FT

114 FT

35 FT

16 FT MIN, 20 FT MAX<sup>a</sup>

10 FT<sup>b</sup>

10 FT

DRAWING INDEX

- T1.1 COVER SHEET
- A0.0 LOCATION MAP
- A0.00 VICINITY MAP
- R1.1 RENDERINGS
- R1.2 RENDERINGS
- R1.3 RENDERINGS

SURVEY

ASBUILT SURVEY LOTS 1 & 2 BLOCK 3

CIVIL

- C3.0 GRADING PLAN
- ~~DRIVEWAY SECTION~~

LANDSCAPE

L1.0 DEVELOPMENT MASTER PLAN LANDSCAPE ANALYSIS

ARCHITECTURAL

- A0.1 SITE PLAN PHASE 1 & 2
- A0.2 SITE PLAN
- A0.3 CODE PLAN
- A0.5 COMMUNITY PARKING ACCESS PLAN
- ~~A0.6 ACCESSIBILITY DIAGRAMS~~
- ~~A0.7 TYPE D DIAGRAMS~~
- ~~A0.8 TOILET ROOM MOUNTING HEIGHTS~~
- A1.1 FIRST FLOOR PLAN
- A1.2 SECOND FLOOR PLAN
- A1.3 THIRD FLOOR PLAN
- A1.4 ROOF PLAN
- A1.8 UNIT 1 FLOOR PLAN
- A1.9 UNIT 2 FLOOR PLAN
- A1.10 UNIT 3 FLOOR PLANS
- A1.11 UNIT 4 FLOOR PLANS
- A1.12 UNIT 5 FLOOR PLANS

- A2.1 ELEVATIONS
- A3.1 BUILDING SECTIONS
- A3.2 BUILDING SECTIONS
- ~~A5.1 WALL TYPES~~
- ~~A5.2 FLOOR AND ROOF TYPES~~
- ~~A5.3 EXTERIOR WALL DETAILS~~
- ~~A5.4 ROOF DETAILS~~

STRUCTURAL

- ~~A1.1 FIRST FLOOR PLANS STRUCTURAL MARKUPS~~
- ~~A1.1 FIRST FLOOR PLANS STRUCTURAL MARKUPS~~
- ~~A1.2 SECOND FLOOR PLANS STRUCTURAL MARKUPS~~

ELECTRICAL

- ~~E0.1 ELECTRICAL SPECIFICATIONS AND ABBREVIATIONS~~
- ~~E1.1 ELECTRICAL SITE PLAN~~
- ~~E2.1 FIRST FLOOR LIGHTING PLAN~~
- ~~E2.2 SECOND FLOOR LIGHTING PLAN~~
- ~~E2.3 THIRD FLOOR LIGHTING PLAN~~
- ~~E3.1 FIRST FLOOR POWER & SIGNAL PLAN~~
- ~~E3.2 SECOND FLOOR POWER & SIGNAL PLAN~~
- ~~E3.3 THIRD FLOOR POWER & SIGNAL PLAN~~
- ~~E3.4 ROOF LEVEL POWER & SIGNAL PLAN~~
- ~~E4.1 SINGLE LINE DIAGRAMS~~
- ~~E5.1 LIGHT FIXTURE SCHEDULE~~

DEVELOPMENT MASTER PLAN  
2-24-25



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194 OLYMPIC MOUNTAIN LOOP  
GIRDWOOD AK, 99587  
(907) 783-1090  
LLC CORPORATE #10072843

ALPENGLOW RESIDENCES - PHASE I  
204 HIGHTOWER ROAD, GIRDWOOD, ALASKA  
DESIGN DEVELOPMENT

COVER SHEET

JOB NO. 25-02

SUBMITTAL: 02.24.25

DRAWN BY: ET

CHECKED BY: MAZ

REVISIONS:

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T1.1



Google Earth

Image © 2021 CNES / Airbus

LOCATION MAP  
SCALE: NO SCALE

DEVELOPMENT MASTER PLAN  
2-24-25



DATE:

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LLC CORPORATE #10072843

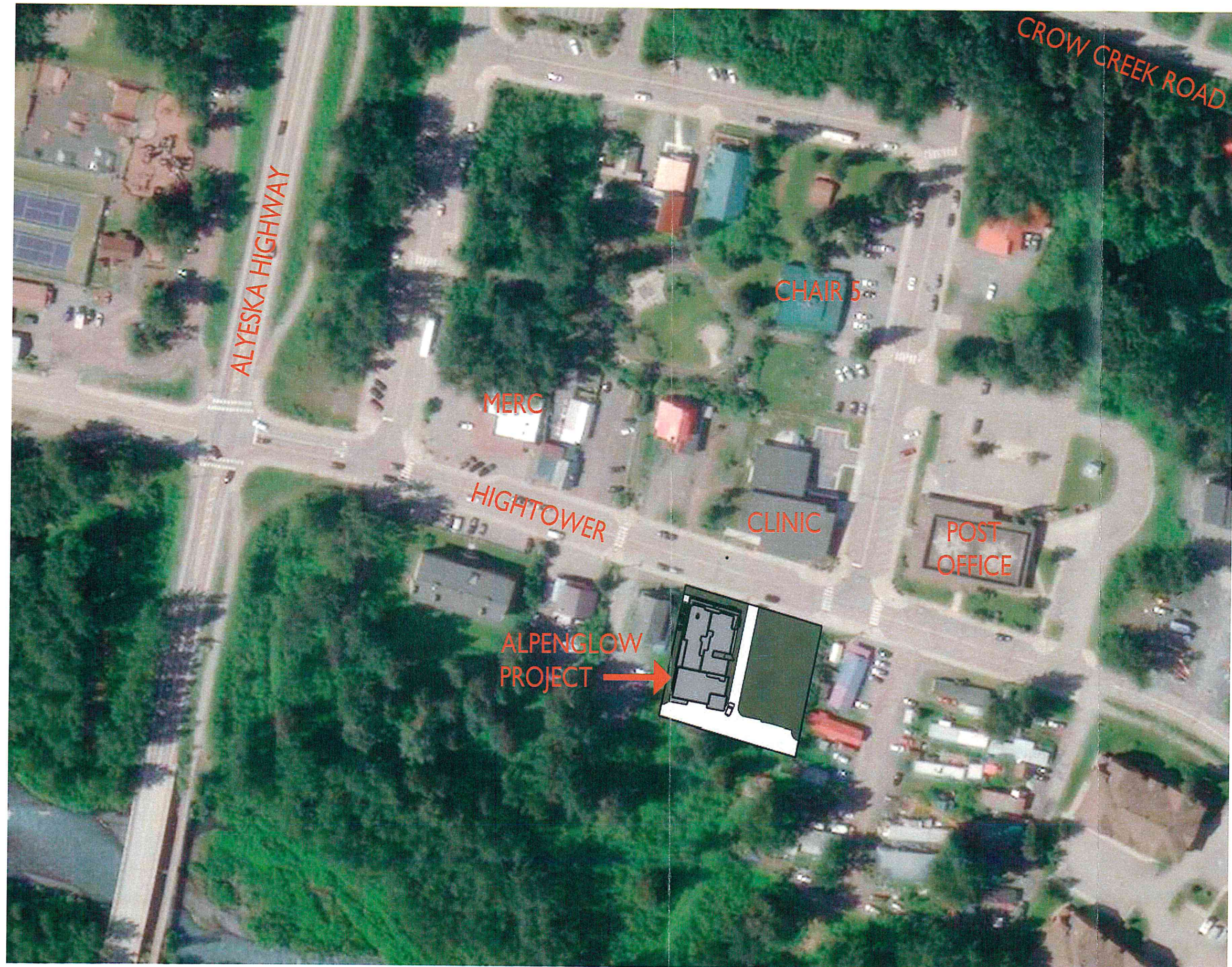
ALPENGLOW RESIDENCES - PHASE I  
204 HIGHTOWER ROAD, GIRDWOOD, ALASKA  
DESIGN DEVELOPMENT

LOCATION MAP

JOB NO. 25-02  
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1

VICINITY MAP  
SCALE: NO SCALE



DEVELOPMENT MASTER PLAN  
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ALPENGLOW RESIDENCES - PHASE I  
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VICINITY MAP

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DEVELOPMENT MASTER PLAN  
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RENDERINGS

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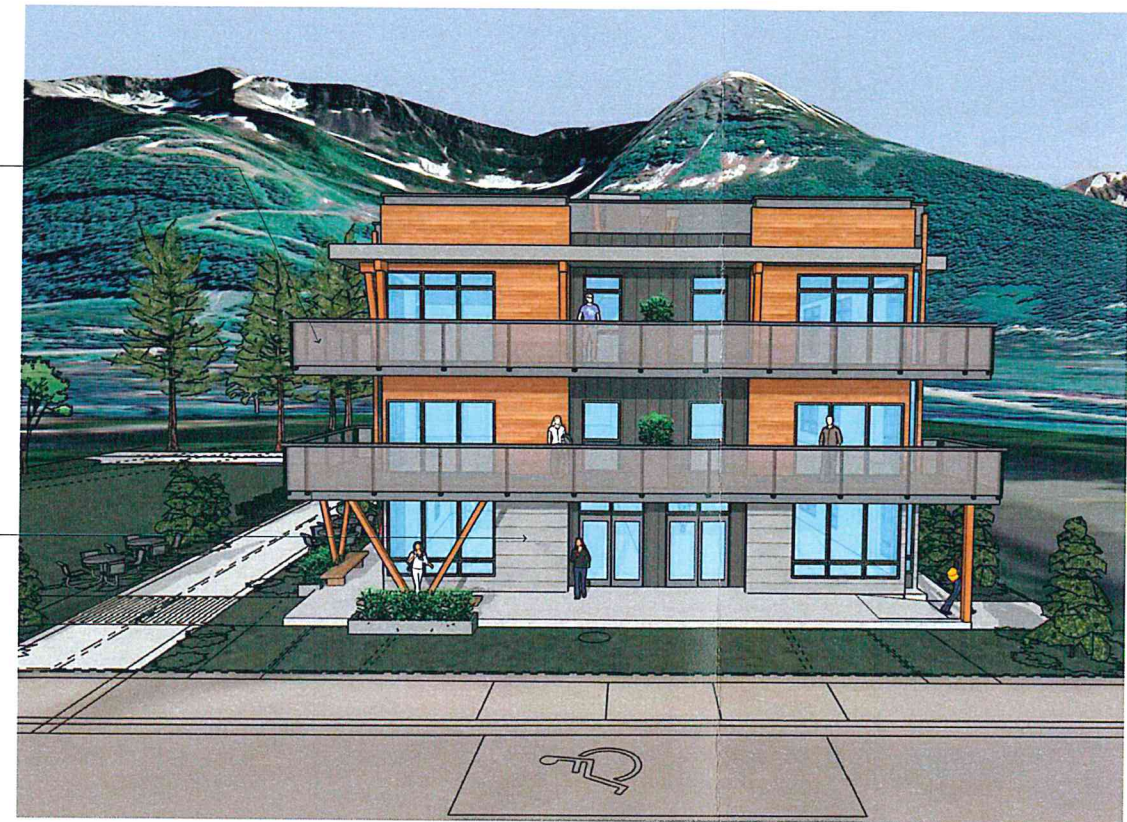
R1.2



PERSPECTIVE LOOKING SOUTHEAST

PERFORATED METAL  
GUARDRAIL

HORIZONTAL TEXTURED  
ARCHITECTURAL  
CONCRETE PANELS



EAST (HIGHTOWER) ELEVATION



SOUTH ELEVATION

VERTICAL METAL PANELS

HORIZONTAL CEDAR  
SIDING OR CEDAR  
APPEARANCE PHENOLIC  
RESIN PANELS



WEST ELEVATION

1 IMAGES FROM THE MODEL  
SCALE: NO SCALE

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2-24-25



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204 HIGHTOWER ROAD, BIRDWOOD, ALASKA  
DESIGN DEVELOPMENT

RENDERINGS

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R1.3

# LEGEND

- |                  |                                     |
|------------------|-------------------------------------|
| △ Comm. Pedestal | ⊗ Water Valve                       |
| ⊙ Fire Hydrant   | — Sign                              |
| ⊙ Utility Pole   | — Guy Wire                          |
| ⊙ Gas Meter      | ⊙ Light Pole                        |
| ⊙ Sewer Manhole  | ⊕ Found Monument                    |
| ⊙ Elec. Meter    | ⊙ Found 5/8" Rebar                  |
| ⊙ Elec. Handhole | ⊕ Found Yellow Plastic Cap          |
| ⊙ Transformer    | ○ Set 5/8" Rebar W/ 2" Aluminum Cap |
| ⊙ Storm Manhole  |                                     |
| ⊙ Catch Basin    |                                     |

Base Flood Elevation Contour

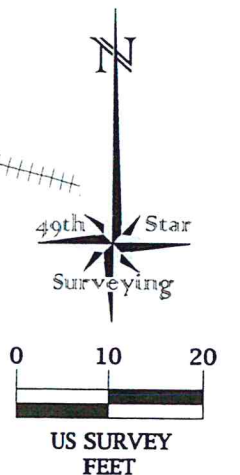
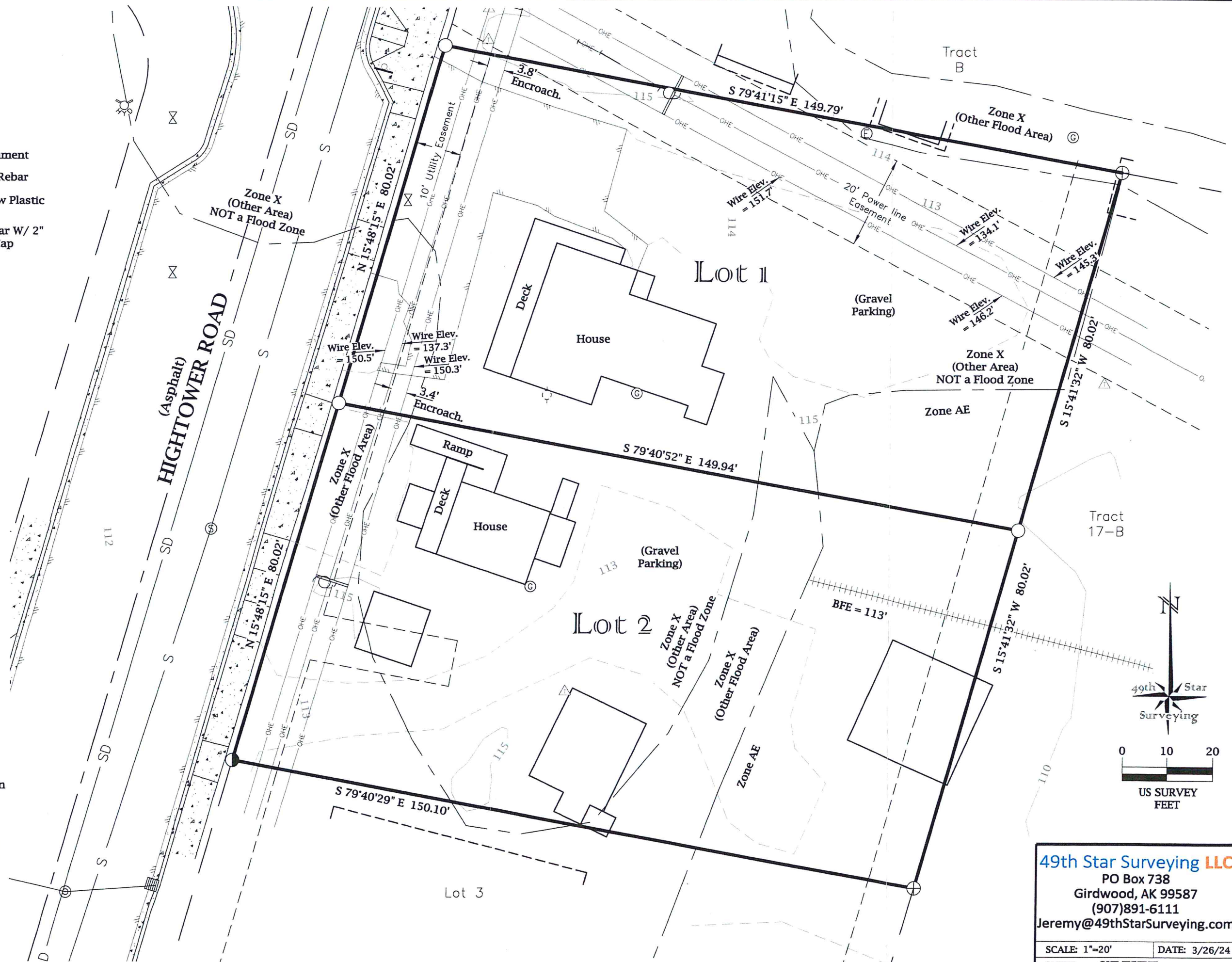
FEMA Flood Flood Zone Boundary



## NOTES

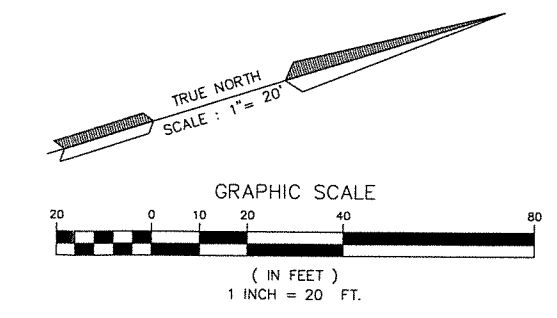
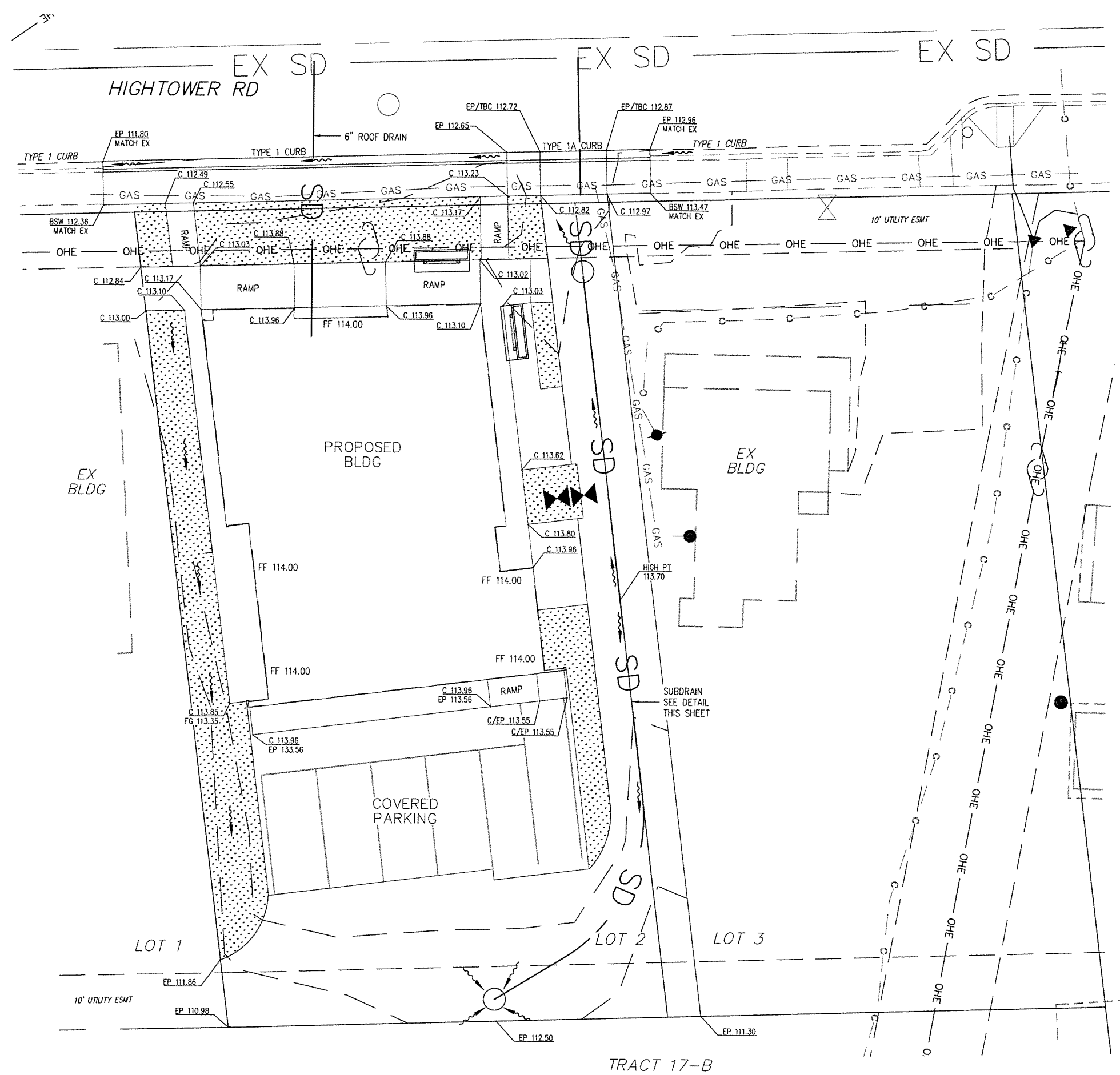
- All dimensions shown are grid bearings, and ground distances with vertical on the GAAB datum.
- 49th Star has conducted a physical survey of the property and all details shown on this Asbuilt Survey are correct.
- All disturbed areas not covered with authorized installations are required to be revegetated.
- Bear resistant refuse containers to be utilized
- Easements shown are from the record subdivision Plat. No additional research has been performed.
- Zone GC-9 allows for a 0-foot side setback if certain conditions are met.

**ASBUILT SURVEY**  
 Lots 1 & 2, Block 3,  
 New Girdwood Townsite  
 Alaska Subdivision,  
 Girdwood, AK



**49th Star Surveying LLC**  
 PO Box 738  
 Girdwood, AK 99587  
 (907)891-6111  
 Jeremy@49thStarSurveying.com

SCALE: 1"=20'      DATE: 3/26/24  
 SHEET: OHE-EXHIBIT



**AWWU PLAN SET NO.**

**TRAD ENGINEERING, LLC**  
 P.O. Box 111989, 99511  
 Anchorage, Alaska  
 (907) 561-5500  
 www.tradeng.com  
 CO# 128635

**RECORD DRAWING**  
 1. DATA PROVIDED  
 BY: \_\_\_\_\_  
 This will serve to certify that these Record Drawings are a true and accurate representation of the project as constructed.  
 CONTRACTOR: \_\_\_\_\_  
 BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
 2. DATA TRANSFERRED  
 BY: \_\_\_\_\_  
 COMPANY: \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 3. DATA TRANSFER CHECKED  
 Based on periodic field observations by the Engineer (or an individual under his/her direct supervision), the Contractor-provided data appears to represent the project as constructed.  
 BY: \_\_\_\_\_  
 COMPANY: \_\_\_\_\_  
 BY: \_\_\_\_\_ DATE: \_\_\_\_\_

**THE ALPENGLOW RESIDENCES GRADING PLAN**

BY CKD	REVISIONS	DATE

DESIGNED	DRAWN	CHECKED	DATE

FILE: ALPENGLOW RESIDENCES  
 JOB NO: 24-  
 CASE: N/A  
 DATE: FEB 2025  
 SCALE: HORIZ: VERT: SWESJ

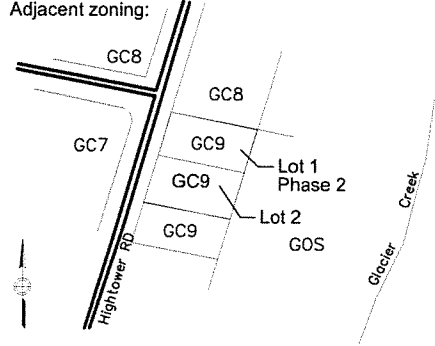
**SHEET C3 OF 5**

LAND USE PERMIT NO. C25-\_\_\_\_\_

# Landscape Analysis

21.09.070 Girdwood Site Development Standards

LANDSCAPING REQUIREMENTS (Title 21.09)  
Zoning: GC9  
Adjacent zoning:



21.09.070 E. Landscaping, Vegetation, and Tree Retention

4. Per Table 21.09-10:
- a. Minimum Vegetation Coverage:  
Multifamily Residential 20%;  
Commercial 10%.  
Total Permeable Surface including natural vegetation:  
Multifamily Residential 40%;  
Commercial 20%
- b. Required vegetated areas may be located anywhere on the site or lot. Individual vegetated areas shall be a min. of 200 square feet, with no dimension less than 10 feet.
- c.i. Evergreen trees min. of 5' tall, height:spread ratio 5:3. (Field collected shall be min. 24" height, and deciduous trees a minimum of 8' tall, 1.5" cal. planted at average intervals not greater than 15 feet on center. 50% max. deciduous.
- c.ii. 3 shrubs/tree min. height 18"; groundcover or mulches for complete coverage after 3 years.

Minimum Vegetation Coverage  
Lot 2 Area = 11,948 SF  
10% = 2,390 SF (Commercial)  
1,195

Minimum Permeable Surface  
Lot 2 Area = 11,948 SF  
20% = 2,390 SF (Commercial)

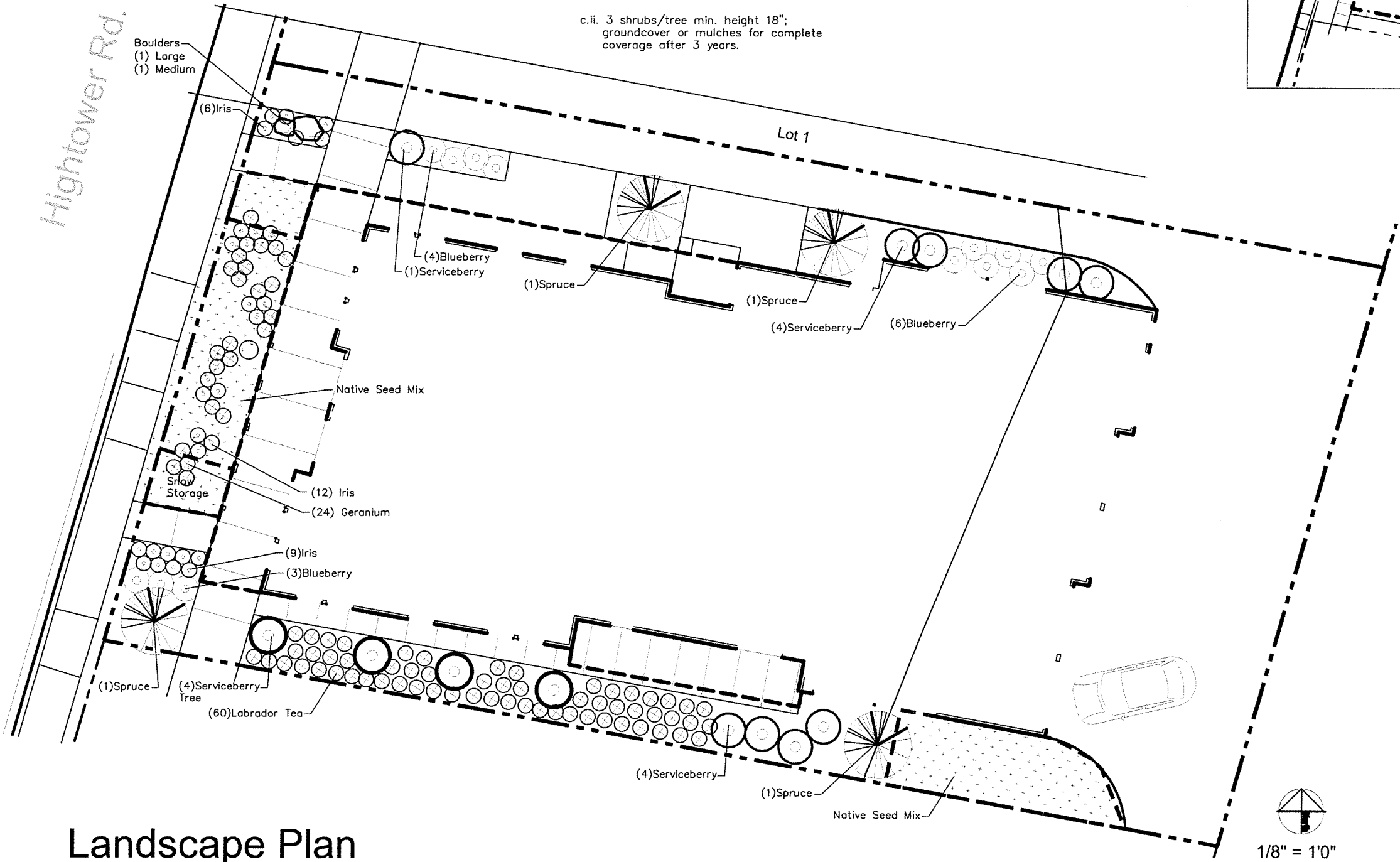
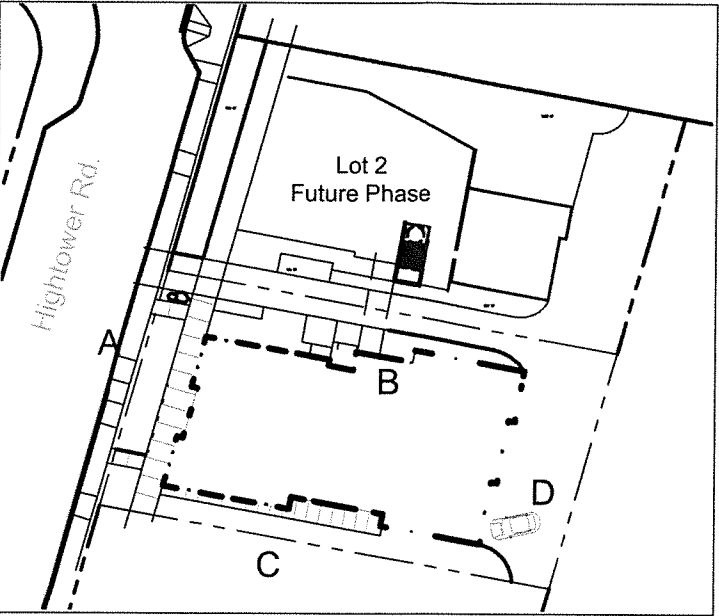
Permeable Surface Summary: Area (+/-)

Vegetation Coverage  
A Highland 640 SF Landscape Beds  
B North Bldg. 404 SF Landscape Beds  
C South Bldg. 1,080 SF Landscape Beds  
Sub-Total 2,124 SF (-266)

D Woonerf 3,728 SF

Total Permeable Surface = 5,852 SF  
(+2,124)

Area Summary Diagram



## Landscape Plan

1/8" = 1'0"



ALPENGLOW RESIDENCES

204 HIGHTOWER ROAD, GIRDWOOD, ALASKA

DESIGN DEVELOPMENT

## DEVELOPMENT MASTER PLAN

JOB NO. 22-12  
DRAWN BY: mm.dd.yy  
CHECKED BY: maz  
REVISIONS: maz

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ZONING INFORMATION

GIRDWOOD ZONING DISTRICT: COMMERCIAL/RESIDENTIAL DISTRICT DWELLING, MIXED-USE (SPECIFIC STANDARDS 21.09.080E & 21.09.080F )

gC-9 REQUIRED PARKING FOR ANY NON-RESIDENTIAL USE MAY BE LOCATED OFF SITE WITHIN 600 FT.

PARKING PROVIDED ON SITE: 5 SPACES

BUILDING HEIGHT ALLOWABLE PER TABLE 21.09.060-2: 35 FEET  
BUILDING HEIGHT ACTUAL (TO THE TOP OF THE FLAT ROOF): 33'-1"

FRONT YARD SETBACK PER TABLE 21.09.060-2: 16 FEET MIN.; 20 FEET MAX.

SIDE YARD SETBACK PER TABLE 21.09.060-2: ZERO SETBACK PERMITTED ON ONE SIDE [3] AND IN ACCORDANCE WITH 21.09.040C.2.G.III.(D). IF APPLICABLE; OTHERWISE 10 FEET

REAR YARD SETBACK: 10 FEET

LOT SIZE: 12,056 S.F.

MAXIMUM LOT COVERAGE BY BUILDING PER TABLE 21.09.060-1 (7,234 SF) 60%

ACTUAL LOT COVERAGE BY BUILDING (INCLUDING DECKS) IS 6,520 S.F. 54%

MAXIMUM FLOOR AREA RATIO: N/A

ACTUAL FLOOR AREA RATIO: N/A

REQUIRED NATURAL VEGETATION AREA PER TABLE 21.09.070-1 (10% OF LOT SIZE): 1,206 S.F.

NATURAL VEGETATION AREA RETAINED 1,493 S.F.

REQUIRED PERMEABLE SURFACE AREA PER TABLE 21.09.070-1 (20% OF LOT SIZE): 2,411 S.F.

PERMEABLE SURFACE AREA PROVIDED:  
PERMEABLE SURFACE: 1,192 S.F.  
NATURAL VEGETATION: + 1,493 S.F.  
TOTAL PERMEABLE SURFACE PROVIDED: 2,685 S.F.

REQUIRED SNOW STORAGE PER 21.09.070.K.1.a: 20% OF PLOWED AREA  
PLOWED DRIVEWAY AREA: 2,818 S.F.

REQUIRED DRIVEWAY SNOW STORAGE AREA: 564 S.F.

DRIVEWAY SNOW STORAGE AREA PROVIDED: 318+121+131=570 S.F.  
ALL ACCESS WALKWAYS ARE WITH HEATED SURFACES FOR MELTING SNOW.

MINIMUM DRIVEWAY WIDTH PER TABLE 21.09.070-3: 12 FEET

MAXIMUM DRIVEWAY WIDTH PER TABLE 21.09.070-3: 24 FEET

LENGEND

ENTRANCE / EXIT

PERMEABLE SURFACE - DRIVEWAY

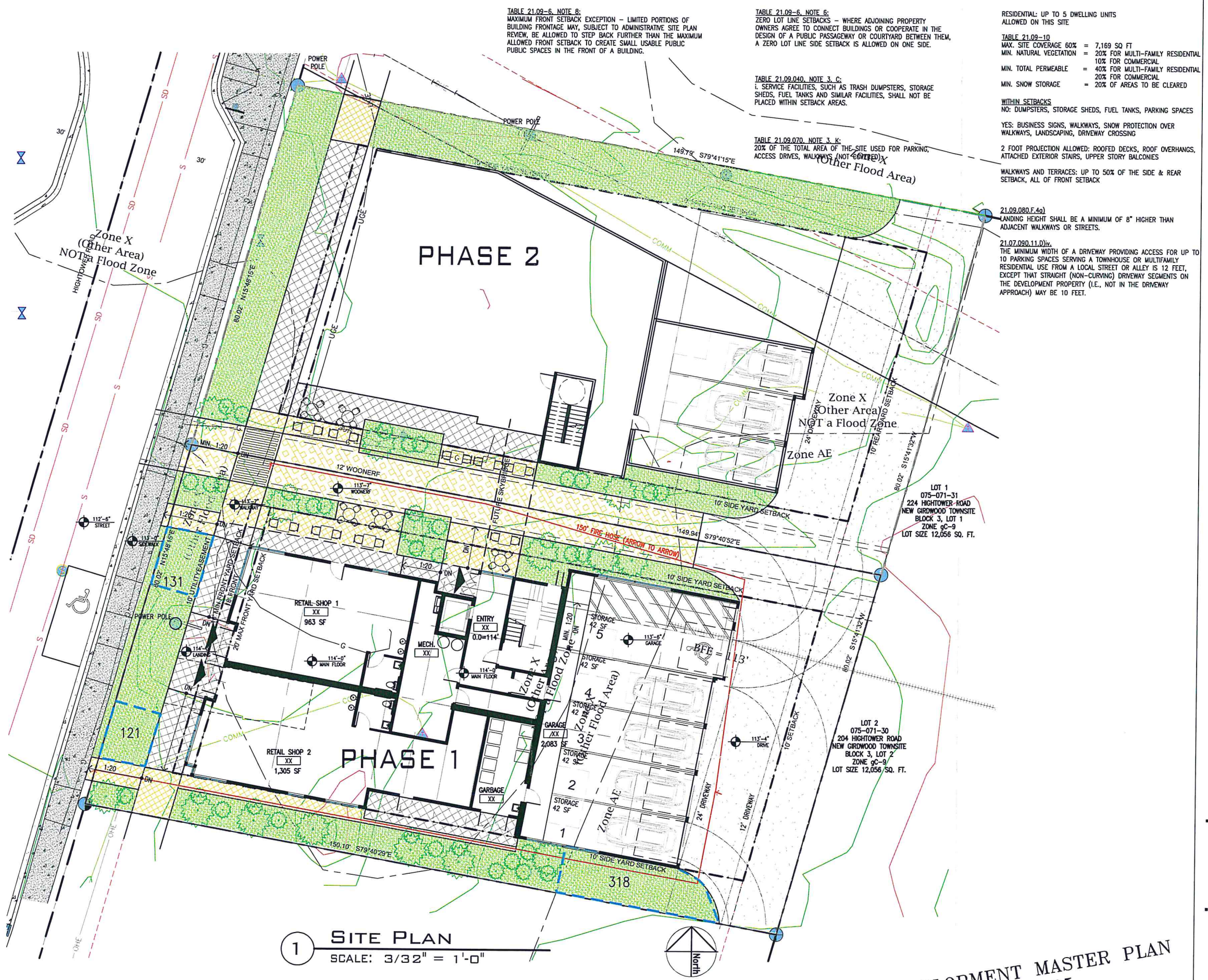
DRIVEWAY

WALKWAYS/ PAVERS /WITH HEATED SURFACES FOR MELTING SNOW

COVERED WALKWAYS

SNOW STORAGE

FIRE HOSE



1 SITE PLAN  
SCALE: 3/32" = 1'-0"

DEVELOPMENT MASTER PLAN  
2-24-25

STATE OF ALASKA  
49TH  
NOT FOR CONSTRUCTION  
Marco A. Zaccaro  
No. 10531  
REGISTERED PROFESSIONAL ARCHITECT

DATE:

ZARCHITECTS LLC  
commercial • planning • interiors • residential  
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GIRDWOOD AK, 99587  
(907) 783-1090  
LLC CORPORATE #10072843

ALPENGLOW RESIDENCES - PHASE I  
DESIGN DEVELOPMENT  
204 HIGHTOWER ROAD, GIRDWOOD, ALASKA

SITE PLAN PHASES 1 & 2

JOB NO. 25-02

SUBMITTAL: 02.24.25

DRAWN BY: IS

CHECKED BY: MZ

REVISIONS:

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TABLE 21.09.070, NOTE 3, K:  
20% OF THE TOTAL AREA OF THE SITE USED FOR PARKING,  
ACCESS DRIVES, WALKWAYS (NOT COVERED).

<u>TABLE 21.09-10</u>	
MAX. SITE COVERAGE 60%	= 7,170 SQ FT
MIN. NATURAL VEGETATION	= 10% FOR COMMERCIAL
MIN. TOTAL PERMEABLE	= 20% FOR COMMERCIAL
MIN. SNOW STORAGE	= 20% OF AREAS TO BE CLEARED

WALKWAYS AND TERRACES: UP TO 50% OF THE SIDE & REAR  
SETBACK, ALL OF FRONT SETBACK

21.07.090.11.D)iv.  
THE MINIMUM WIDTH OF A DRIVEWAY PROVIDING ACCESS FOR UP TO 10 PARKING SPACES SERVING A TOWNHOUSE OR MULTIFAMILY RESIDENTIAL USE FROM A LOCAL STREET OR ALLEY IS 12 FEET, EXCEPT THAT STRAIGHT (NON-CURVING) DRIVEWAY SEGMENTS ON THE DEVELOPMENT PROPERTY (I.E., NOT IN THE DRIVEWAY APPROACH) MAY BE 10 FEET.



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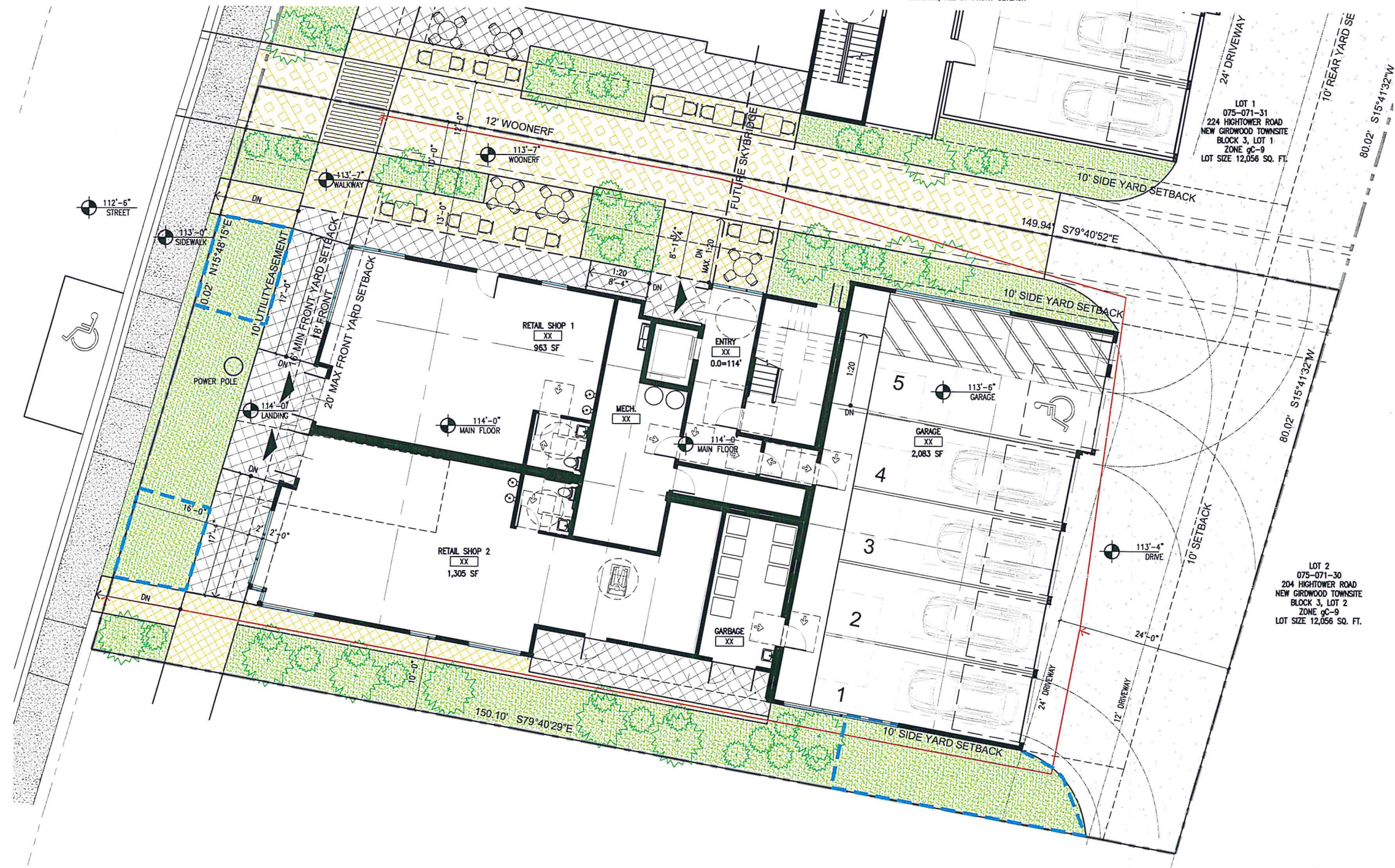
**ALPENGLOW RESIDENCES - PHASE I**  
204 HIGHTOWER ROAD, GIRDWOOD, ALASKA  
DESIGN DEVELOPMENT

# SITE PLAN

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## A0.2



ENTRANCE / EXIT

PERMEABLE SURFACE  
- DRIVEWAY

DRIVEWAY

WALKWAYS/ PAVERS /WITH HEATED SURFACES FOR MELTING SNOW

COVERED WALKWAYS

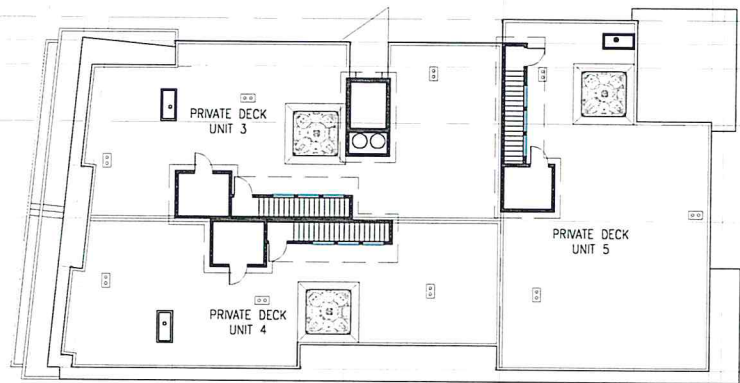
SNOW STORAGE

FIRE HOSE

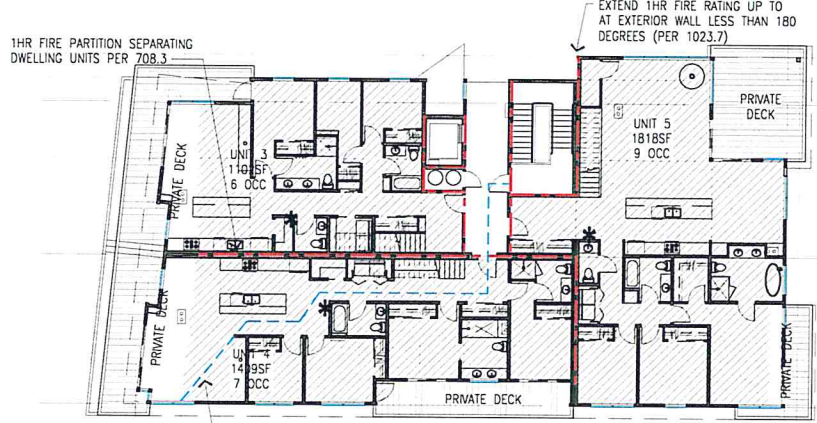
1 SITE PLAN  
SCALE: 1/8" = 1'-0"



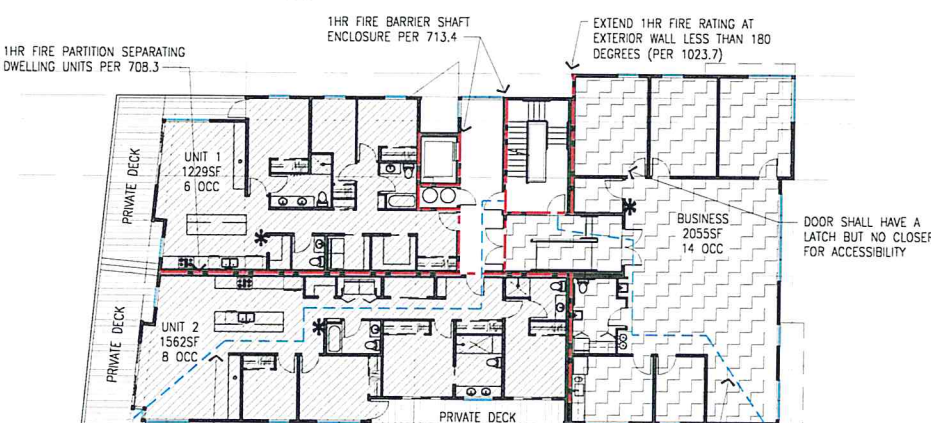
DEVELOPMENT MASTER PLAN  
2-24-25



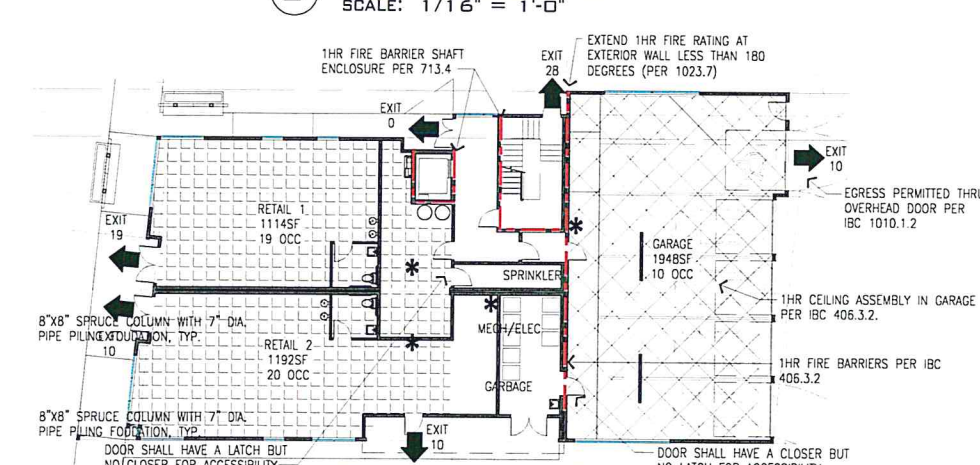
**4 ROOF PLAN**  
SCALE: 1/16" = 1'-0"



**3 THIRD FLOOR PLAN**  
SCALE: 1/16" = 1'-0"



**2 SECOND FLOOR PLAN**  
SCALE: 1/16" = 1'-0"



**1 FIRST FLOOR PLAN**  
SCALE: 1/16" = 1'-0"

CODE LEGEND	
	B BUSINESS AREA 1:150 OCC
	M MERCANTILE AREAS 1:60 OCC
	R-2 RESIDENTIAL 1:200 OCC
	S-2 PARKING GARAGE (ENCLOSED) 1:200 OCC
	1HR WALL
	LONGEST/Common PATH
	EXIT LOAD
	FIRE EXTINGUISHER

BUILDING CODE INFORMATION  
2021 INTERNATIONAL BUILDING CODE  
2021 INTERNATIONAL FIRE CODE  
2021 INTERNATIONAL MECHANICAL CODE  
2018 UNIFORM PLUMBING CODE, CHAPTER 4 (PLUMBING FIXTURES)  
2020 NFPA 70 ELECTRICAL CODE  
2017 ICC/ANSI A117.1 AND IBC CHAPTER 11 FOR ACCESSIBILITY  
2010 ADA STANDARDS FOR ACCESSIBLE DESIGN

PROJECT SUMMARY  
THIS PROJECT IS A NEW THREE STORY MULTI-USE SPRINKLERED BUILDING WITH M AND S-2 OCCUPANCIES ON THE FIRST STORY, B AND R2 (CONDOMINIUMS) ON THE SECOND STORY AND R2 (CONDOMINIUMS) ON THE THIRD STORY. THE OCCUPIED ROOF DECK IS DIVIDED INTO THREE PRIVATE ROOF DECK AREAS, EACH CONNECTED TO A DWELLING UNIT ON THE THIRD STORY BY A STAIRCASE WITHIN THE UNIT.

GROSS FLOOR AREA SUMMARY (FIRE AREA)	
FIRST STORY AREA (M & U OCC)	5,298 GSF
HORIZONTAL PROJECTIONS OVER 1ST STORY*	971 GSF
SECOND STORY AREA (R2 & B OCC)	5,414 GSF
HORIZONTAL PROJECTIONS OVER 2ND STORY*	240 GSF
THIRD STORY AREA (R2)	5,298 GSF
HORIZONTAL PROJECTIONS OVER 3RD STORY*	464 GSF

\*OCCUPIED EXTERIOR SPACES UNDER BALCONIES AND ROOF PROJECTIONS THAT PROJECT OVER 4' FROM THE FACE OF THE BUILDING ARE CONSIDERED HORIZONTAL PROJECTIONS OF "FLOOR NEXT ABOVE" AND ARE INCLUDED IN THE FIRE AREA.

302 OCCUPANCY CLASSIFICATION  
B BUSINESS (PROFESSIONAL SERVICES: PHYSICAL THERAPY)  
M MERCANTILE (RETAIL SPACE)  
R-2 RESIDENTIAL (CONDOMINIUMS)  
S-2 STORAGE, LIGHT HAZARD (ENCLOSED PARKING GARAGE)

406.6.2 ENCLOSED PARKING GARAGE VENTILATION  
MECHANICAL VENTILATION AND EXHAUST SYSTEM SHALL BE PROVIDED PER IMC.

406.2.9.1.1 PARKING GARAGE SEPARATION TO MECHANICAL  
PARKING GARAGES SHALL BE SEPARATED FROM ROOMS WITH FUEL FIRED APPLIANCES BY DOUBLE DOOR VESTIBULE. MECHANICAL ROOM IS SEPARATED FROM GARAGE BY TWO CONSECUTIVE DOORS.

406.6.3 ENCLOSED GARAGE AUTOMATIC SPRINKLER SYSTEM  
A SPRINKLER SYSTEM IS REQUIRED IN ACCORDANCE WITH 903.2.10 (NFPA 13)

420.2 SEPARATION WALLS  
WALLS SEPARATING DWELLING UNITS AND BETWEEN DWELLING UNITS AND OTHER OCCUPANCIES SHALL BE CONSTRUCTED AS FIRE PARTITIONS PER 708.

420.3 HORIZONTAL SEPARATION  
FLOORS SEPARATING DWELLING UNITS AND BETWEEN DWELLING UNITS AND OTHER OCCUPANCIES SHALL BE CONSTRUCTED AS HORIZONTAL ASSEMBLIES PER 711.

420.4 AUTOMATIC SPRINKLER SYSTEM  
R OCCUPANCIES SHALL BE EQUIPT WITH AN AUTOMATIC SPRINKLER SYSTEM PER 903.2.8.

420.5 FIRE ALARM SYSTEM AND SMOKE ALARMS  
FIRE ALARM SYSTEM AND SMOKE ALARMS SHALL BE PROVIDED IN GROUP R-2 OCCUPANCIES IN ACCORDANCE WITH SECTION 907.2.6, 907.2.8 AND 907.2.9 OR 907.2.11.

502.2 BUILDING ADDRESS  
BUILDING ADDRESS SHALL BE INSTALLED ON THE OUTSIDE OF THE BUILDING, IN VIEW OF THE ACCESS ROAD, WITH 4" HIGH (MIN) LETTERS/NUMBERS AND 3/8" WIDE (MIN) STROKE.

503.1.4 OCCUPIED ROOFS  
OCCUPIED ROOF AREAS ARE NOT INCLUDED IN THE BUILDING AREA. THEY ARE NOT CONSIDERED PART OF THE BUILDING HEIGHT OR NUMBER OF STORIES.

503 BUILDING AREA (FOR ALLOWABLE BUILDING AREA AND HEIGHT CALCULATIONS)  
GROSS BUILDING AREA INCLUDES ALL FLOOR AREA WITHIN THE INSIDE PERIMETER OF THE BUILDING + OCCUPIED EXTERIOR SPACES UNDER BUILDING CANOPIES TO THE OUTMOST FACE OF CANOPY SUPPORTS. GROSS FLOOR AREA EXCLUDES SHAFTS AND MEZZANINES.

TABLE 504.3 ALLOWABLE BUILDING HEIGHT  
R-2, NFPA 13 (OR 13R) SPRINKLER, TYPE VB CONSTRUCTION = 60' MAX HEIGHT ABOVE GRADE PLANE.

TABLE 504.4 ALLOWABLE STORIES ABOVE THE GRADE PLANE  
R-2, NFPA 13 (OR 13R) SPRINKLER, TYPE VB CONSTRUCTION = 3 STORY MAX

TABLE 506.2 ALLOWABLE BUILDING AREA  
R-2, NFPA 13 SPRINKLER TYPE VB CONSTRUCTION = 21,000SF PER FLOOR MAX  
R-2, NFPA 13R SPRINKLER, TYPE VB CONSTRUCTION = 7,000SF PER FLOOR MAX  
ACTUAL LARGEST FIRE AREA, FIRST FLOOR = 6,261SF

508.3.3 NON-SEPARATED USES  
BUILDING CLASSIFIED R2 NON-SEPARATED USES (MOST RESTRICTIVE OCCUPANCY)

501 TABLE TYPE VB CONSTRUCTION	
PRIMARY STRUCTURAL FRAME	0HR
BEARING WALLS EXTERIOR	0HR
BEARING WALLS INTERIOR	0HR
NONBEARING WALLS EXTERIOR	0HR
NONBEARING WALLS INTERIOR	0HR
FLOOR CONSTRUCTION	0HR
ROOF CONSTRUCTION	0HR

705.2 MINIMUM DISTANCE OF PROJECTIONS  
THE ROOF AND BALCONY PROJECTIONS ON THE SOUTH SIDE OF THE BUILDING EXTEND TWO FEET BEYOND THE BUILDING AND 8' FROM THE LINE USED TO DETERMINE THE FSD (PROPERTY LINE). UNPROTECTED PROJECTIONS ARE PERMITTED TABLE 705.2 AND PER 705.2.3.

705.5 TABLE  
FIRE-RESISTANCE RATING REQUIREMENTS FOR EXTERIOR WALL BASED ON FIRE SEPARATION DISTANCE FROM LOT LINE.  
DISTANCE BETWEEN 10 & 30 FEET FOR TYPE VB = 0 HOURS FOR B, M, R, AND S-2.

705.8 MAX AREA OF EXTERIOR WALL OPENINGS BASED ON FSD  
THE MAXIMUM AREA OF WALL OPENINGS PERMITTED FOR A SPRINKLERED BUILDING WITH UNPROTECTED OPENINGS AND A 10' FSD = 45%

708.3 FIRE PARTITIONS  
DWELLING UNITS IN SPRINKLERED BUILDINGS OF TYPE VB CONSTRUCTION SHALL HAVE FIRE PARTITIONS OF 1 HOUR CONSTRUCTION SEPARATING DWELLING UNITS AND BETWEEN DWELLING UNITS AND OTHER OCCUPANCIES AND EXTEND FROM TOP OF FLOOR DECK OR SLAB TO THE BOTTOM OF FLOOR DECK ABOVE. OPENINGS IN 1HR FIRE PARTITIONS REQUIRE A 20 MINUTE DOOR PER 716.

711.2.4.3 HORIZONTAL ASSEMBLIES  
DWELLING UNITS IN SPRINKLERED BUILDINGS OF TYPE VB CONSTRUCTION SHALL HAVE HORIZONTAL SEPARATIONS OF 1 HOUR CONSTRUCTION BETWEEN DWELLING UNITS AND BETWEEN DWELLING UNITS AND OTHER OCCUPANCIES.

713.4 SHAFT ENCLOSURES  
1HR FIRE RATED ENCLOSURE WHEN CONNECTING LESS THAN 4 STORIES AND BE CONSTRUCTED AS FIRE BARRIERS.

803.13 INTERIOR WALL AND CEILING FINISH REQUIREMENTS BY OCCUPANCY  
GROUP B AND M CLASS B AT INT EXIT STAIRS, RAMPS, & EXIT PASSAGEWAYS  
GROUP R-2 CLASS C THROUGH-OUT  
GROUP S-2 CLASS C THROUGH-OUT

903.2.8 GROUP R SPRINKLERS  
SPRINKLERS SHALL BE PROVIDED THROUGHOUT BUILDINGS WITH A GROUP R FIRE AREA.

903.2.10. GROUP S-2 PARKING GARAGE SPRINKLERS  
SPRINKLERS ARE REQUIRED WHEN ENCLOSED PARKING GARAGE IS BELOW OTHER GROUPS.

903.3.1.2 SPRINKLER REQUIREMENTS  
GROUP R BUILDINGS THAT ARE IN MIXED USE OCCUPANCIES THAT CONTAIN ANY OTHER GROUP WHICH REQUIRE NFPA 13 SPRINKLERS, THEN THE BUILDING MUST BE SPRINKLERED THROUGHOUT BY AS NFPA 13, (NFPA 13R NOT ALLOWED).

903.3.1.2 BALCONIES/SPRINKLERS  
SPRINKLERS SHALL BE PROVIDED FOR EXTERIOR BALCONIES OF TYPE V CONSTRUCTION WHEN THERE IS A ROOF OR BALCONY ABOVE. SIDE WALL SPRINKLERS PERMITTED PER REQUIREMENTS OF THIS SECTION.

903.3.2 QUICK RESPONSE AND RESIDENTIAL SPRINKLER  
ALL DWELLING UNITS WITHIN AN R OCCUPANCY ARE REQUIRED TO HAVE QUICK RESPONSE SPRINKLERS

903.3.7 FIRE DEPARTMENT CONNECTION  
FIRE DEPARTMENT CONNECTION SHALL BE PROVIDED FOR AUTOMATIC SPRINKLER SYSTEM PER SECTION 912.

905.3.1 STANDPIPES  
STANDPIPES ARE NOT REQUIRED IN BUILDINGS LESS THAN FOUR STORIES, WHERE THE HIGHEST STORY IS LESS THAN 30' ABOVE THE HEIGHT OF FIRE VEHICLE ACCESS.

906.1 FIRE EXTINGUISHERS  
EACH DWELLING UNIT IN AN R-2 OCCUPANCY SHALL HAVE ONE FIRE EXTINGUISHER MEETING 1-A-10B:C.

PROVIDE (1) 2-A-10-BC FIRE EXTINGUISHER IN EACH B, M, AND S OCCUPANCY. EACH SUITE DOES NOT EXCEED 75' OF TRAVEL DISTANCE TO AN EXTINGUISHER.  
FIRE EXTINGUISHER SHALL BE MOUNTED NO MORE THAN 5' ABOVE THE FLOOR AND WEIGH NO MORE THAN 40LBS.

907.2 FIRE ALARM SYSTEM  
A MANUAL ALARM AND AUTOMATIC SMOKE DETECTION SYSTEM NOT REQUIRED FOR R-2 OR 'B' OR 'M' OR 'S' OF LIMITED OCCUPANT LOADS. HOWEVER A SINGLE MANUAL ALARM IS STILL REQUIRED FOR A FIRE ALARM SYSTEM THAT HAS A WATERFLOW DETECTION DEVICE (SPRINKLER).

907.2.9 FIRE ALARM SYSTEM FOR R-2  
AN AUTOMATIC FIRE ALARM AND SMOKE ALARM SYSTEM IS REQUIRED FOR GROUP R-2.

907.2.9.2 SMOKE ALARMS  
SINGLE AND MULTIPLE STATION SMOKE ALARMS ARE REQUIRED IN A BUILDING WITH AN R-2 LOCATE IN EACH SLEEPING ROOM, OUTSIDE OF SLEEPING ROOMS IN GENERAL VICINITY. SMOKE ALARMS SHALL BE INTERCONNECTED PER 907.2.11.5.

915.2.1 CARBON MONOXIDE DETECTORS  
A CARBON MONOXIDE UNITS SHALL BE INSTALLED IN DWELLING UNITS OUTSIDE OF SLEEPING AREAS

1004.5 ROOM OCCUPANT LOADS				
FLR	ROOM NAME	FUNCTION	AREA/OCC	AREA
1ST	RETAIL SHOP 1	MERCANTILE	1/60SF GROSS	1114SF
1ST	RETAIL SHOP 2	MERCANTILE	1/60SF GROSS	1192SF
1ST	PARKING GARAGE	STORAGE	1/200SF GROSS	1948SF
2ND	PT SUITE	BUSINESS	1/150SF GROSS	2055SF
2ND	UNIT 1	RESIDENTIAL	1/200SF GROSS	1229SF
2ND	UNIT 2	RESIDENTIAL	1/200SF GROSS	1562SF
3RD	UNIT 3	RESIDENTIAL	1/200SF GROSS	1102SF
3RD	UNIT 4	RESIDENTIAL	1/200SF GROSS	1409SF
3RD	UNIT 5	RESIDENTIAL	1/200SF GROSS	1818SF

1004.7 OUTDOOR AREAS  
OCCUPIED ROOFS SERVING INDIVIDUAL DWELLING UNITS OF GROUP R-2, WHERE IT WILL BE USED BY THE OCCUPANTS OF THE UNITS, MEANS OF EGRESS CAN BE BACK THROUGH THE BUILDING IN ACCORDANCE WITH SECTION 1016.2.

1006.2.1 EGRESS FROM SPACES BASED ON OCCUPANT LOAD AND COMMON PATH		
GROUP	SINGLE EXIT	MAX COMMON PATH/SPRINKLER
B OCCUPANCY	UP TO 49 OCC	100'(1ST FLR) 75'(2ND FLR)
M OCCUPANCY	UP TO 49 OCC	75'
R-2 OCCUPANCY	UP TO 20 OCC	125'
S-2 PARKING GARAGE	UP TO 30 OCC	100'

1006.3.4.1 MIXED OCCUPANCIES WITH SINGLE EXITS  
EACH INDIVIDUAL OCCUPANCY COMPLIES WITH 1006.3.4(1) AND 1006.3.4(2) AND THE SUM OF THE RATIOS IS LESS THAN 1 AT THE SECOND LEVEL WHERE B AND R-2 ARE PRESENT:  
RATIO FACTOR OF DWELLING UNITS = 2 UNITS/4 UNITS MAX = .5  
RATIO FACTOR OF BUSINESS OCCUPANCY = 12 OCC/30 OCC MAX = .46  
RATIO OF .96 < 1.

1006.3.4(1) SINGLE EXIT EGRESS FROM STORIES FOR R-2 OCC  
ONE EXIT IS PERMITTED FROM ANY STORY OR OCCUPIED ROOF WHEN THE OCCUPANT LOAD, NUMBER OF DWELLING UNITS, DO NOT EXCEED THE VALUES OF TABLE 1006.3.4.  
AN R-2 OCCUPANCY WITH NO MORE THREE STORES ABOVE THE GRADE PLANE AND NO MORE THAN 4 UNITS PER STORY AND NO MORE THAN 125' OF EXIT ACCESS TRAVEL DISTANCE ARE PERMITTED TO HAVE A SINGLE EXIT. SLEEPING ROOMS REQUIRE EGRESS WINDOWS OR BALCONY DOORS PER 1031.2.

1006.3.4(2) SINGLE EXIT EGRESS FROM STORIES FOR B OCC  
A SINGLE STORY ABOVE THE GRADE PLANE CONTAINING AN "S" OCCUPANCY MAY HAVE A SINGLE EXIT ACCESS FOR UP TO 30 OCCUPANTS WITH AN EXIT ACCESS TRAVEL DISTANCE NOT TO EXCEED 100' IN A SPRINKLERED BUILDING PER FOOTNOTE "D".  
A SECOND STORY ABOVE THE GRADE PLANE CONTAINING A "B" OCCUPANCY MAY HAVE A SINGLE EXIT ACCESS FOR UP TO 30 OCCUPANTS WITH AN EXIT ACCESS TRAVEL DISTANCE NOT TO EXCEED 75'.

1008.2.3 EXIT DISCHARGE  
ILLUMINATION SHALL BE PROVIDED ALONG THE PATH OF EXIT DISCHARGE FROM EACH EXIT TO THE PUBLIC WAY.

1009.3.2 ACCESSIBLE EXIT STAIRWAY WIDTH, EXCEPTION 1  
STAIRWAY WIDTH OF 48" IS NOT REQUIRED WHEN SPRINKLERED.

1009.3.3 AREA OF REFUGE, EXCEPTION 2  
AREA OF REFUGE IS NOT REQUIRED IN STAIRWAYS OF SPRINKLERED BUILDINGS.

1011.2 STAIRWAY WIDTH, EXCEPTION 1  
STAIRWAYS SERVING AN OCCUPANT LOAD LESS THAN 50 ARE PERMITTED TO BE 36" WIDE.

1011.6 STAIRWAY LANDINGS  
STAIRWAY LANDINGS SHALL BE A MINIMUM OF 48" AND DOORS IN FULLY OPEN POSITION CAN NOT ENCRATCH MORE THAN 7" OR MORE THAN HALF OF THE REQUIRED EXIT WIDTH IN ANY POSITION.

020.2 CORRIDOR FIRE RATING, SPRINKLERED			
GROUP	OCC LOAD	RATING	
GROUP A AND B	>30 OCC	0HR	
GROUP R	>10 OCC	1HR	

1013.1 EXIT SIGNS  
EXIT SIGNS ARE NOT REQUIRED FROM ROOMS OR SPACES THAT ONLY REQUIRE ONE EXIT.

1020.5 (EXCEPTION 2) DEAD ENDS  
IN SPRINKLERED BUILDINGS OF GROUPS B, M, R-2, AND S, DEAD ENDS ARE 50' MAX.

1031.2 EMERGENCY ESCAPE AND RESCUE  
EMERGENCY ESCAPE AND RESCUE WINDOWS (OR BALCONY DOOR) ARE REQUIRED IN SLEEPING UNITS OF AN R-2 WHEN A SINGLE EXIT IS ALLOWED FROM UPPER STORIES.

1105.1.1 ACCESSIBLE ENTRANCES/POWER ASSIST  
ALL ENTRANCES ARE ACCESSIBLE BUT NONE ARE REQUIRED TO HAVE POWER ASSIST.

1108.6.2.2.2 GROUP R-2  
IN STRUCTURES OF FOUR OR MORE DWELLING UNITS, EACH UNIT SHALL BE A TYPE B UNIT.

2018 UNIFORM PLUMBING CODE, CHAPTER 4  
MINIMUM PLUMBING FIXTURES  
422.2, EXCEPTION #3 SEPARATE FACILITIES  
IN B AND M OCCUPANCIES WHEN THE TOTAL OCCUPANT LOAD IS 50 OR LESS INCLUDING CUSTOMERS AND EMPLOYEES, ONE TOILET FACILITY, DESIGNED FOR USE BY NO MORE THAN 1 PERSON AT A TIME, SHALL BE PERMITTED.

GROUP B = 14 OCCUPANTS (ONE UNISEX TOILET ROOM PERMITTED)  
GROUP M (RETAIL 1) = 19 OCCUPANTS (ONE UNISEX TOILET ROOM PERMITTED)  
GROUP M (RETAIL 2) = 20 OCCUPANTS (ONE UNISEX TOILET ROOM PERMITTED)

TABLE 422.1 MINIMUM PLUMBING FACILITIES  
B AREA REQUIRES: (1) TOILET (1) LAV (1) FOUNTAIN (1) SINK/LAUNDRY\*\*  
EACH M AREA REQUIRES: (1) TOILET (1) LAV (1) FOUNTAIN\* (1) SINK/LAUNDRY\*\*  
EACH R-2 REQUIRES: (1) K SINK (1) TOILET (1) LAV (1) TUB (1) LAUNDRY

\*EACH M AREA HAS TOILET ROOM WITH A FOUNTAIN FUNCTION.  
\*\*SERVICE SINK IS SHARED BY ALL TENANTS IN THE GARBAGE ROOM.



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LLC CORPORATE #10072643

ALPENGLOW RESIDENCES - PHASE I  
204 HIGHTOWER ROAD, BIRDWOOD, ALASKA  
DESIGN DEVELOPMENT

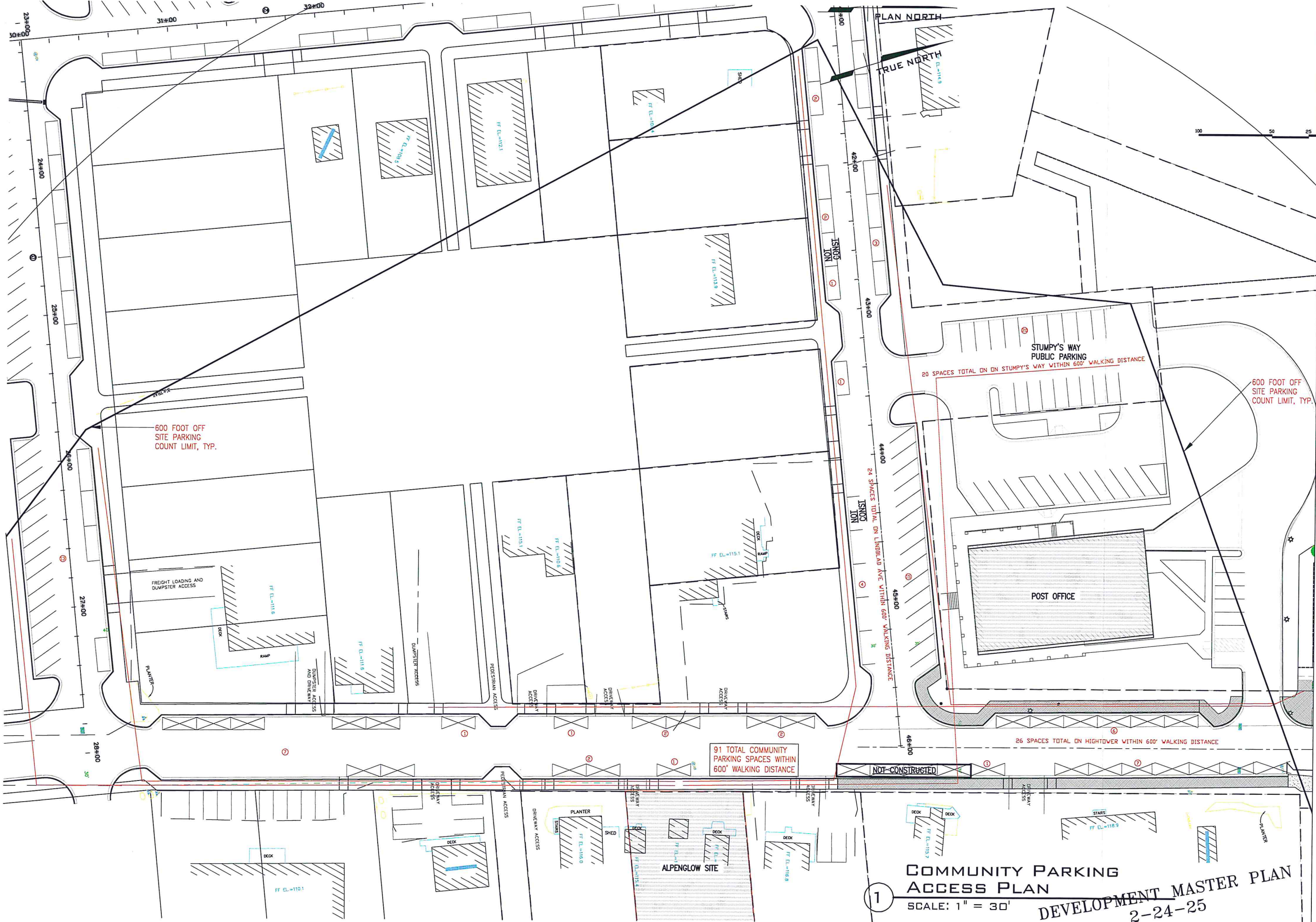
CODE PLAN

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DEVELOPMENT MASTER PLAN  
2-24-25

A0.3



DATE:

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LLC CORPORATE #10072843

**ALPENGLOW RESIDENCES - PHASE I**  
204 HIGHTOWER ROAD, BIRWOOD, ALASKA  
DESIGN DEVELOPMENT

**COMMUNITY PARKING ACCESS PLAN**

JOB NO. 25-02  
SUBMITTAL: 02.24.25  
DRAWN BY: MAZ  
CHECKED BY: MAZ  
REVISIONS:

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**A0.5**

**COMMUNITY PARKING ACCESS PLAN**  
SCALE: 1" = 30'  
**DEVELOPMENT MASTER PLAN**  
2-24-25



DATE:

**ZARCHITECTS LLC**  
commercial • planning • interiors • residential  
194 OLYMPIC MOUNTAIN LOOP  
BIRDWOOD AK. 99587  
(907) 783-1090  
LLC CORPORATE #10072643

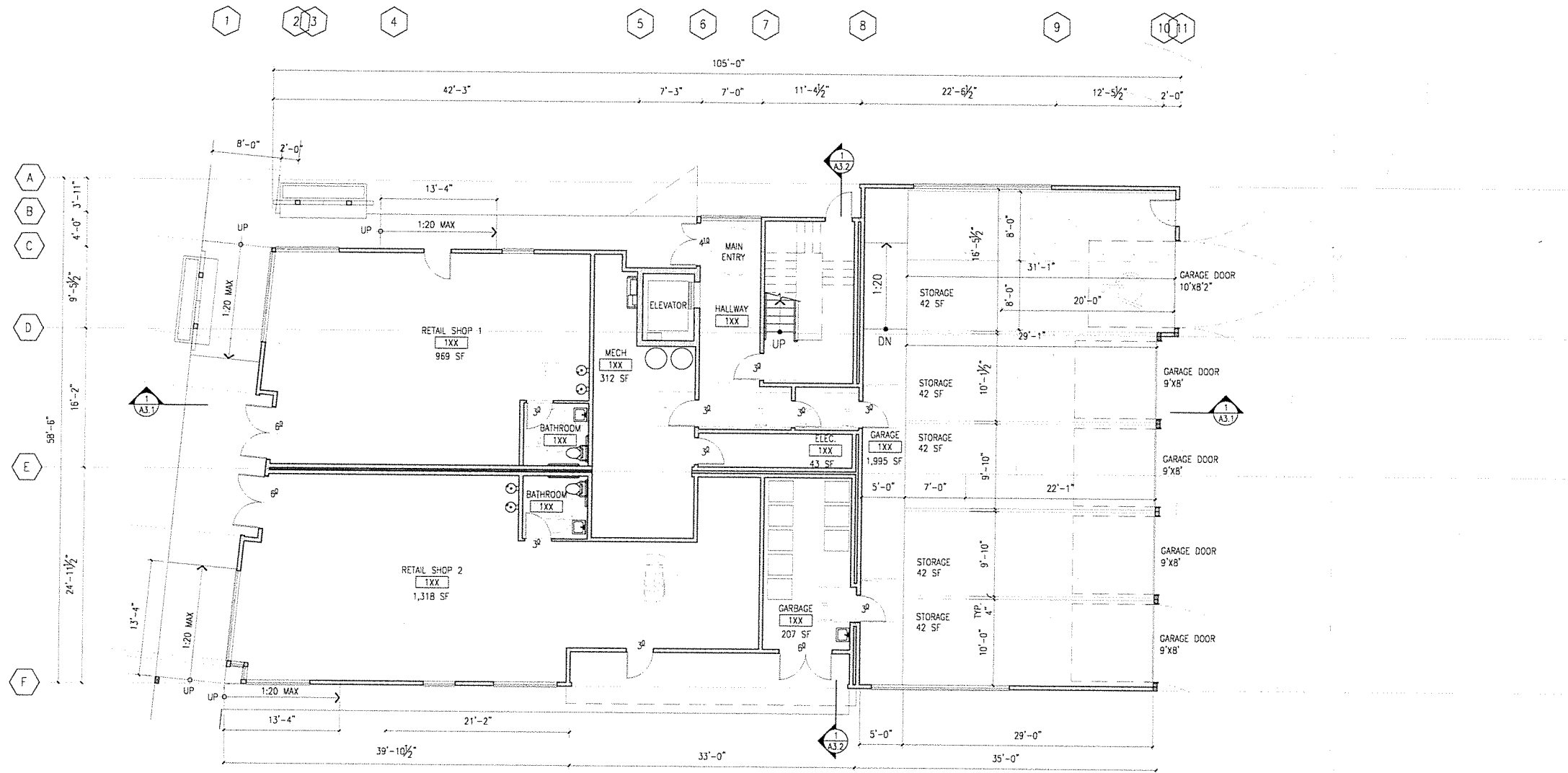
ALPENGLOW RESIDENCES - PHASE I  
204 HIGHTOWER ROAD, BIRDWOOD, ALASKA

DESIGN DEVELOPMENT  
**FIRST FLOOR PLAN**

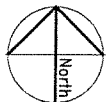
JOB NO. 25-02  
SUBMITTAL: 02.24.25  
DRAWN BY: IS  
CHECKED BY: MAZ  
REVISIONS:

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**A1.1**



**1 FIRST FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



DEVELOPMENT MASTER PLAN  
2-24-25



DATE:

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BIRDWOOD AK. 99587  
(907) 783-1090  
LLC CORPORATE #10072843

ALPENGLOW RESIDENCES - PHASE I  
204 HIGHTOWER ROAD, BIRDWOOD, ALASKA  
DESIGN DEVELOPMENT

## SECOND FLOOR PLAN

JOB NO. 25-02

SUBMITTAL: 02.24.25

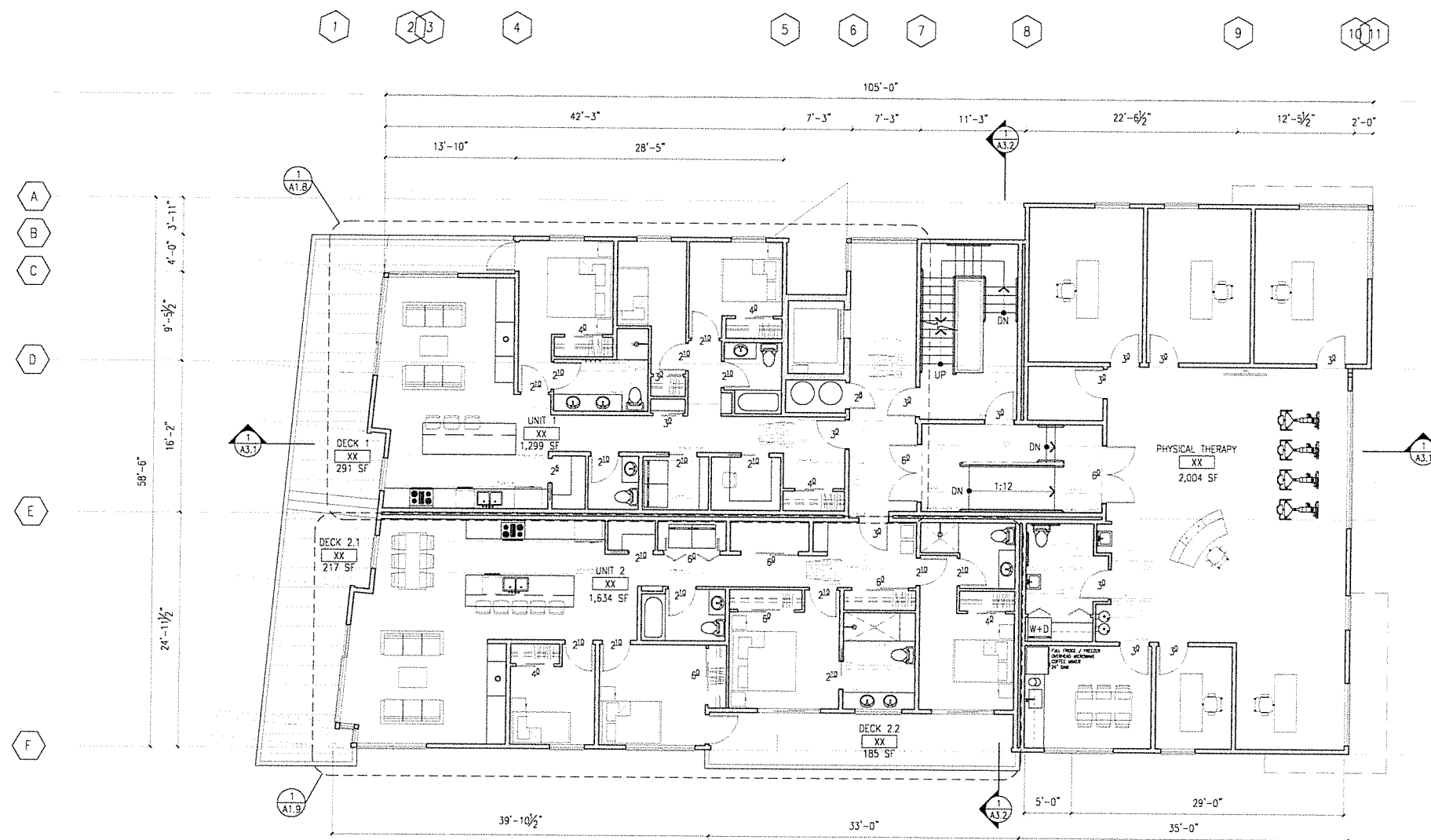
DRAWN BY: IS

CHECKED BY: MAZ

REVISIONS:

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# A1.2



**1 SECOND FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



DEVELOPMENT MASTER PLAN  
2-24-25



DATE:



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(907) 783-1090  
LLC CORPORATE #10072843

ALPENGLOW RESIDENCES - PHASE I  
204 HIGHTOWER ROAD, BIRWOOD, ALASKA  
DESIGN DEVELOPMENT

## THIRD FLOOR PLAN

JOB NO. 25-02

SUBMITTAL: 02.24.25

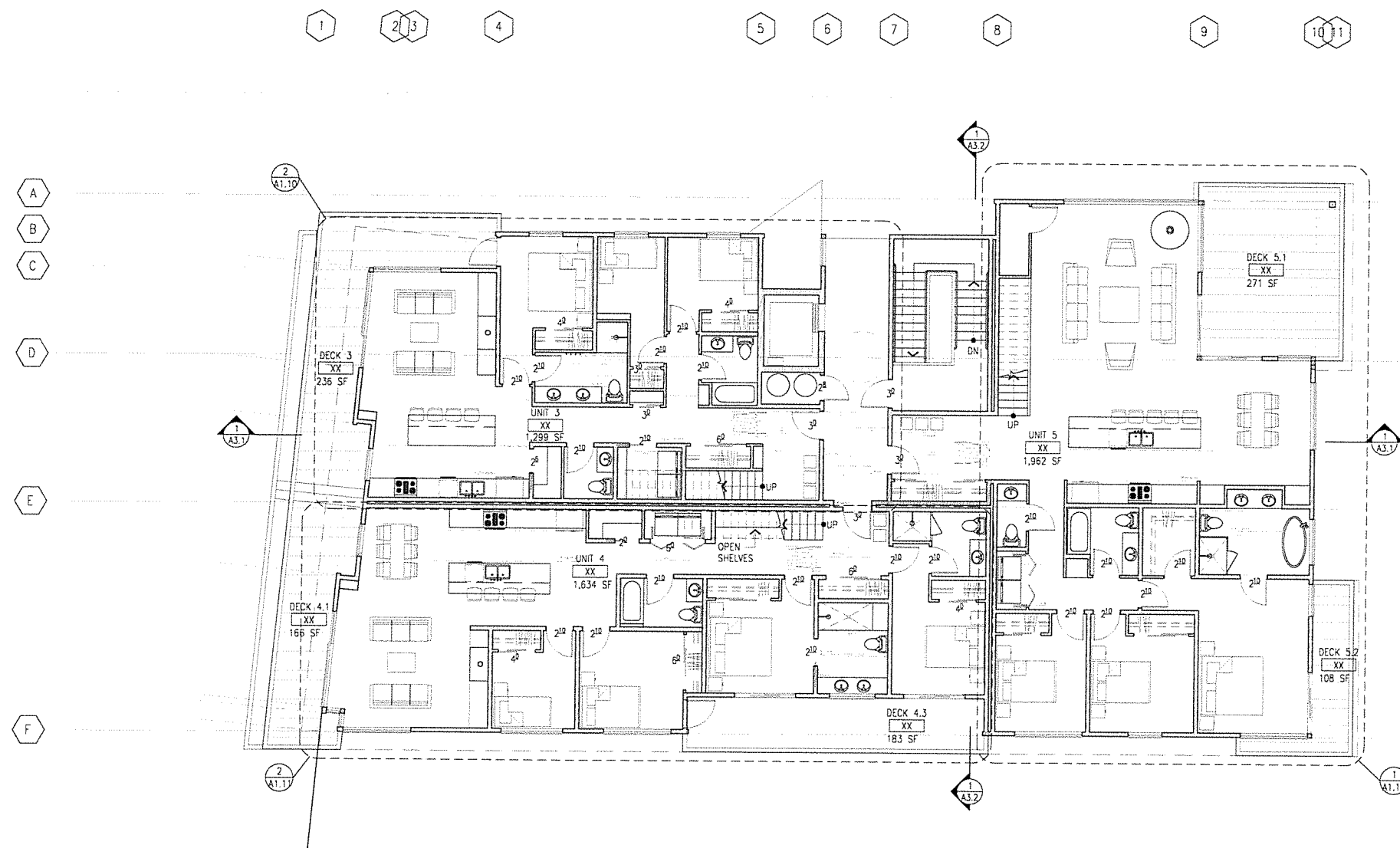
DRAWN BY: IS

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# A1.3



1 **THIRD FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



DEVELOPMENT MASTER PLAN  
2-24-25



DATE:

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194 OLYMPIC MOUNTAIN LOOP  
BIRDWOOD AK. 99587  
(907) 783-1090  
LLC CORPORATE #10072843

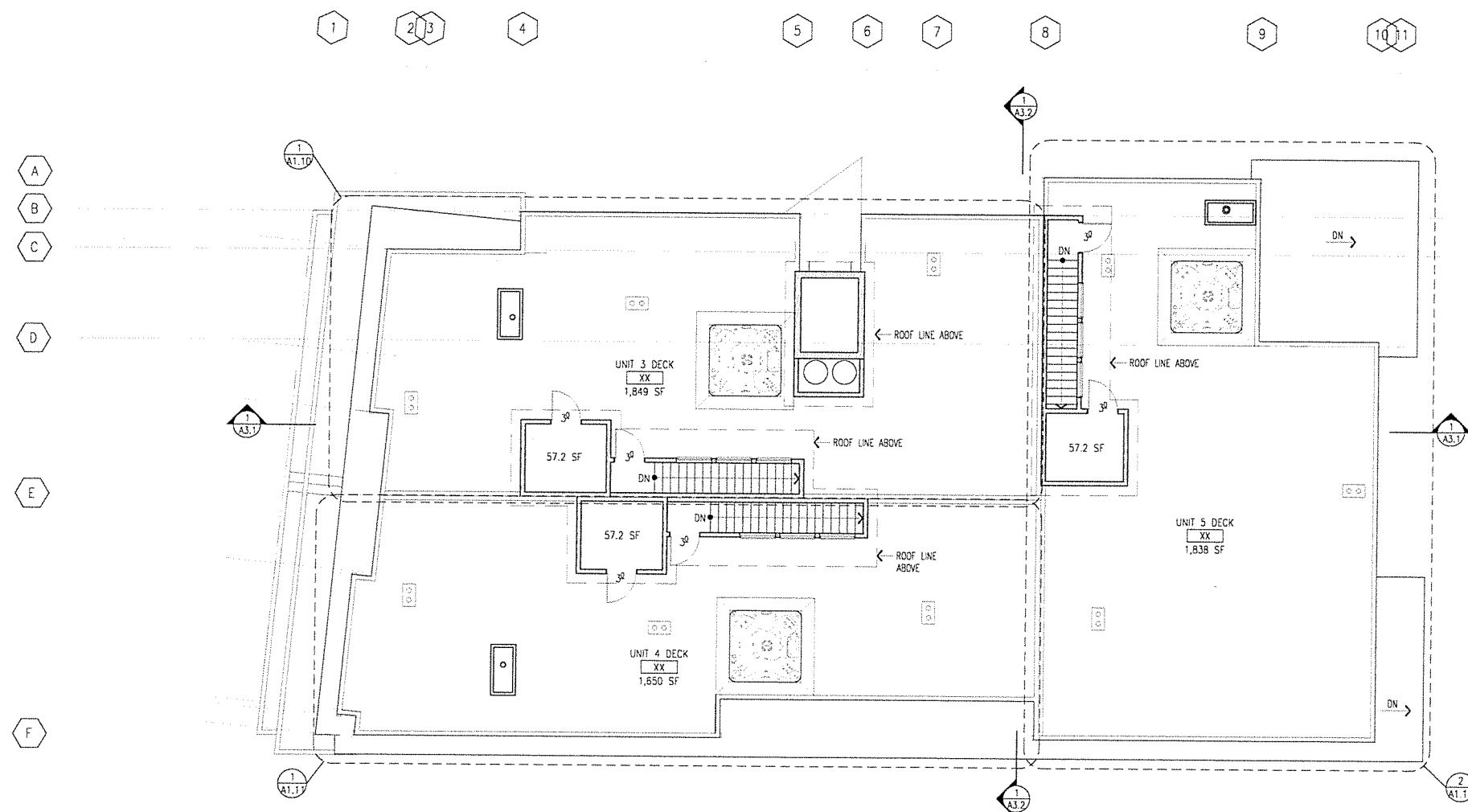
ALPENGLOW RESIDENCES - PHASE I  
204 HIGHTOWER ROAD, BIRDWOOD, ALASKA  
DESIGN DEVELOPMENT

ROOF PLAN

JOB NO. 25-02  
SUBMITTAL: 02.24.25  
DRAWN BY: IS  
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A1.4



**1 ROOF PLAN**  
SCALE: 1/8" = 1'-0"



DEVELOPMENT MASTER PLAN  
2-24-25



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194 OLYMPIC MOUNTAIN LOOP  
BIRDWOOD AK, 99587  
(907) 783-1090  
LLC CORPORATE #10072643

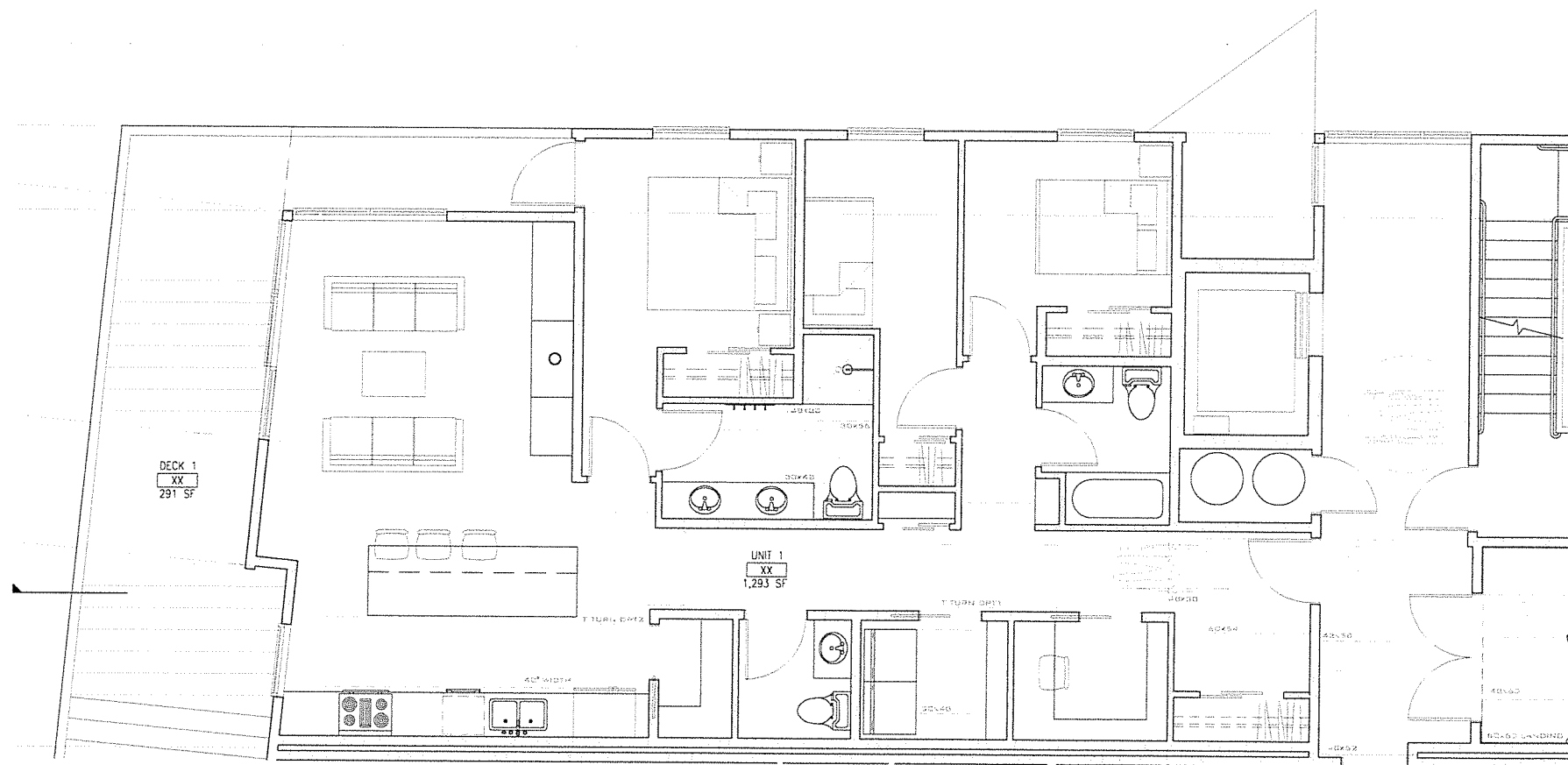
ALPENGLOW RESIDENCES - PHASE I  
204 HIGHTOWER ROAD, BIRDWOOD, ALASKA  
DESIGN DEVELOPMENT

## UNIT 1 FLOOR PLAN

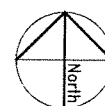
JOB NO. 25-02  
SUBMITTAL: 02.24.25  
DRAWN BY: IS  
CHECKED BY: MAZ  
REVISIONS:

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# A1.8



**1 UNIT 1 FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

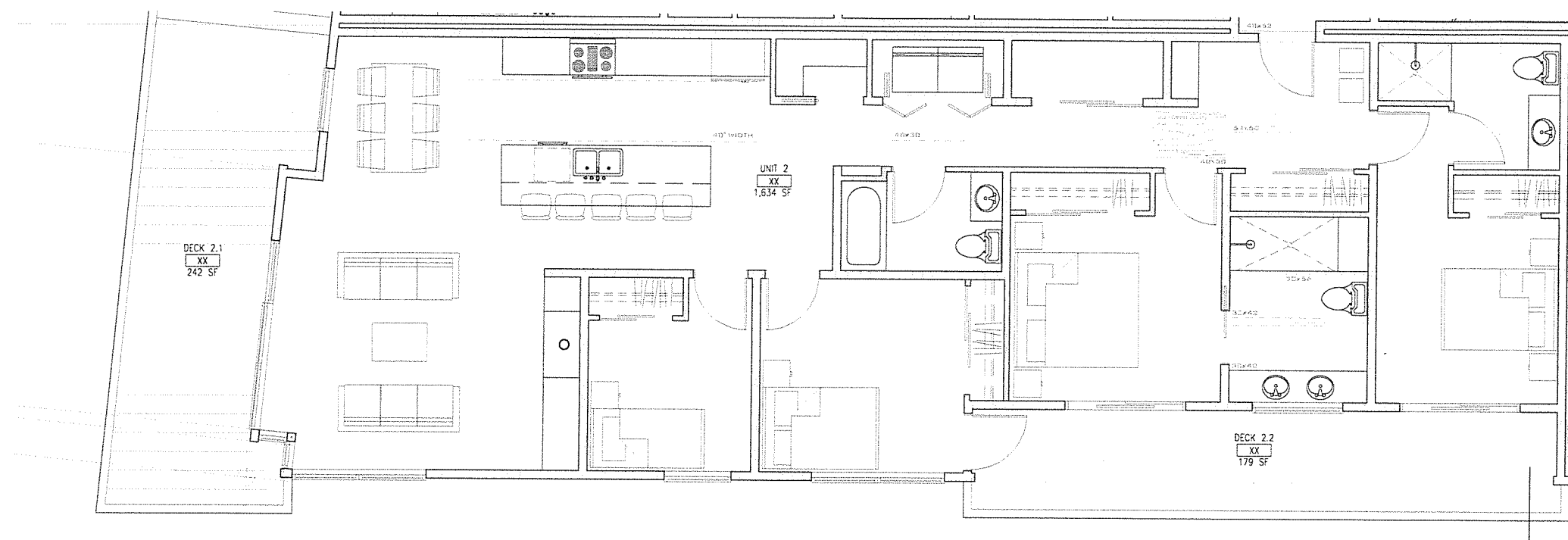


DEVELOPMENT MASTER PLAN  
2-24-25



DATE:

**ZARCHITECTS LLC**  
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194 OLYMPIC MOUNTAIN LOOP  
GIRWOOD AK, 99587  
(907) 783-1090  
LLC CORPORATE #10072643



**1 UNIT 2 FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



**ALPENGLOW RESIDENCES - PHASE I**  
204 HIGHTOWER ROAD, GIRWOOD, ALASKA  
DESIGN DEVELOPMENT

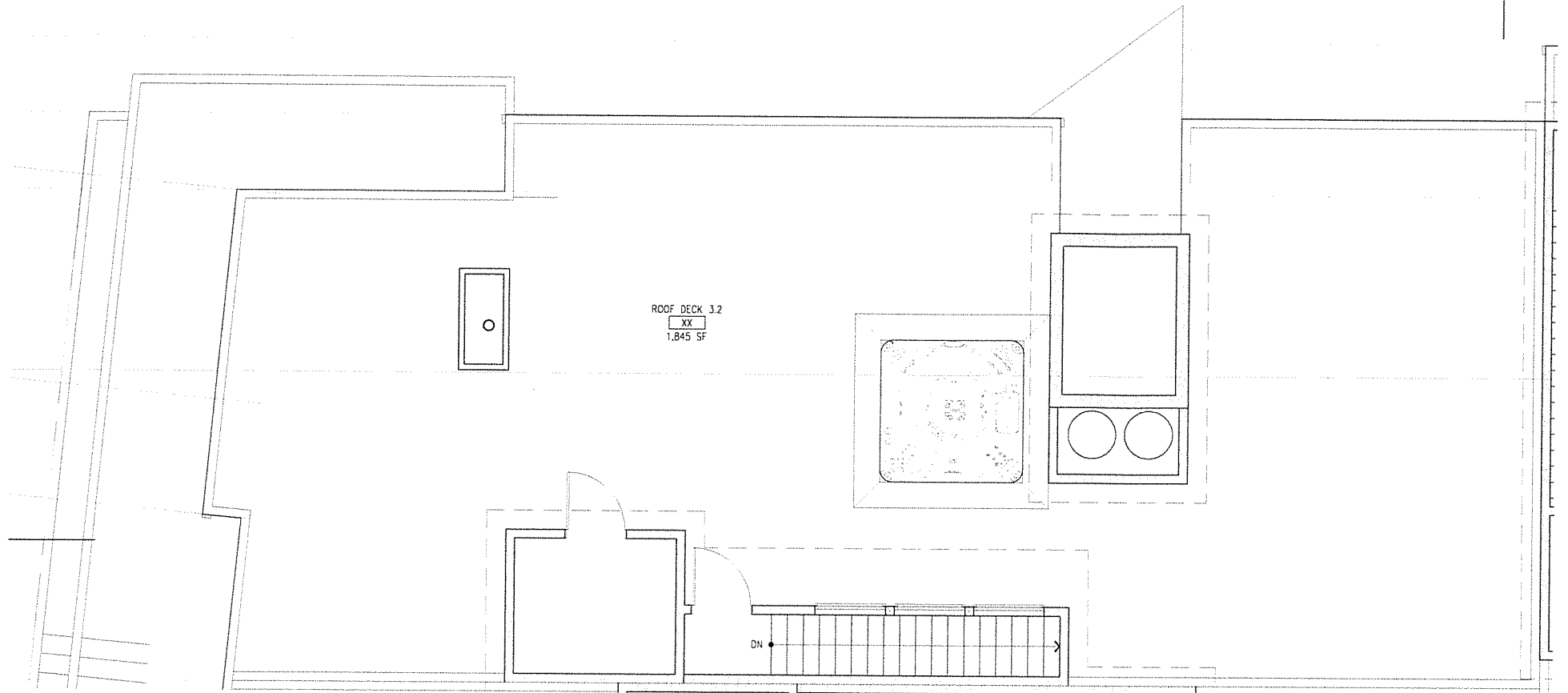
**UNIT 2 FLOOR PLAN**

JOB NO. 25-02  
SUBMITTAL: 02.24.25  
DRAWN BY: IS  
CHECKED BY: MAZ  
REVISIONS:

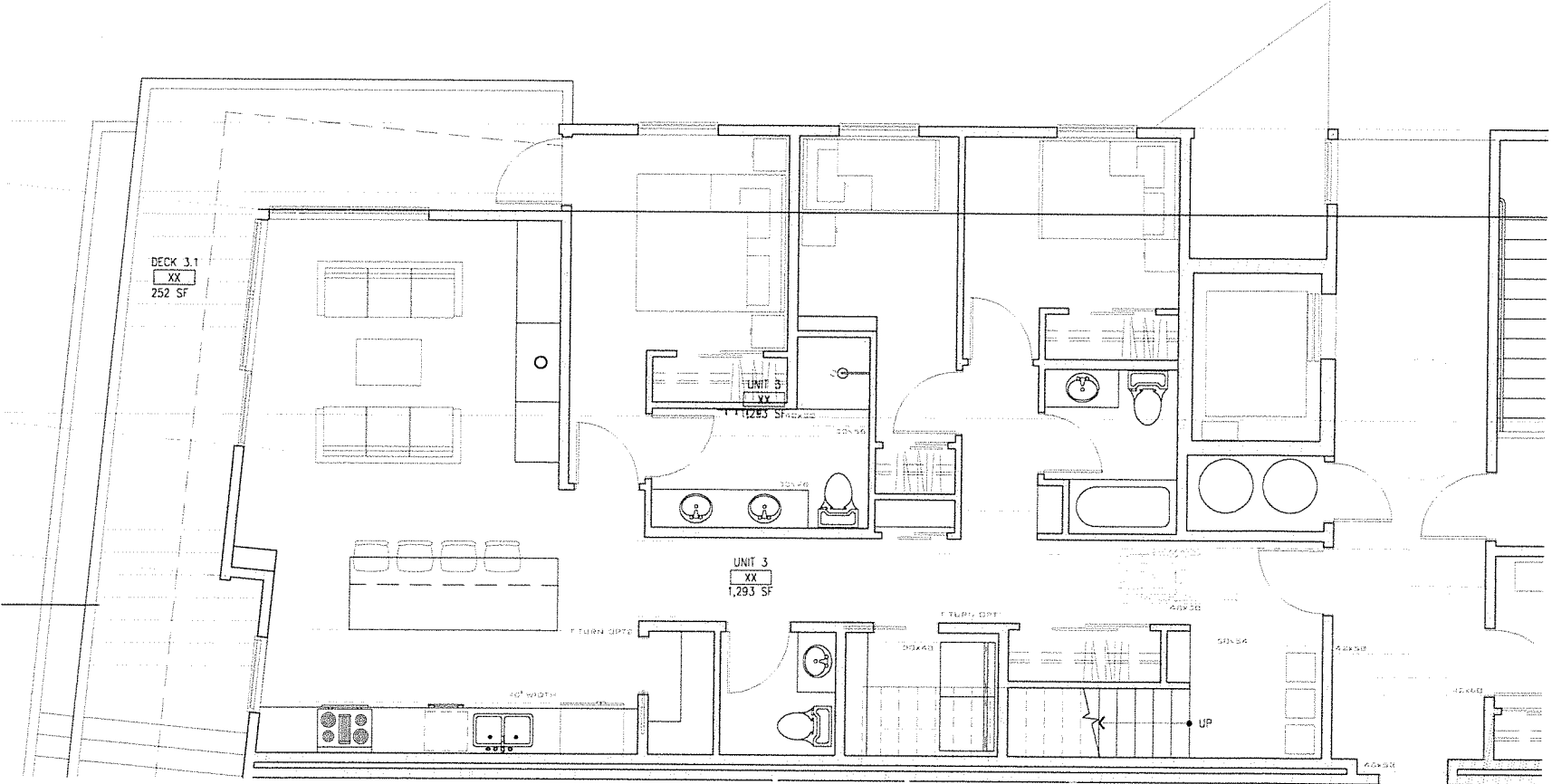
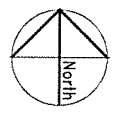
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DEVELOPMENT MASTER PLAN  
2-24-25

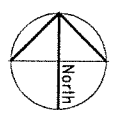
**A1.9**



**1** UNIT 3  
ROOF PLAN  
SCALE: 1/4" = 1'-0"



**2** UNIT 3  
FLOOR PLAN  
SCALE: 1/4" = 1'-0"



DEVELOPMENT MASTER PLAN  
2-24-25



DATE:

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194 OLYMPIC MOUNTAIN LOOP  
BIRCHWOOD AK, 99587  
(907) 783-1090  
LLC CORPORATE #10072843

ALPENGLOW RESIDENCES - PHASE I  
204 HIGHTOWER ROAD, BIRCHWOOD, ALASKA  
DESIGN DEVELOPMENT

UNIT 3 FLOOR PLANS

JOB NO. 25-02  
SUBMITTAL: 02.24.25  
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**A1.10**



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LLC CORPORATE #10072843

ALPENGLOW RESIDENCES - PHASE I  
204 HIGHTOWER ROAD, BIRCHWOOD, ALASKA  
DESIGN DEVELOPMENT

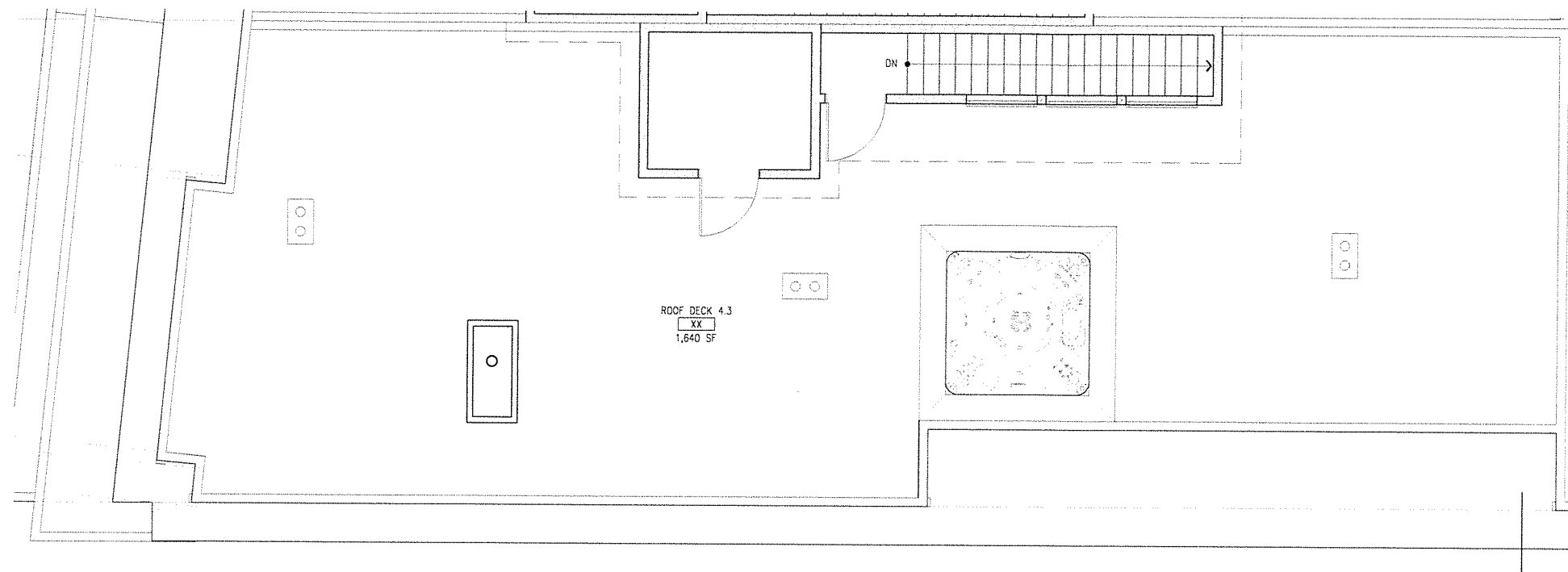
THIRD & ROOF FLOOR PLAN - UNIT 4

JOB NO. 25-02  
SUBMITTAL: 02.24.25  
DRAWN BY: IS  
CHECKED BY: MAZ  
REVISIONS:

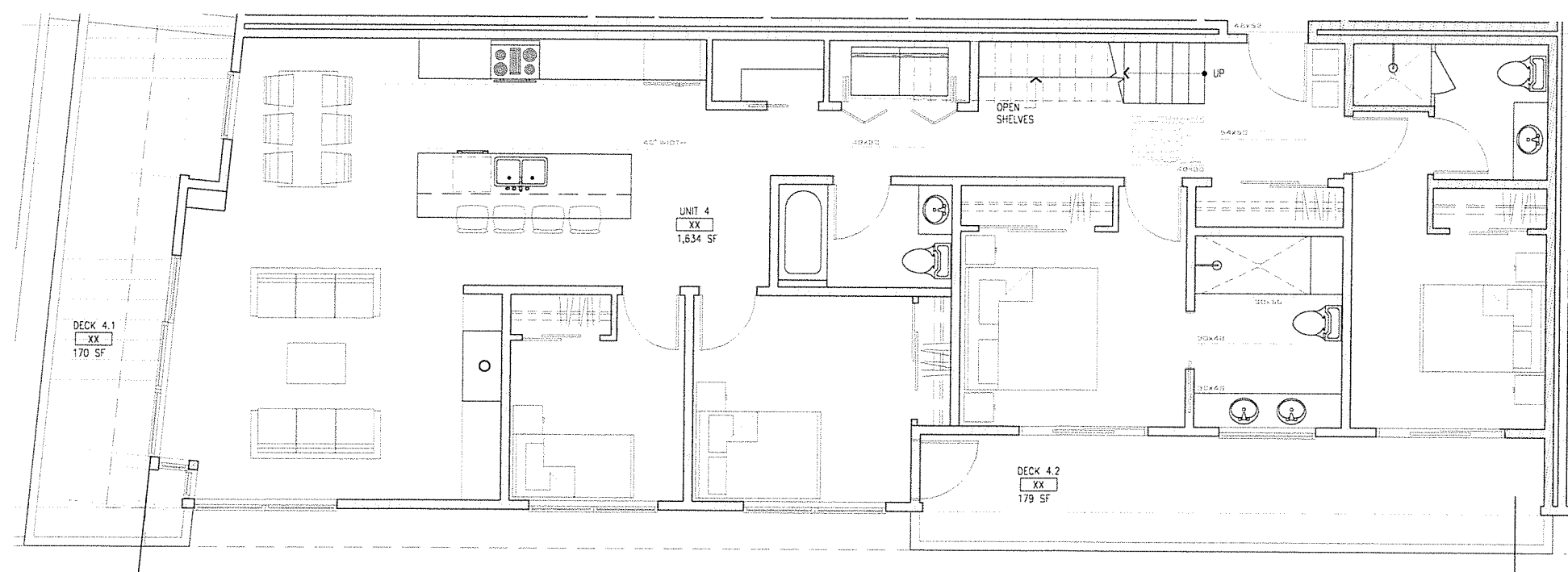
COPYRIGHT 2025

A1.11

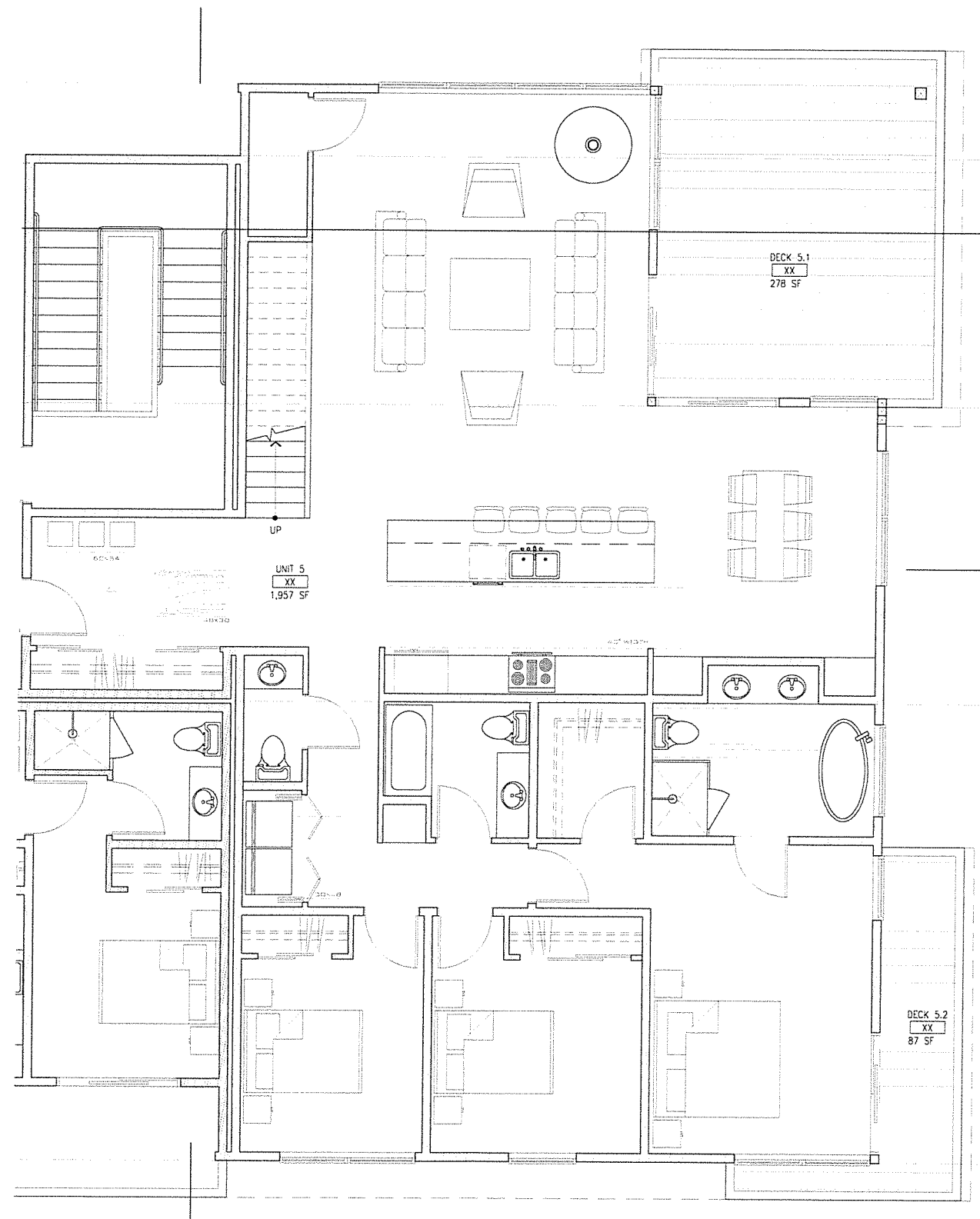
DEVELOPMENT MASTER PLAN  
2-24-25



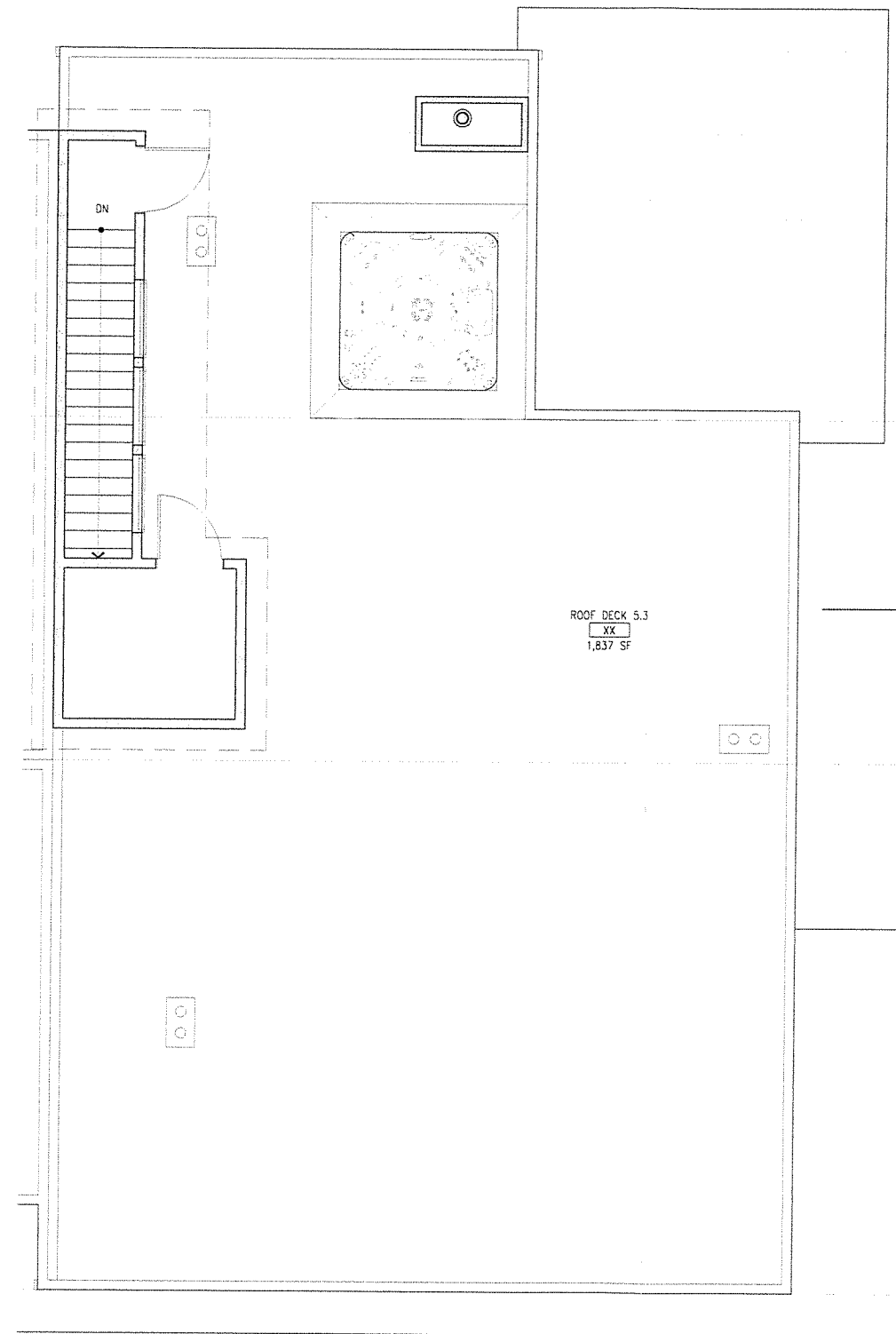
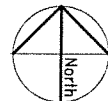
1 UNIT 5 ROOF PLAN  
SCALE: 1/4" = 1'-0"  
North



2 UNIT 5 FLOOR PLAN  
SCALE: 1/4" = 1'-0"  
North



1 UNIT 5 FLOOR PLAN  
SCALE: 1/4" = 1'-0"



2 UNIT 5 ROOF PLAN  
SCALE: 1/4" = 1'-0"



DEVELOPMENT MASTER PLAN  
2-24-25



DATE:

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GIRDWOOD AK, 99587  
(907) 783-1090  
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ALPENGLOW RESIDENCES - PHASE I  
204 HIGHTOWER ROAD, GIRDWOOD, ALASKA  
DESIGN DEVELOPMENT  
THIRD & ROOF FLOOR PLAN - UNIT 5

JOB NO. 25-02  
SUBMITTAL: 02.24.25  
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A1.12



**1 EAST ELEVATION**  
SCALE: 1/8" = 1'-0"



**2 SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**3 WEST ELEVATION**  
SCALE: 1/8" = 1'-0"



**4 NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"



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**ALPENGLOW RESIDENCES - PHASE I**  
204 HIGHTOWER ROAD, GIRDWOOD, ALASKA  
DESIGN DEVELOPMENT

**ELEVATIONS**

JOB NO. 25-02  
SUBMITTAL: 02.24.25  
DRAWN BY: ET  
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**DEVELOPMENT MASTER PLAN**  
2-24-25

**A2.1**



DATE:



ALPENGLOW RESIDENCES - PHASE I  
204 HIGHTOWER ROAD, GIROUDDO, ALASKA  
DESIGN DEVELOPMENT

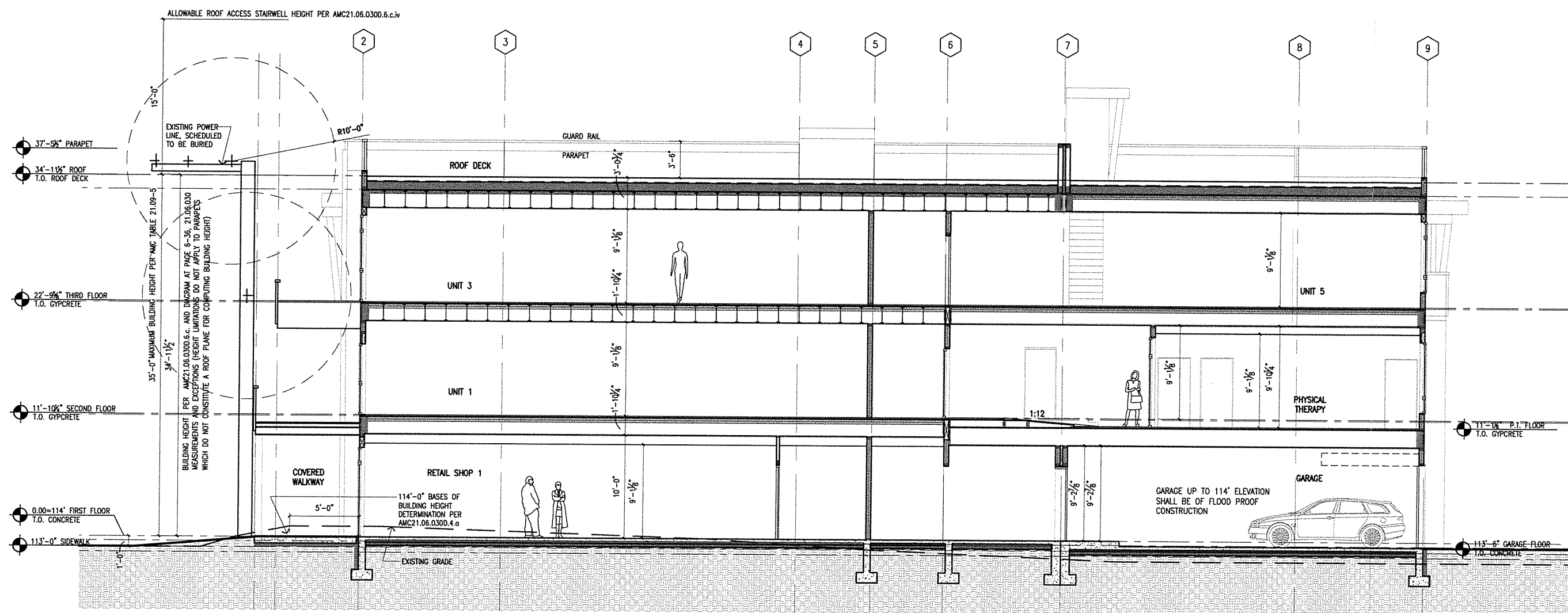
## BUILDING SECTIONS

JOB NO. 25-02  
 ■ ■ ■ ■ ■ ■ ■ ■ ■ ■  
 SUBMITTAL: 02.24.25  
 DRAWN BY: IS  
 CHECKED BY: MAZ  
 REVISIONS:

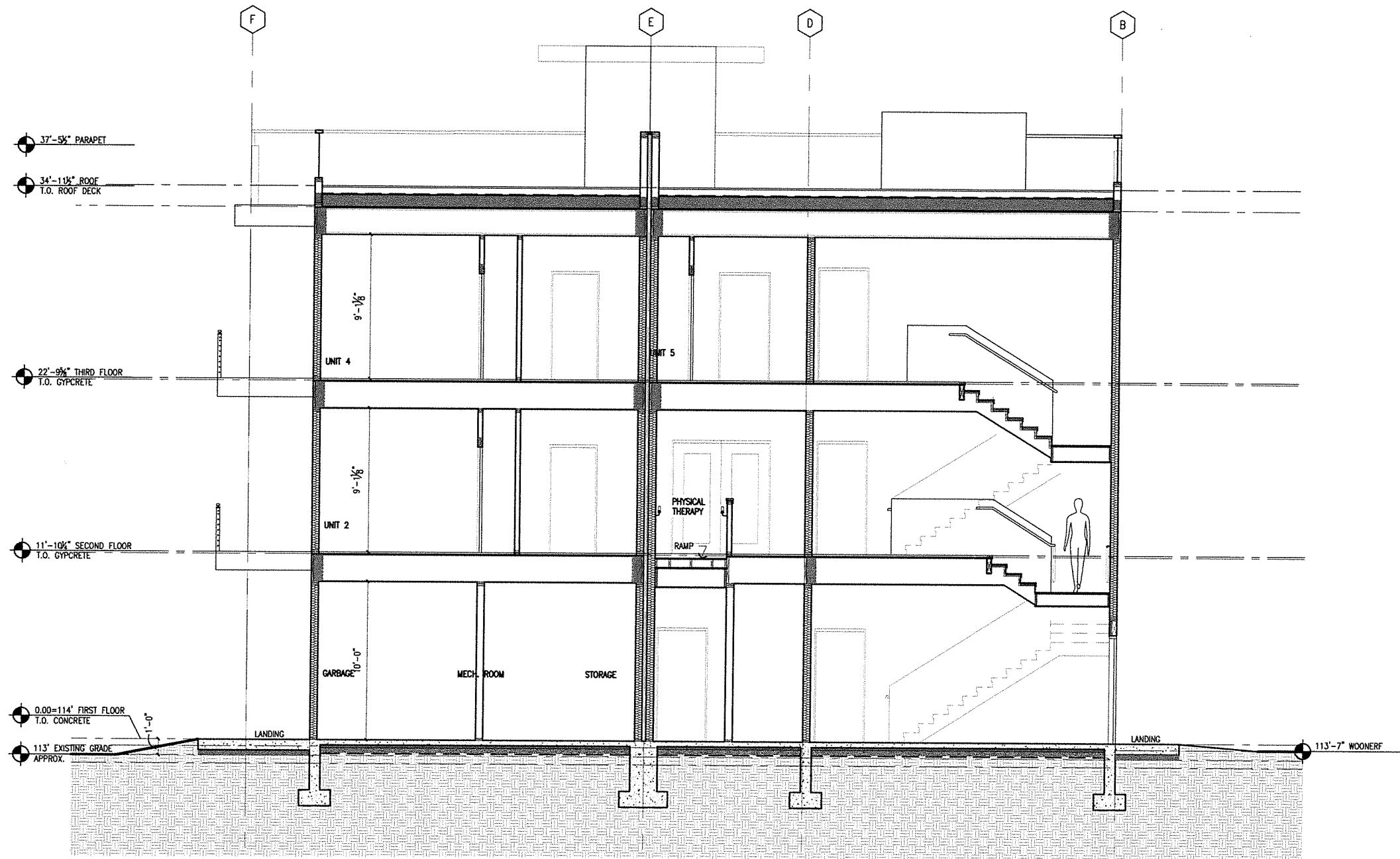
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### A3.1

DEVELOPMENT MASTER PLAN  
2-24-25



1 BUILDING SECTION  
SCALE:  $3/16" = 1'-0"$



1 BUILDING SECTION  
SCALE: 1/4" = 1'-0"



DATE:

**ZARCHITECTS LLC**  
commercial • planning • interiors • residential  
194 OLYMPIC MOUNTAIN LOOP  
BIRDMOOD AK, 99587  
(907) 783-1090  
LLC CORPORATE #10072843

ALPENGLOW RESIDENCES - PHASE I  
204 HIGHTOWER ROAD, BIRDMOOD, ALASKA  
DESIGN DEVELOPMENT

BUILDING SECTIONS

JOB NO. 25-02  
SUBMITTAL: 02.24.25  
DRAWN BY: IS  
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REVISIONS:

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A3.2

DEVELOPMENT MASTER PLAN  
2-24-25

# **Ulmer's** **Drug & Hardware**

March 17, 2025

Attn: Homer Land Use Committee Members:

The purpose of this letter is to express our interest in developing a portion of the property located in the Alpine View Estates, Phase 3, Tract B-2A into a retail Ace Hardware store. We have engaged with the property owners, Tim Cabana, Leroy Cabana, and Kami Neilsen, and believe that we have identified a suitable location for a potential store. We are asking for your support to pursue an eventual zoning change to commercial retail in order to develop and operate an Ace Hardware in Girdwood.

We currently own and operate Ulmer's Drug & Hardware in Homer, Alaska. For the past five years we have worked with the Ace Hardware Market Development Manager to identify potential locations for an Ace Hardware store in Girdwood. They have expressed interest in this location and we believe that if the zoning conditions are changed, we will be granted a store from Ace Corporate. Ace Hardware is a member-owned Co-Op in which store/locations are owned and operated by individual members, similar to many other popular franchises in the US.

Ace Hardware has conducted a market analysis of the location and we believe that an approximately 9,000 square foot, single floor location would be appropriate. We have not engaged with a design or engineering firm yet, but our initial thoughts are that it would have a mountain town aesthetic which would fit well within the Girdwood community. Retail hardware stores are minimally impactful to the surrounding environment as they operate during normal business hours and have minimal weekly deliveries and external noise pollution.

We would love the opportunity to answer your questions or concerns and look forward to working with the committee to bring this project to life. Thank you for your time and consideration.

Regards,

Patrick Mede, Monica Mede, Aaron Ulmer

**Resolution of Support for a Text Amendment to Update the Use Table for gC-10 Zoning District**

WHEREAS, current zoning in Girdwood was established through AO 2005-81(S) based on the Land Use Map from the 1995 Girdwood Area Plan, and

WHEREAS, the limited developable land in Girdwood Valley is currently split into five residential zones, ten separate commercial zones, two industrial and two resort zones, and several special use zones, and

WHEREAS, when originally set up, gC-10 was undeveloped land with the intent of permitting "development of a limited range of non-retail commercial uses along with residential uses in a manner compatible with the surrounding residential land use", and

WHEREAS, parts of the gC-10 zone have now been developed, including a very popular brewery, and

WHEREAS, although permitted under a general manufacturing use, the brewery functionally operates in a very similar way to a general retail operation during the hours it is open to the public, and

Whereas the planning and zoning commission passed resolution no. 2005-043 that allowed a 50 room hotel with restaurant and ground floor retail space case 2005-082, citing the May 10 2005 Land use vote of 40 in favor none opposed and passed 4-0 at GBOS June 20th 2005

WHEREAS, the newly adopted 2025 Girdwood Comprehensive Plan shows the gC-10 areas as Mixed Use category, and includes a specific economic policy to increase the opportunities for new commercial development in Girdwood, and

WHEREAS, adoption of the 2025 Girdwood Comprehensive Plan and Land Use Map will result in a rewrite of Girdwood zoning code, with a timescale for new code of at least 2-3 years, and

WHEREAS, in the meantime, GBOS will consider support for small specific changes to the Girdwood Land Use code of AMC 21.09 which are in accordance with and advance the goals of the 2025 Girdwood Comprehensive Plan, and

WHEREAS, after discussion at Girdwood Land Use Committee on <sup>April 14</sup> ~~March 17~~, a vote of ... and many pages of girdwood residents signatures in favor of

Therefore the Girdwood Board of Supervisors resolves to recommend an update to the allowable uses for <sup>the</sup> gC-10 Zone in AMC 21-09, and to all other zones in the Girdwood Land Use Code.

**\*\*See Attached\*\***

## NOTICE OF ZONING ACTION

This notice announces that a zoning conditional use has been duly approved by the Planning and Zoning Commission of the Municipality of Anchorage providing for the development of the herein described property in accordance with the provisions of the Anchorage Municipal Code of Ordinances and the terms and conditions of the zoning conditional use approval as set forth in the Municipal zoning file 2005-082. Under the provisions of the specified ordinance the subsequent development of the subject property shall be in accordance with the terms of the approved zoning conditional use or any subsequent amendments hereto.

**LEGAL:** Alpine View Estates, Phase 3, Proposed Tract B2, (Via platting application S-10930), currently an approximately 3.01 acre portion of Alpine View Estates, Tract B (Plat 2005-54) Anchorage Recording District, Alaska. Generally located west of Timberline Drive, and south of Alyeska Highway.

**PETITIONER:** Tim Cabana **NOTE:** (send a copy of the recorded document to Municipality of Anchorage, Planning Department, P.O. Box 196650, Anchorage, Alaska 99519-6650)

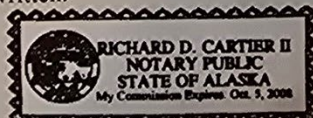
**REQUEST:** Conditional Use for a 50 room (48,882 square foot) hotel including a restaurant and ground floor retail space in the R-11 District.

*Mary Autor*  
\_\_\_\_\_  
Secretary  
Municipality of Anchorage  
Planning and Zoning Commission

STATE OF ALASKA           )  
  )  
THIRD JUDICIAL DISTRICT   )

THIS IS TO CERTIFY that on the 5 day of December, 2005 before me, the undersigned, a Notary Public in and for Alaska, personally appeared Mary Autor, to me known to be the duly appointed representative of the Secretary of the Planning and Zoning Commission and acknowledged to me that she had in her official capacity aforesaid executed the forgoing instrument as an act and deed of the Municipality of Anchorage for the uses and purposes therein stated.

WITNESS my hand and notarial seal on the 5 day of December, 2005 in this certificate first above written.



*Richard D. Cartier II*  
\_\_\_\_\_  
Notary Public in and for Alaska  
My Commission expires: 10/05/2008



2 of 6

2005-088143-0

# Application for Administrative Site Plan Review

Municipality of Anchorage  
Planning Department  
PO Box 196650  
Anchorage, AK 99519-6650



PETITIONER*		PETITIONER REPRESENTATIVE (if any)	
Name (last name first) Spinelli Andre		Name (last name first) Marcott Brandon	
Mailing Address 1900 W. Northern Lights Blvd. Suite 200		Mailing Address P.O. Box 111989	
Anchorage, AK, 99517		Anchorage, AK 99511	
Contact Phone – Day 907-344-5768	Evening	Contact Phone – Day 907-344-3114	Evening
E-mail andre@spinellhomes.com		E-mail brandonmarcott@triadak.com	

\*Report additional petitioners or disclose other co-owners on supplemental form. Failure to divulge other beneficial interest owners may delay processing of this application.

PROPERTY INFORMATION			
Property Tax #(000-000-00-000): 075-163-47-000, and 075-163-46-000			
Site Street Address: Girdwood, AK 99587			
Current legal description: (use additional sheet if necessary) Lot 2 & 3 Phase 4, Alpine View Estates Subdivision			
Zoning: GR-4	Acreage: 1.52	Grid #: SE4815	Underlying plat #: 2024-51

SITE PLAN APPROVAL REQUESTED	
Use: 5 unit multi-family residential development in Lot 2 & 6 unit residential development in Lot 3	
<input checked="" type="radio"/> New SPR	<input type="radio"/> Amendment to approved site plan      Original Case #:

I hereby certify that (I am)(I have been authorized to act for) owner of the property described above and that I petition for an administrative site plan review in conformance with Title 21 of the Anchorage Municipal Code of Ordinances. I understand that payment of the application fee is nonrefundable and is to cover the costs associated with processing this application, and that it does not assure approval of the site plan.

*Brandon Marcott*

2.18.25

Signature      ☐ Owner      ☒ Representative  
(Representatives must provide written proof of authorization)

Date

Brandon Marcott

Print Name

Accepted by:	Fee:	Case Number: 2025-0035	Decision Date <i>Admin:</i> 04/18/2025
--------------	------	---------------------------	---

**COMPREHENSIVE PLAN INFORMATION**Improvement Area (per AMC 21.08.050B.): ☒ Class A ☐ Class B**Anchorage 2040 Land Use Designation(s):**

- |   |  |  |
|---|--|--|
| <input type="checkbox"/> Large Lot Residential            | <input type="checkbox"/> Single and Two-family Residential | <input type="checkbox"/> Compact Mixed Residential – low |
| <input type="checkbox"/> Compact Mixed Residential–Medium | <input type="checkbox"/> Urban Residential – High          | <input type="checkbox"/> Neighborhood Center             |
| <input type="checkbox"/> Town Center                      | <input type="checkbox"/> Regional Commercial Center        | <input type="checkbox"/> City Center                     |
| <input type="checkbox"/> Commercial Corridor              | <input type="checkbox"/> Main Street Corridor              | <input type="checkbox"/> Open Space                      |
| <input type="checkbox"/> Facilities and Institutions      | <input type="checkbox"/> Industrial                        |  |

**Anchorage 2040 Growth Supporting Features:**

- |   |   |
|---|---|
| <input type="checkbox"/> Transit-supportive Development | <input type="checkbox"/> Residential Mixed-use Development    |
| <input type="checkbox"/> Greenway-supported Development | <input type="checkbox"/> Traditional Neighborhood Development |

**Chugiak-Eagle River Land Use Classification:**

- |   |  |   |  |
|---|--|---|--|
| <input type="checkbox"/> Commercial                                   | <input type="checkbox"/> Industrial              | <input type="checkbox"/> Parks              | <input type="checkbox"/> Community Facility  |
| <input type="checkbox"/> Town Center                                  | <input type="checkbox"/> Transportation facility | <input type="checkbox"/> Special study area | <input type="checkbox"/> Development reserve |
| <input type="checkbox"/> Residential at _____ dwelling units per acre |  |   |  |

**Girdwood- Turnagain Arm Land Use Classification:**

- |   |  |   |  |
|---|--|---|--|
| <input type="checkbox"/> Commercial   | <input type="checkbox"/> Industrial              | <input type="checkbox"/> Parks/open space   | <input type="checkbox"/> Public lands/institutions |
| <input type="checkbox"/> Resort   | <input type="checkbox"/> Transportation facility | <input type="checkbox"/> Special study area | <input type="checkbox"/> Reserve                   |
| <input type="checkbox"/> Commercial/Residential                                       | <input type="checkbox"/> Commercial Recreation   |   |  |
| <input checked="" type="checkbox"/> Residential at <u>7.2</u> dwelling units per acre |  |   |  |

Neighborhood, District or Other Area-Specific Plan: Girdwood Area Plan**ENVIRONMENTAL INFORMATION** (All or portion of site affected)

- |                                |                                       |                                      |                                |  |
|--------------------------------|---------------------------------------|--------------------------------------|--------------------------------|--|
| Wetland Classification:        | <input type="radio"/> None            | <input checked="" type="radio"/> "C" | <input type="radio"/> "B"      | <input type="radio"/> "A"                                      |
| Avalanche Zone:                | <input checked="" type="radio"/> None | <input type="radio"/> Blue Zone      | <input type="radio"/> Red Zone |  |
| Floodplain:                    | <input checked="" type="radio"/> None | <input type="radio"/> 100 year       | <input type="radio"/> 500 year |  |
| Seismic Zone (Harding/Lawson): | <input checked="" type="radio"/> "1"  | <input type="radio"/> "2"            | <input type="radio"/> "3"      | <input type="radio"/> "4" <input checked="" type="radio"/> "5" |

**RECENT REGULATORY INFORMATION** (Events that have occurred in last 5 years for all or portion of site)

- |  |         |
|--|---------|
| <input type="checkbox"/> Rezoning - Case Number:   |         |
| <input type="checkbox"/> Preliminary Plat <input checked="" type="checkbox"/> Final Plat - Case Number(s):   | 2024-51 |
| <input type="checkbox"/> Conditional Use - Case Number(s):   |         |
| <input type="checkbox"/> Zoning variance - Case Number(s):   |         |
| <input type="checkbox"/> Land Use Enforcement Action for   |         |
| <input type="checkbox"/> Building or Land Use Permit for   |         |
| <input checked="" type="checkbox"/> Wetland permit: <input checked="" type="checkbox"/> Army Corps of Engineers <input type="checkbox"/> Municipality of Anchorage |         |

### SUBMITTAL REQUIREMENTS (Only one copy of applicable items is required for initial submittal)

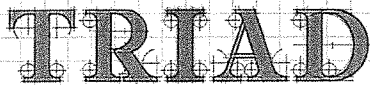
- 1 copy required: ☒ Signed application (original)  
☒ Watershed sign off form, completed  
☒ 8 1/2" by 11" copy of site plan/building plans submittal
- 7 copies required: ☐ Signed application (copies)  
☐ Project narrative explaining:  
☐ the project ☐ planning objectives  
☐ addressing the site plan review criteria on page 3 of this application  
☐ Site plan to scale depicting, with dimensions:  
☐ building footprints ☐ parking areas ☐ vehicle circulation and driveways  
☐ pedestrian facilities ☐ lighting ☐ grading  
☐ landscaping ☐ loading facilities ☐ freestanding sign location(s)  
☐ required open space ☐ drainage ☐ snow storage area or alternative  
strategy ☐ trash receptacle location and screening detail ☐ fences  
☐ significant natural features ☐ easements ☐ project location  
☐ Building plans to scale depicting, with dimensions:  
☐ building elevations ☐ floor plans ☐ exterior colors and textures  
☐ Assembly Ordinance enacting zoning special limitations, if applicable

(Additional information may be required.)

### SITE PLAN REVIEW STANDARDS (21.03.180)

The Planning Director may only approve a site plan if the director finds that **all** of the following standards are satisfied. Each standard must have a response in as much detail as it takes to explain how your project satisfies the standard. The burden of proof rests with you.

1. The site plan is consistent with any previously approved subdivision plat, planned development master plan, or any other precedent plan or land use approval;
2. The site plan complies with all applicable development and design standards set forth in this title, including but not limited to the provisions in chapter 21.04, *Zoning Districts*, chapter 21.05, *Use Regulations*, chapter 21.06, *Dimensional Standards and Measurements*, and chapter 21.07, *Development and Design Standards*;
3. The site plan addresses any significant adverse impacts that can reasonably be anticipated to result from the use, by mitigating or offsetting those impacts to the maximum extent feasible; and
4. The development proposed in the site plan is consistent with the goals, objectives, and policies of the comprehensive plan.



ENGINEERING, LLC

**PHYSICAL**

615 E. 82nd Ave., Suite 101  
Anchorage, AK 99518

**MAILING**

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**WEB**

triadak.com

## Lot 2 and 3, Alpine View Estates Subdivision Phase 4 Multifamily Residential Development Narrative

### Introduction

The proposed project is a residential development with a Dwelling, Multifamily use as defined within Title 21. The project is located south of Alyeska Highway in Girdwood, Alaska. The property is owned by Spinell Homes, Inc. The current zoning of the site is GR-4.

The proposed development is for five (5) single-family units within Lot 2 and six (6) single-family units within Lot 3. The current legal descriptions of the site are Lot #2, Phase 4, Alpine View Estates Subdivision; and Lot #3, Phase 4, Alpine View Estates Subdivision. Lot #2 and lot #3 are 0.82 acres and 0.7 acres in size respectively and abuts Kami Circle ROW. Kami Circle is maintained by the Municipality of Anchorage. Vehicular access to the site will be from Alyeska Highway to Kami Circle. A shared private roadway is proposed to provide access to each of the units. Trash service will be by individual trash bins (no dumpsters). Building colors are anticipated to be predominantly "barn red" with "white trim." There are no pedestrian trails, sidewalks or parking lots in the vicinity of the development. Pedestrian connectivity is planned to be from the front doors to the adjacent parking stalls. Building mounted lights will provide illumination for the connection from the front door to the parking areas.

Spinell Homes, Inc. is the property developer and applicant. The house designer is Spinell Homes, Inc. The project engineer is Triad Engineering, LLC. The project surveyor is The Boutet Company, Inc. Site construction is anticipated to begin in the spring of 2025 with building construction beginning mid-summer 2025.

### Request for Approval

This application requests approval for this Administrative Site Plan Review for this development. Please see the narrative below and attached plan sets for more information.

### Application Requirements

The proposed residential development includes five (5) single-family units within Lot 2 and six (6) single-family units within Lot 3, both GR-4 zoned lots. This is a permitted use under the Administrative Site Plan Review process (AMC Table 21-09-2 Dwelling, Multifamily). The applicable sections of Title 21 are as follows:

- AMC 21.09.040.B.2.e gR-4(Multiple -Family Residential) District
- AMC 21.09.050.B.2b. Dwelling Multifamily
- AMC 21.09.060 Dimensional Standards and Measurements
- AMC 21.09.070 Development and Design Standards

- 21.09.070E.4 – Landscaping, Vegetation, and Tree Retention
- 21.09.070H.2 – Pedestrian Circulation
- 21.09.070K.1.b – Snow Management
- AMCR 21.90.002-1 Private Street – Minimum Standards
- Site Plan Review Standards (21.03.180)

#### **AMC 21.09.040.B.2.e – gR-4 (Multiple – Family Residential) District**

- ii. **Intent – The gR-4 district is intended primarily to continue the existing pattern of multiple family development on sewers. Single-family and two- family development is allowed on existing lots of less than 20,000 square feet. More than one principal structure may be allowed on any lot or tract by administrative site plan review.**

Lot 2 will contain six (6) residential units on an approximately 0.82-acre lot. This corresponds to a gross density of 7.3 dwelling units per acre. Similarly, lot 3 will contain five (5) residential units on an approximately 0.7- acre lot. This corresponds to a gross density of 7.1 dwelling units per acre. 4-8 DUA is within the desired range of densities for the gR-4 zone. Public sewer is provided along the western boundary of each lot.

- iii. **District Specific Standards**

More than one principal structure may be allowed on any lot or tract by administrative site plan review.

#### **AMC 21.09.050.B.2.b Dwelling, Multifamily**

- i. **Definition – A residential building or multiple residential buildings comprising three or more dwelling units on one lot. The definition includes the terms “apartment” or “apartment building.”**

Lot 2 will contain six dwelling units and lot 3 will contain 5 dwelling units.

- ii. **Use Specific Standards**

**Children’s play space: Multiple-family projects of more than ten dwelling units shall provide a play space of at least 1,000 square feet.**

This is not applicable as Lot 2 and 3 have six (6) dwelling units and five (5) dwelling units respectively.

#### **AMC 21.09.060 Dimensional Standards and Measurements**

- **Minimum lot area 12,500 ft<sup>2</sup> per lot** – 35,753 ft<sup>2</sup> for Lot 2 and 30,469 ft<sup>2</sup> for lot 3
- **Minimum lot width 70 ft** – Both lots exceed the minimum 70-foot width requirement
- **Max. coverage 40%** - 13.1% for Lot 2 and 19.5% for Lot 3 provided
- **Maximum setback requirements**
  - **Front 20 ft** – 28.7 ft provided for Lot 2 and 69.2 ft for Lot 3
  - **Rear 10 ft** – 27 ft provided for Lot 2 and 52 ft provided for Lot 3
  - **Side 10 ft** – 5 ft provided on south side; 25 ft provided on east side for Lot 2  
10 ft provided on south side; 25 ft provided on east side for Lot 2

**Additional Notes** – Lot 2 front, rear and side yard setbacks modified per note 2 of the additional specific standards or Table 21.09-5. Lot 2 rear yard setback measure to the edge of the Public Use Easement.

- **Maximum height of structures**
  - **Principal: 35 ft** – Max. height is fewer than 35 ft
  - **Accessory garage/carports 25 ft** – N/A
  - **Other accessory 12 ft** – N/A

#### **21.09.070E.4 – Site Development and Design Standards: Landscaping, Vegetation, and Tree Retention, Minimum Vegetation Coverage**

- a. **Amount:** The proposed site plan complies with Table 21.09-10, for Multifamily Residential.  
**Natural Vegetation lot coverage 20%** - 20% of natural vegetation lot coverage is included in 40% total permeable.

**Total Permeable Surface, including Natural Vegetation lot coverage 40%:** 52% and 46% provided as permeable in Lot 2 and Lot 3 respectively.

- b. **Locations and Dimensions:** Required vegetated areas may be located anywhere on the site or lot. Individual vegetated areas shall be a minimum of 200 square feet, with no dimension less than 10 feet. This standard is met.

#### **21.09.070H.2 - Site Development and Design Standards: Pedestrian Circulation, Walkway System – Residential**

3. In multifamily projects, and in attached single-family and two-family dwelling projects containing more than two residential buildings, paved and lighted walkways shall be provided from individual units or common building entries to parking lots and to paved public trails or sidewalks abutting the property. The maximum grade on pedestrian walkways is five percent without a handrail, or eight percent if a handrail is provided.

The proposed private road provides walkway connectivity to Kami Circle. Note that there are no paved public trails or sidewalks abutting the property.

#### **21.09.070K.1.b - Site Development and Design Standards: Snow Management**

- b. **Snow Storage Area** - Snow storage space adjacent to surface parking lots and pathways shall be identified on the site plan. To facilitate snowplowing and snow removal, snow storage areas equal to at least 20 percent of the total area of the site used for parking, access drives, walkways, and other surfaces needing to be cleared of snow, shall be designated on the site plan.

Snow storage of 3,598 square ft and 1,668 square feet are provided for Lot 2 and Lot 3 respectively. This is greater than the minimum 20 percent required.

#### **AMCR 21.90.002-1 Private Street – Minimum Standards**

The total unit count between both lots 2 and 3 is 11 residential units. The optional, 24-foot wide, private street section is selected. No parking is allowed along the private street.

#### Site Plan Review Standards (21.03.180)

1. **The site plan is consistent with any previously approved subdivision plat, planned development master plan, or any other precedent or land use approval;**

The site plan conforms to the previously approved and recorded plat for Alpine View Estates Subdivision. Additionally, the site plan provides the density desired within the GR-4 zoning district and complies with the Girdwood Area Plan.

2. **The site plan complies with all applicable development and design standards set forth in this title, including but not limited to the provisions in chapter 21.04, *Zoning Districts*, chapter 21.05, *Use Regulations*, chapter 21.06 *Dimensional Standards and Measurements*, and chapter 21.07, *Development and Design Standards*;**

The development and design standards associated with these chapters have been addressed in detail above.

3. **The site plan addresses and significant adverse impacts that can reasonably be anticipated to result from the use, by mitigating or offsetting those impacts to the maximum extent feasible; and**

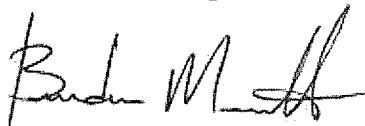
Significant adverse impacts from this development are not anticipated. A total of 11 dwelling multifamily units generates approximately 105 average daily trips. Alyeska Highway and Kami Circle are existing strip paved roads in good condition and are capable of handling this increase in traffic loading. No offsite improvements are anticipated to be necessary based on the small increase in daily trips.

4. **The development proposed in the site plan is consistent with the goals, objectives, and policies of the comprehensive plan.**

The proposed development is consistent with the goals, objectives, and policies of the 1995 Girdwood Area Plan (GAP). The 6 dwelling units in lot 2 and 5 units in lot 3 meet the gR-4 (multi-family residential district) standards.

Thank you for your time and consideration in this matter. If you have any questions or require additional information, please call 907-344-3114 or email me at [brandonmarcott@triadak.com](mailto:brandonmarcott@triadak.com).

Sincerely,  
Triad Engineering, LLC



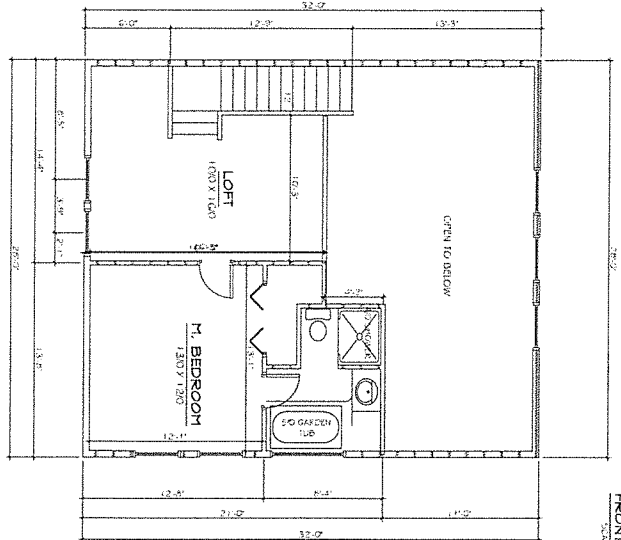
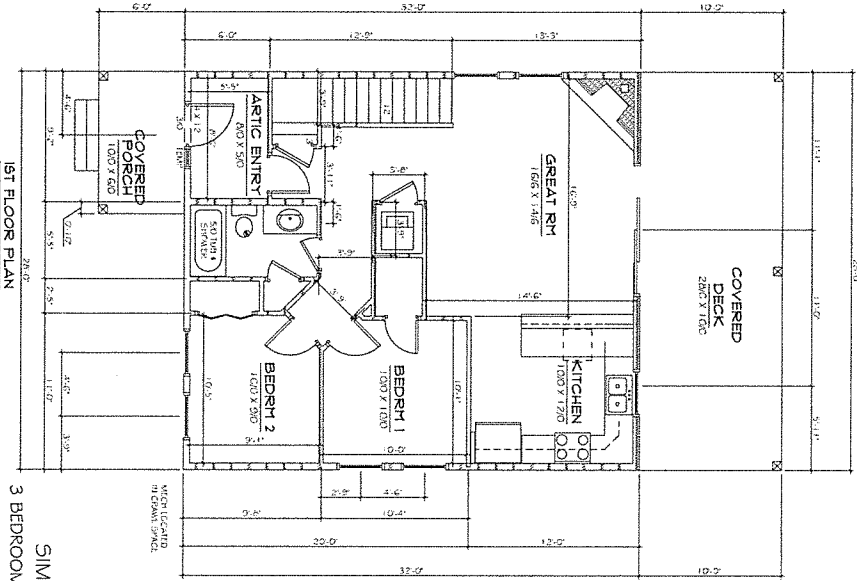
Brandon Marcott, P.E.

LEFT ELEVATION  
SCALE: 1/8" = 1'-0"

REAR ELEVATION  
SCALE: 1/8" = 1'-0"

RIGHT ELEVATION  
SCALE: 1/8" = 1'-0"

FRONT ELEVATION  
SCALE: 1/8" = 1'-0"



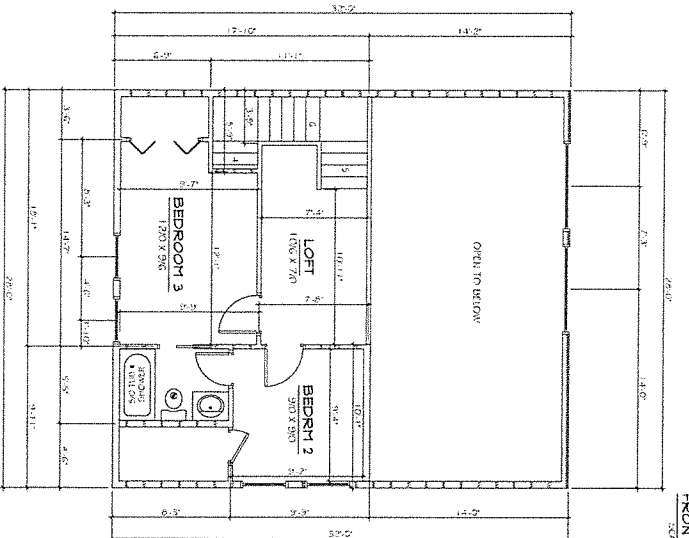
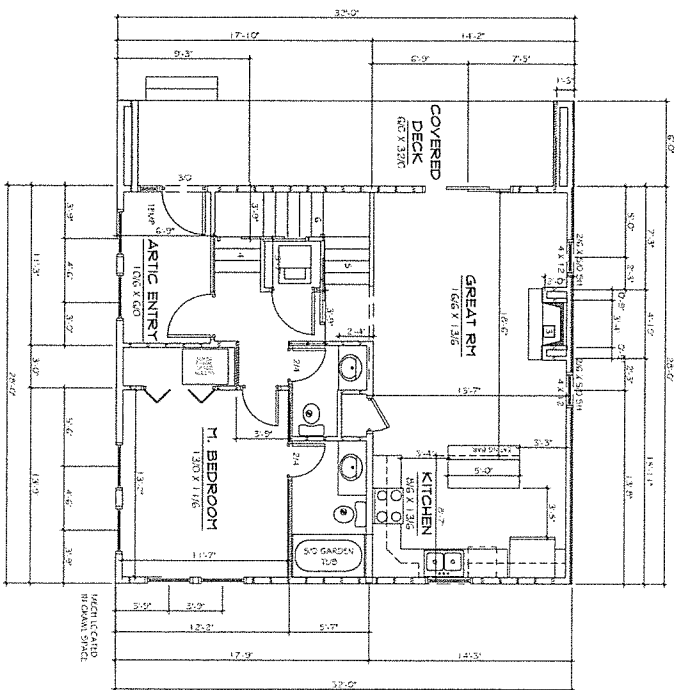
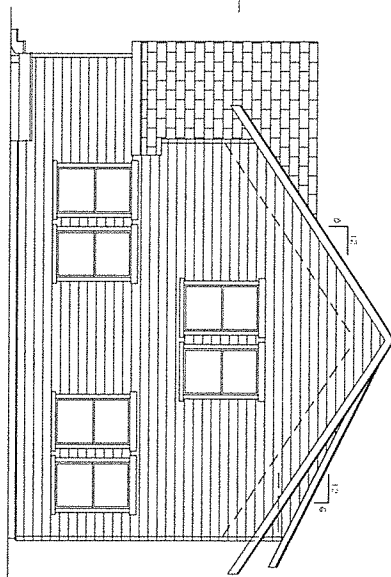
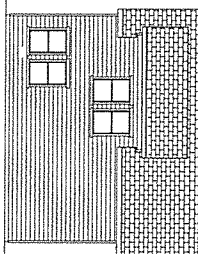
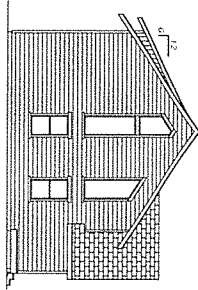
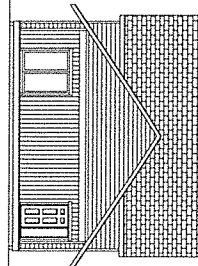
# ALPINE VIEW CHALET



1900 W. NORTHERN LIGHTS BLVD.  
ANCHORAGE, ALASKA 99517  
907-344-5678 FAX 907-344-1976  
ALL IDEAS, DRAWINGS AND/OR ARRANGEMENTS PRESENTED  
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SQUARE FOOTAGE  
TOTAL 2225  
2ND FLOOR 527  
TOTAL 1698

DATE	10/1/00
BY	SPINELL
CHECKED BY	SPINELL
APPROVED BY	SPINELL
SCALE	1/8" = 1'-0"



# ALPINE VIEW CHALET

**Spinell** HOMES, Inc.

1900 W. NORTHERN LIGHTS BLVD.  
ANCHORAGE, ALASKA 99517  
907-344-5678 FAX 907-344-1976

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MODERN SIDE ENTRY  
3 BEDROOM & MASTER DOWN

<b>SQUARE FOOTAGE</b>	
151 PLUM	896 S.F.
212 PLUM	504 S.F.
<b>TOTAL</b>	<b>1400 S.F.</b>

MODERN SIDE ENTRY	
ADJING VIEW CRANET	
X	
Sheet	2

SITE REQUIREMENT	REQUIRED	PROVIDED LOT 2	PROVIDED LOT 3	ADDITIONAL NOTES
CURRENT ZONING	GR-4	GR-4	GR-4	
PROPOSED USE	-	DWELLING MULTIFAMILY	DWELLING MULTIFAMILY	LOT 2 - 7.3 DUA LOT 3 - 7.1 DUA
MINIMUM LOT AREA	12,500 FT <sup>2</sup>	35,753 FT <sup>2</sup>	30,469 FT <sup>2</sup>	
BUILDING FOOTPRINT	40% (MAX)	13.1%	19.5%	
PARKING	N/A	10 STALLS	12 STALLS	2 STALLS PER UNIT
PASSENGER LOADING	N/A	-	-	
ACCESSIBLE SPACES	N/A	-	-	
LOADING BERTH	N/A	-	-	
BUILDING HEIGHT	MAXIMUM HEIGHT 35 FT	24 FT	24 FT	SEE BUILDING PLANS
BUILDING SETBACKS	FRONT - 20 FT	28.7 FT	69.2 FT	SEE ADDITIONAL NOTES BELOW
	REAR - 10 FT	27 FT	52 FT	SEE ADDITIONAL NOTES BELOW
	SIDE - 5 OR 10 FT	5 FT & 25 FT	10 FT & 25 FT	SEE ADDITIONAL NOTES BELOW
HARDSCAPE AREA	N/A	9,532 FT <sup>2</sup>	9,830 FT <sup>2</sup>	
SNOW STORAGE	1,906 FT <sup>2</sup> & 1,966 FT <sup>2</sup>	3,598 FT <sup>2</sup>	1,668 FT <sup>2</sup>	20% OF HARDSCAPE AREA FOR GIRDWOOD
PARKING LOT INTERIOR LANDSCAPING	N/A	-	-	
OPEN SPACE	N/A	-	-	
LANDSCAPING	20% NATURAL VEGETATION	N/A	N/A	INCLUDED IN 40% PERMEABLE
	40% TOTAL PERMEABLE	52%	46%	
RESIDENTIAL STORAGE	40 FT <sup>2</sup> PER UNIT	YES	YES	STORAGE PROVIDED ON DECKS

1. LOT 2 REAR YARD SETBACK MEASURED TO THE EDGE OF THE PUBLIC USE EASEMENT.

1. SEE THE LANDSCAPING PLAN FOR ADDITIONAL LANDSCAPING INFORMATION.

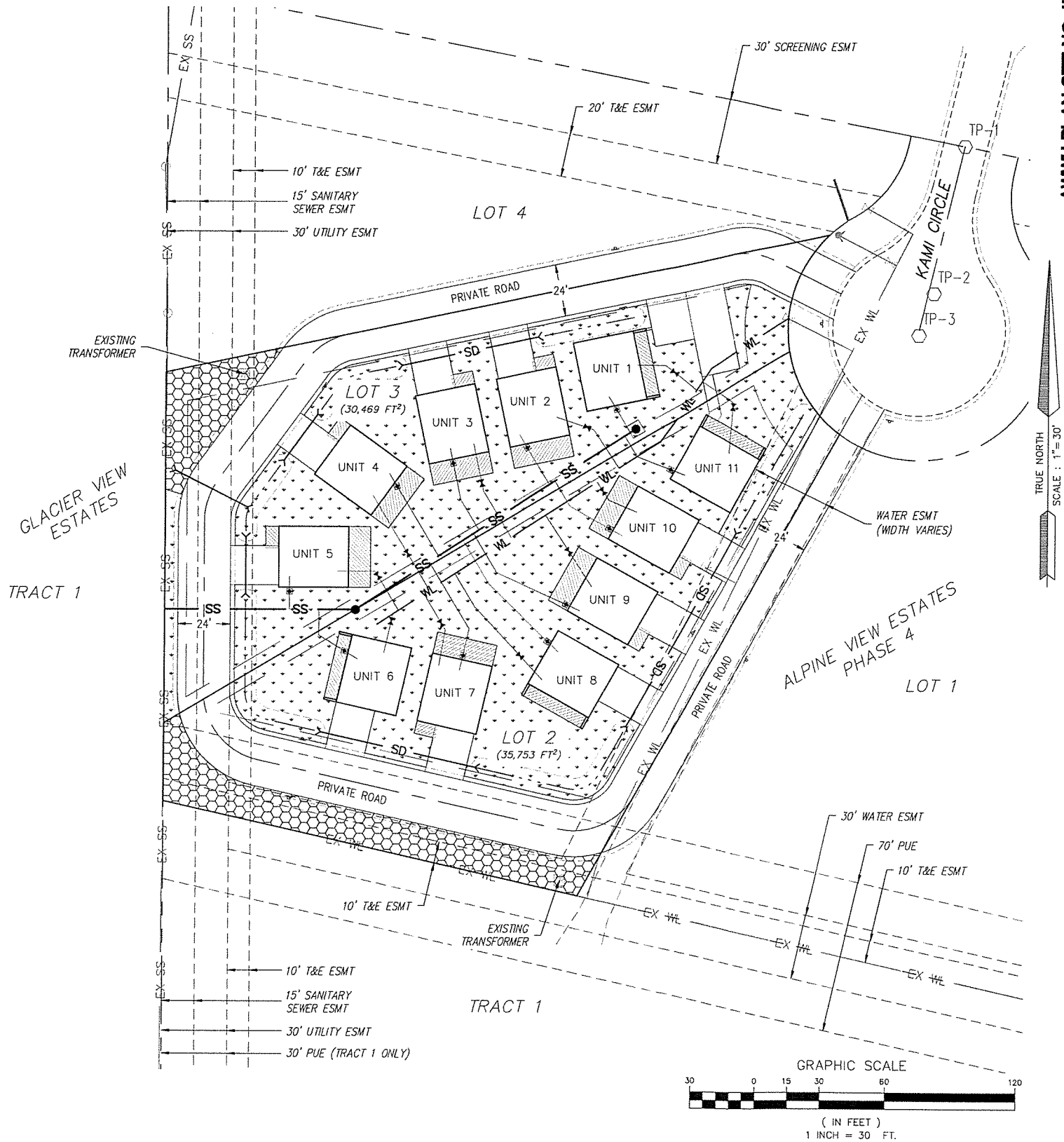
1. SIMPLE "A" - UNITS 2, 3, 4, 5, 7, 9 & 10 (22 FT TALL)
2. MODERN SIDE ENTRY - UNITS 1, 6, 8 & 11 (24 FT TALL)



TEMP SNOW STORAGE



LANDSCAPING



AWWU Private Systems Number	PS25-001
Master Fill & Grade Permit Number	C25-1063
Master Fill & Grade Permit Number	C25-1064



**TRAD**  
**ENGINEERING, LLC**  
P.O. Box 111889  
Anchorage, Alaska 99511  
(907) 561-6537  
[www.triadak.com](http://www.triadak.com)  
COA# 128635

This will serve to certify that these Record Drawings are a true and accurate representation of the project as constructed.

CONTRACTOR: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE TRANSFERRED \_\_\_\_\_

COMPANY: \_\_\_\_\_

DATE: \_\_\_\_\_

**DATA TRANSFER CHECKED**

\_\_\_\_\_ on periodic field observations by the Engineer \_\_\_\_\_ or individual under his/ her (direct supervision), the contractor-provided data appears to represent the project as constructed.

COMPANY: \_\_\_\_\_

DATE: \_\_\_\_\_

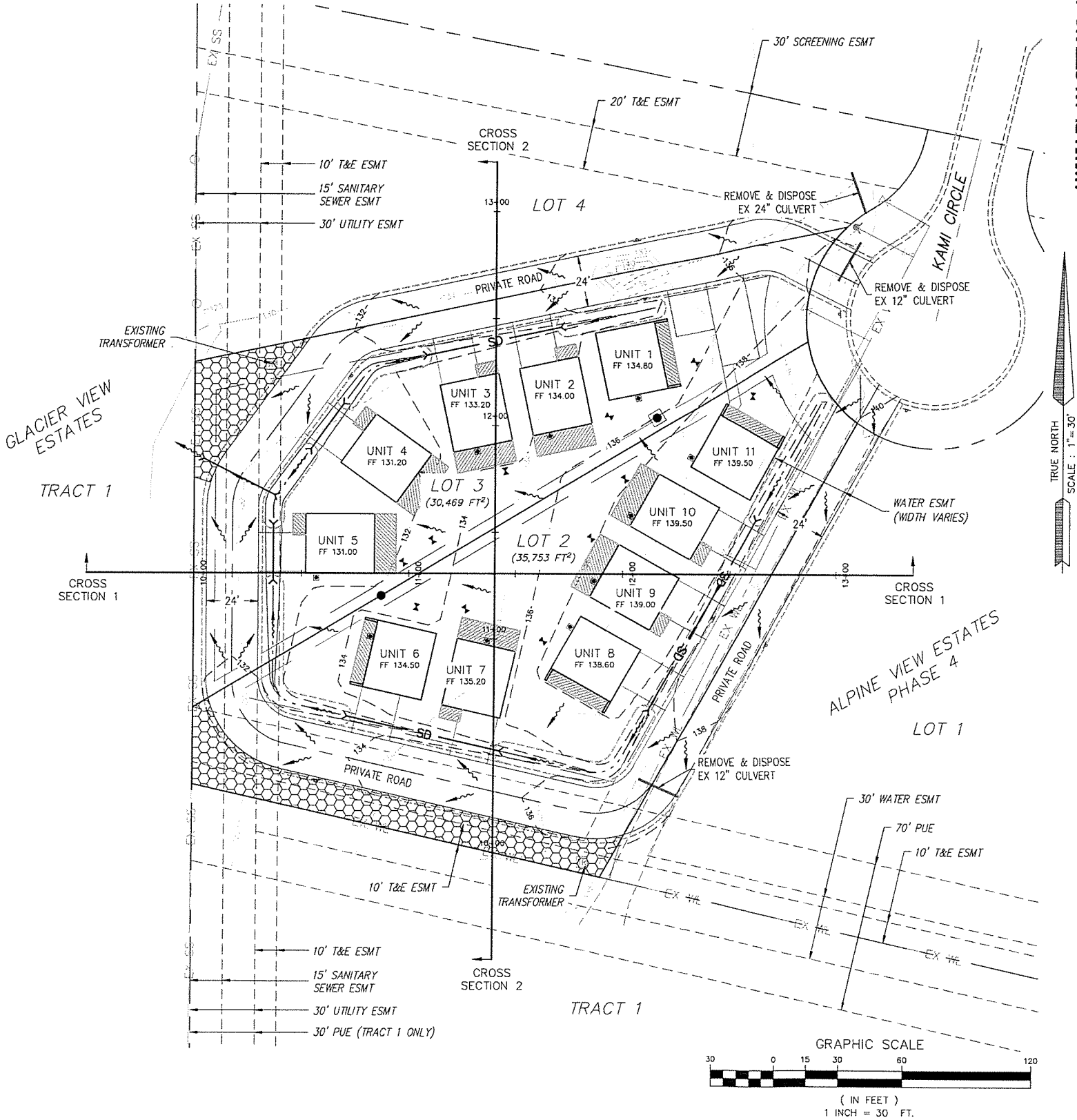
ALPINE VIEW ESTATES  
SUBDIVISION LOTS 2 & 3  
SITE PLAN

FILE:	ALPINE	NEW	CHALET'S
JOB NO.	CASE:	DATE:	
24-161	180	FEB 2025	
HORIZ: 1°=30'	GRID:		
SCALE: VERT: N/A	SZ:4B15		
REVISED PER WWJ COMMENTS			
2.9.25			
BAL	OWN		

4 OF 9

GRADING NOTES

1. STABILIZE ALL DISTURBED AREAS AFTER CONSTRUCTION IN COMPLIANCE WITH THE LANDSCAPING PLAN AS WELL AS THE EROSION AND SEDIMENTATION CONTROL PLAN.
2. ALL FILL SHALL BE PLACED IN ONE FOOT LIFTS, MAXIMUM, AND COMPACTED TO 95% MINIMUM AND IN COMPLIANCE WITH THE SOILS ENGINEER'S RECOMMENDATIONS. NO ROCK OR SIMILAR IRREDUCIBLE MATERIAL WITH A MAXIMUM DIMENSION GREATER THAN 12 INCHES SHALL BE BURIED OR PLACED IN FILLS.
3. PER AMCR 23.105.111.3, THE TOE OF FILL SLOPES SHALL BE MADE NOT NEARER TO THE SITE BOUNDARY LINE THAN ONE-HALF THE HEIGHT OF THE SLOPE WITH A MINIMUM OF TWO (2) FEET AND A MAXIMUM OF TWENTY (20) FEET.
4. THE CONTRACTOR SHALL SCHEDULE INSPECTIONS AT THE START OF WORK, FIFTY PERCENT (50%) COMPLETION, ONE HUNDRED PERCENT (100%) COMPLETION AND AT SIGNIFICANT STAGES OUTLINED BY THE ENGINEER.
5. FILL SLOPES SHALL NOT BE CONSTRUCTED ON NATURAL SLOPES STEEPER THAN 1 UNIT VERTICAL IN 2 UNITS HORIZONTAL (50% SLOPE). WHERE SLOPES ARE STEEPER THAN 1 UNIT VERTICAL IN 5 UNITS HORIZONTAL (20% SLOPE) AND THE FILL HEIGHT IS GREATER THAN 5 FEET, A BENCH UNDER THE TOE OF THE FILL SHALL BE INSTALLED AT LEAST 10 FEET WIDE.
6. AREA OF DISTURBANCE 1.85 ACRES.
7. HOURS OF OPERATION WILL BE BETWEEN 6:00 A.M. TO 10:00 P.M., MON.-SAT. ANY WORK SCHEDULED TO OCCUR OUTSIDE THESE HOURS OF OPERATION WILL REQUIRE A NOISE PERMIT PER AMC 15.07.070.
8. SPINELL HOMES, INC, ANDRE SPINELLI, HAVE HIRED TERRA FIRMA TESTING, TO PERFORM THE SPECIAL INSPECTIONS.
9. TERRA FIRMA TESTING WILL PERFORM THE REQUIRED TESTING FOR COMPACTION AS WELL AS OBSERVATIONS DURING PREPARATION OF THE NATURAL GROUND PRIOR TO FILL OPERATIONS PER IBC TABLE 1704.7 WHICH REQUIRES CONTINUOUS INSPECTION DURING FILL PLACEMENT.
10. HAUL ROUTE FROM PROJECT SITE IS: ALYESKA HIGHWAY, SEWARD HIGHWAY, HUFFMAN ROAD, OLD SEWARD HIGHWAY, E. KLATT ROAD TO AS&G PIT. TO PROJECT SITE: E. KLATT ROAD, OLD SEWARD HIGHWAY, HUFFMAN ROAD, SEWARD HIGHWAY, ALYESKA HIGHWAY TO PROJECT ENTRANCE.
11. PERMANENT CUT/FILL SLOPES TO BE 2:1 MAX.
12. QUANTITIES: CUT = 3,200 C.Y., FILL = 3,800 C.Y. (INCLUDES IMPORT)
13. PER AMCR 23.105.111.2, THE TOP OF CUT SLOPES SHALL NOT BE MADE NEARER TO A SITE BOUNDARY LINE THAN ONE-FIFTH OF THE VERTICAL HEIGHT OF CUT WITH A MINIMUM OF TWO (2) FEET AND A MAXIMUM OF TEN (10) FEET. THE SETBACK MAY NEED TO BE INCREASED FOR ANY REQUIRED INTERCEPTOR DRAINS.
14. THE CONTRACTOR SHALL MAINTAIN OPEN AND UNOBSTRUCTED ROUTES DAILY UNTIL CONSTRUCTION IS COMPLETE.
15. NO FILL MATERIAL WILL BE PLACED IF FROZEN AND NO FILL SHALL BE PLACED ON FROZEN MATERIAL.
16. A RIGHT OF WAY PERMIT IS REQUIRED FOR ANY WORK WITHIN THE MOA RIGHTS OF WAY.
17. MAINTAIN MINIMUM 5% AND 2% POSITIVE DRAINAGE PATTERNS AWAY FROM THE BUILDINGS IN AREAS OF LANDSCAPING AND HARDSCAPING RESPECTIVELY.
18. ALL ORGANICS AND LOOSE FILL ENCOUNTERED BELOW THE BUILDING FOOTPRINT SHALL BE REMOVED RECOMPACTED TO MINIMUM 95% OF MAXIMUM DENSITY. THE BUILDING FOOTPRINT EXTENDS AT A 1:1 SLOPE FROM THE BOTTOM OF THE FOUNDATION AND SHALL BE FOUNDED ON COMPETENT SOILS.
19. THE GROUND SURFACE SHALL BE PREPARED TO RECEIVE FILL BY REMOVING VEGETATION AND SCARIFYING TO PROVIDE A BOND WITH THE NEW FILL.



AWWU Private Systems Number PS25-001  
Master Fill & Grade Permit Number C25-1063  
Master Fill & Grade Permit Number C25-1064



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P.O. Box 9989511  
Anchorage, Alaska 99511  
(907) 561-6537  
www.tradok.com  
CD# 128635

RECORD DRAWING  
1. DATA PROVIDED

BY: \_\_\_\_\_  
TITLE: \_\_\_\_\_ DATE: \_\_\_\_\_  
2. DATA TRANSFERRED

BY: \_\_\_\_\_  
COMPANY: \_\_\_\_\_

DATE: \_\_\_\_\_

3. DATA TRANSFER CHECKED

Based on periodic field observations by the Engineer, or on individual under his/her direct supervision, the Contractor-provided data appears to represent the project as constructed.

BY: \_\_\_\_\_

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DATE: \_\_\_\_\_

# TRANSIT-SUPPORTIVE DEVELOPMENT

March 2025



# WHAT IS TRANSIT-SUPPORTIVE DEVELOPMENT?

- ▶ Transit-Supportive Development is a planning and design strategy that consists in promoting urban development that is **compact, mixed-use, pedestrian- and bicycle-friendly, and closely integrated with mass transit** by clustering jobs, housing, services, and amenities around public transport stations

# DO WE WANT IT?

- ▶ At the Federal Level (HUD): “Transit-Oriented Development is increasingly recognized as having the potential to improve the quality of life for American households, by creating vibrant, livable communities in proximity to transit.”
- ▶ At the Muni Level:
  - ▶ 2040 Land Use Plan (LUP), AO 2017-116
    - ▶ Goal 2:
      - ▶ Identify the most appropriate areas that can absorb more intensive use and compact housing
      - ▶ Ensure that infrastructure can serve identified sites, and that public amenities are available nearby; and
      - ▶ Support redevelopment and infill projects that can catalyze additional development.

## Transit-supportive Development

Transit-supportive Development (TSD) identifies corridors where expanded public transit service will support a compact, walkable pattern of commercial, residential, and/or mixed-use development. Over time, compact development can create ridership demand to support more frequent bus service. It will give Anchorage’s households more choices in how to get to work and other destinations. It also provides more opportunities to live in a walkable, accessible, and affordable neighborhood environment.

# WHAT DOES TSD LOOK LIKE?

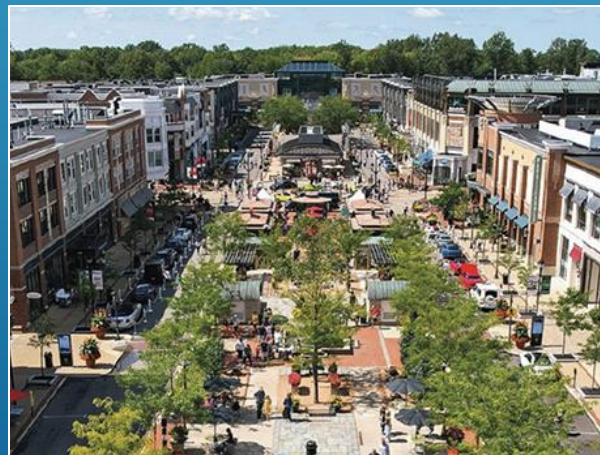
2040 LUP



St. Paul, MN



Smyrna, TN



Portland, OR



Mercer Island, WA

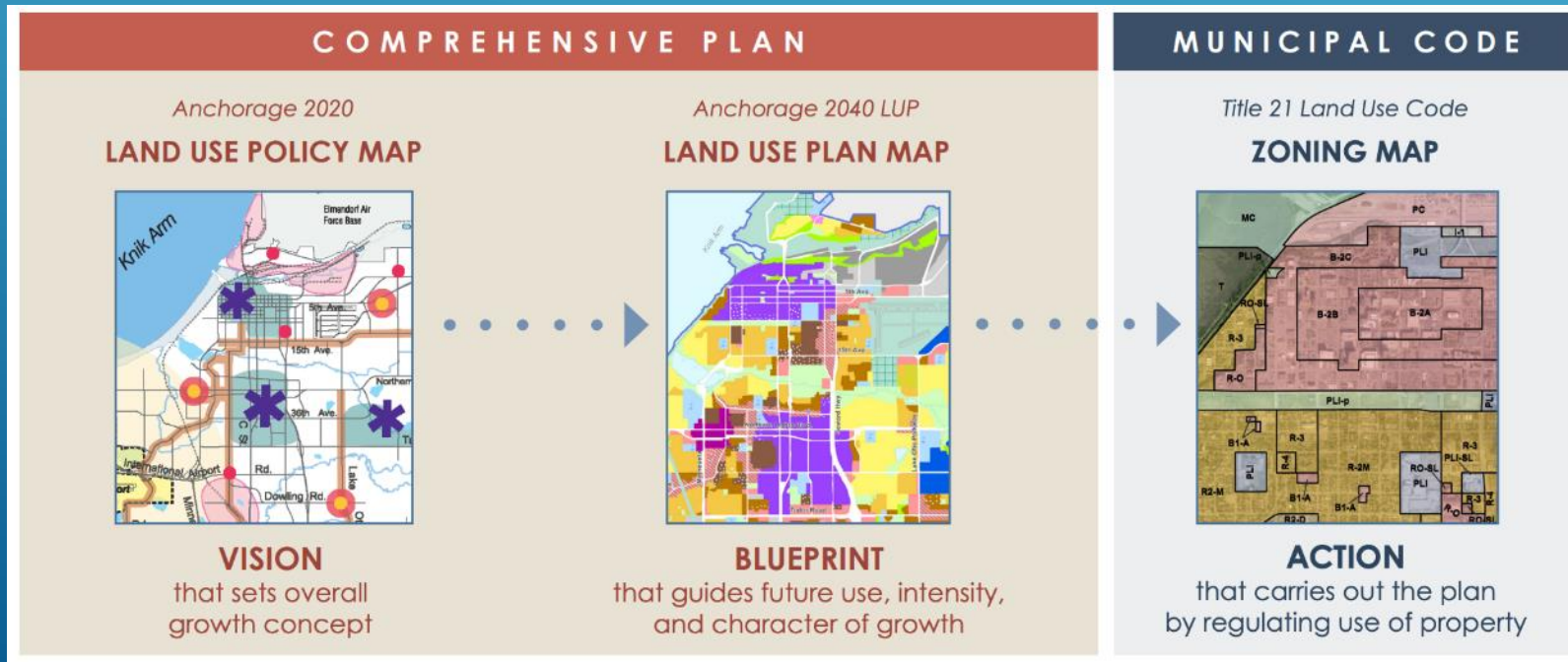


# RELATIONSHIP BETWEEN PLANS AND CODE

- ▶ Plans: Vision and Strategy for the future shape of Anchorage
- ▶ Code: What can actually be built on the ground
- ▶ Transit-Supportive Development is in our plans, but was never implemented to be in code

We want this In the future

We can do this now

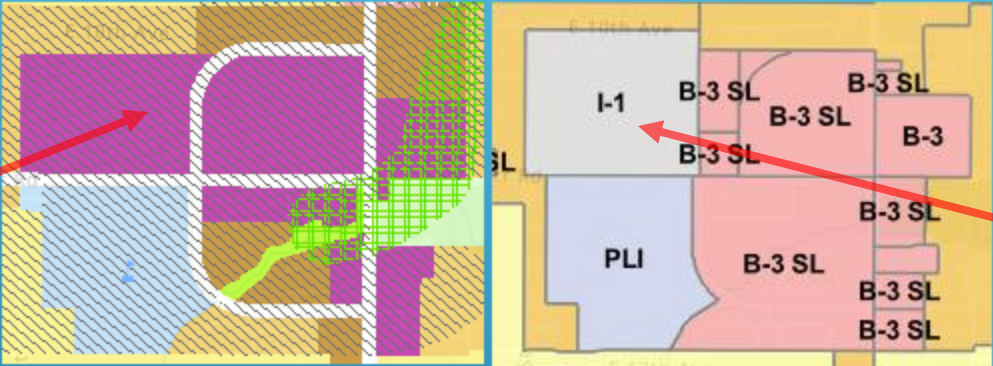


# RELATIONSHIP BETWEEN PLANS AND CODE

We want this In the future  
(2040 LUP)

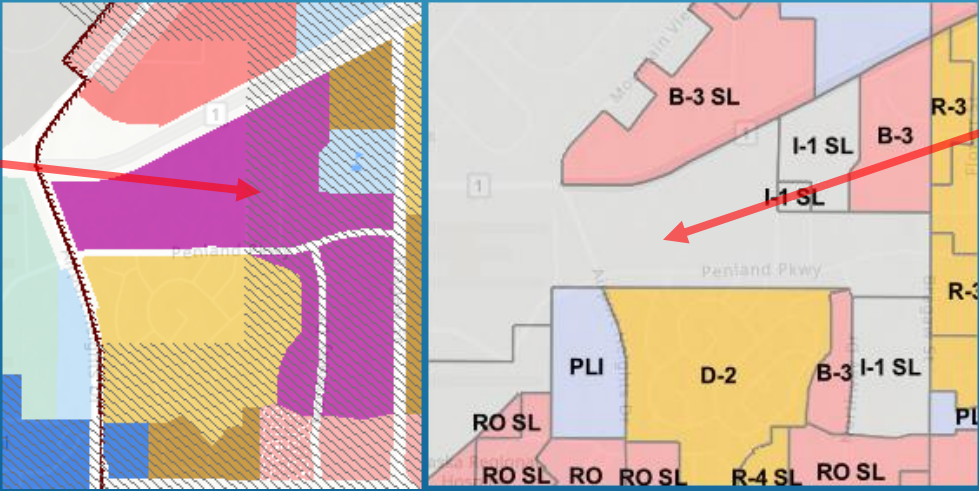
Muldoon

We can do this now  
(Code)



Town Centers (Purple):  
Housing  
Mixed-Use  
Walkable

Industrial:  
No Housing Allowed



Airport Heights

# WHAT OUR EXISTING CODE RESULTS IN: (MULDOON FRED MEYER AREA)

**Existing land use regulations result in this:**



# WHAT TSD COULD RESULT IN:

**Updated land use regulations could allow this:**



The map displays the city of Anchorage, Alaska, with various neighborhoods and landmarks. The map is color-coded by neighborhood: Sand Lake (yellow), Level Lake (orange), Northern Lights (green), Tudor (blue), and others. Major roads like the Seward Highway and Glen Highway are shown. Landmarks include the Anchorage Coastal Wildlife Refuge, Chugach State Park, and the University of Alaska. The map also shows the Knik Arm and the International Airport.

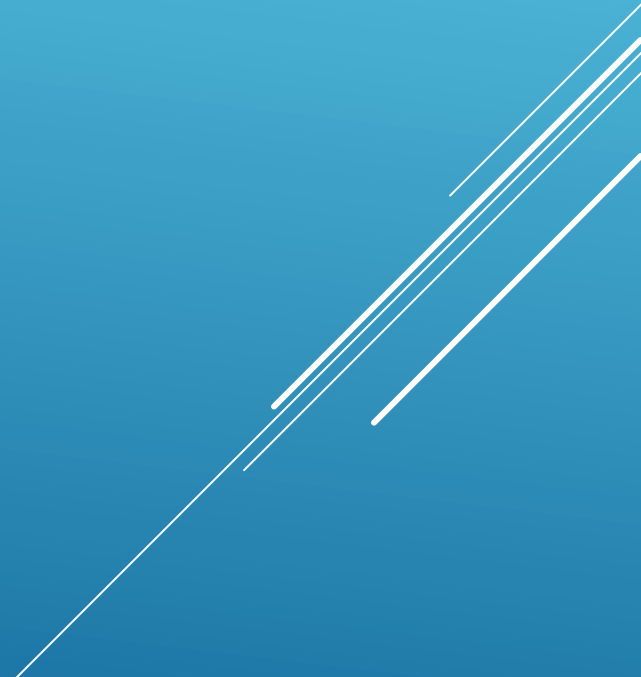
ALSO, TOWN CENTERS  
ARE DARK PURPLE

# WHO DOES IT HELP AND HOW?

## ▶ Who

- ▶ Young families and professionals
- ▶ Seniors Looking to downsize but stay in their community and maintain independence
- ▶ Entrepreneurs who want to serve their community
- ▶ Everyone who loves walking or biking to get a cup of coffee or a pastry

## ▶ How

- ▶ Increased availability and diversity of housing
  - ▶ Dynamic neighborhoods and corridors
  - ▶ Greater transportation flexibility and choice
  - ▶ Commercial opportunities and growth
  - ▶ Financial benefits to city and residents
- 
- A series of white diagonal lines of varying lengths and thicknesses, located in the bottom right corner of the slide, creating a modern, abstract graphic element.

# BENEFITS

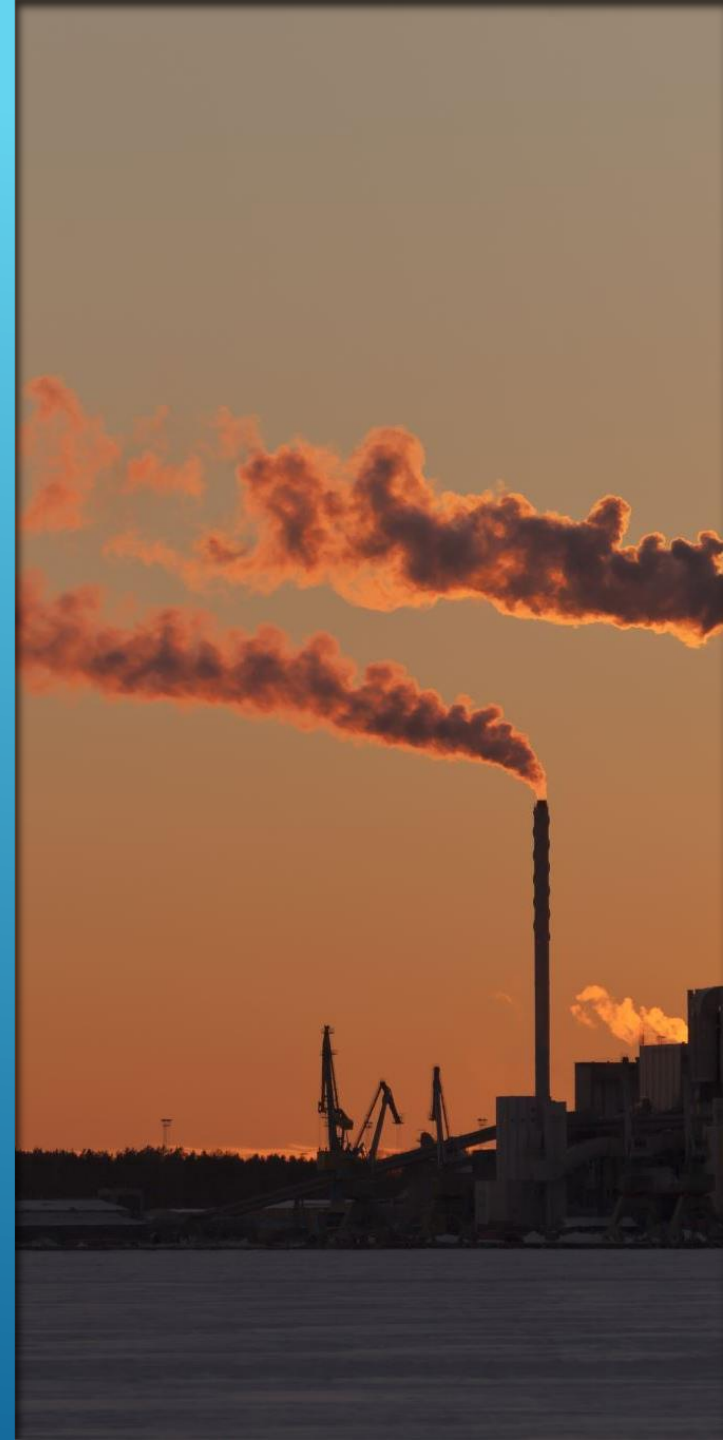
- ▶ University of Utah: Walkable neighborhoods contribute to 15% decrease in obesity and 20% decrease in diabetes
- ▶ Fiscally sound policy: more intensive land use contributes greater property taxes at same mill rates and land valuations for existing properties
- ▶ Increases development by relieving constrictions on development that contribute to high housing prices and depreciating housing stock
- ▶ Creates affordable, attainable, desirable housing at a range of income levels and in multiple areas of town
- ▶ Provides greater incentive for roads to be retrofitted for greater pedestrian and cyclist use as areas transform into mixed-uses

# DOES IT WORK?

- ▶ U.S. Department of Transportation: “Homes in walkable and transit-accessible areas are extremely desirable, and insufficient supply generally leads to higher prices for these homes. Increasing the amount of development near transit **enables lower housing costs and makes more convenient transit service available for residents of all incomes.**”

- ▶ Urban Areas
  - ▶ Significant drops in energy consumption
    - ▶ 4,000 ppl/km<sup>2</sup>
    - ▶ 10,000 ppl/km<sup>2</sup>
    - ▶ 22,000 ppl/km<sup>2</sup>
  - ▶ DU/Acre:
    - ▶ 6
    - ▶ 16
    - ▶ 35 (FTA goal for TSD is 36 du/acre)
- ▶ Per Capita Energy Consumption:
  - ▶ U.S. Average: 279 Million BTUs
  - ▶ Alaska: 987 Million BTUs (3.5x the average)

## FROM A CLIMATE STANDPOINT

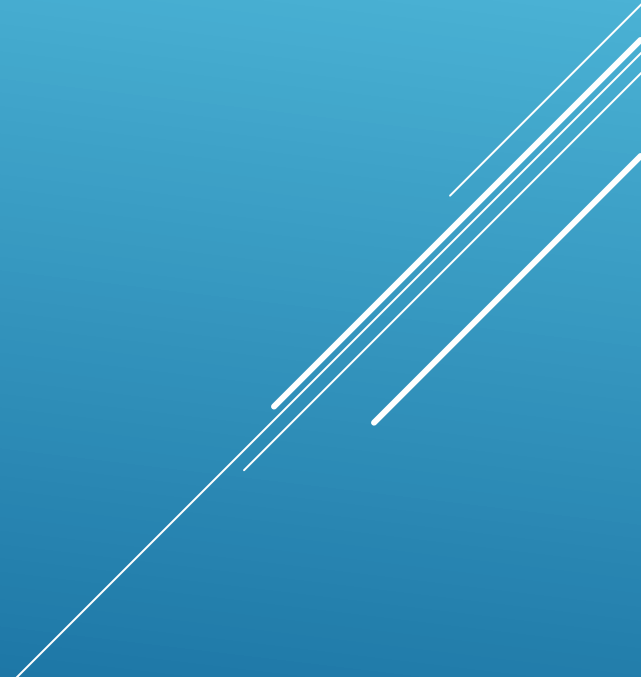


# WHAT IS THE PATH FORWARD?

- ▶ Resolution in support of implementing Town Centers and Transit-Supportive Corridors from the 2040 LUP.
- ▶ Engage in the public process should an ordinance come forward.



# BACKUP SLIDES



## **GIRDWOOD BOARD OF SUPERVISORS**

### **Town Centers and Transit Supportive Development Corridors**

WHEREAS, the Girdwood Board of Supervisors exists to afford citizens an opportunity for maximum community involvement and self-determination, and to provide a direct and continuing means of citizen participation in local affairs,

WHEREAS, Girdwood Board of Supervisors acknowledges Anchorage's ongoing housing crisis is linked to: a decline in population, an increase in homelessness, an increase in criminal activity, a lack of economic opportunities for young people and entrepreneurs, a lack of housing choices for seniors, a lack of well-paying jobs in the trades, increased traffic safety issues, a lack of resilience in the transportation system, and a lack of housing that is affordable for everyday hardworking Alaskans,

WHEREAS, Girdwood Board of Supervisors desires to see housing and entrepreneurial opportunities developed in areas of the Anchorage Bowl that through a robust public process were determined to be acceptable for such development and additional density while simultaneously relieving pressure to increase density in areas that are predominantly single family in nature,

WHEREAS, the Anchorage 2040 Land Use Plan employed such a robust public participation process in designating certain areas of the Anchorage Bowl as Town Centers and Transit Supportive Development Corridors which should be developed in a manner that is mixed-use in nature with densities sufficient to encourage walkability and support both active and public transit,

WHEREAS, these areas align with Girdwood Board of Supervisors's vision for areas that are proper for additional development and density of housing and entrepreneurial opportunities,

WHEREAS, multiple adopted plans support such development in these areas including the Anchorage 2020 Comprehensive Plan, Anchorage 2040 Land Use Plan, and Anchorage Climate Action Plan,

NOW THEREFORE BE IT RESOLVED Girdwood Board of Supervisors supports the Anchorage Assembly taking action to implement Transit Oriented Development in the areas designated in the Anchorage 2040 Land Use Plan as Town Center and/or Transit Supportive Development Corridor. This support is subject to the following items:

- 1) The resulting code should be flexible enough to allow for many different types of housing including, but not limited to:
  - a. Small-Lot Single Family Homes
  - b. Cottage Courts

- c. Apartment buildings of reasonable heights for the subject areas and which can be configured in a way that support floor plans that can accommodate young families
  - d. Single-Room Occupancy Developments
- 2) These areas should incentive mixed-use and active transportation for maximum benefit by:
  - a. Studying ways to reduce the dependence on traffic signaling
  - b. Encourage safe, comfortable, and affordable active and public transit options
- 3) Recognizing the importance of honoring the public process, areas prioritized for implementation should include areas which:
  - a. Supported implementation within their neighborhood boundaries during development the Anchorage 2040 Land Use Plan or;
  - b. Provide support for implementation during any process leading up to a change in code
- 4) Changes in code should incentivize development of affordable and workforce housing in ways that do not discourage development in general. The Assembly should avoid restrictions such as inclusionary zoning, which, while well intentioned, has the practical effect of discouraging development.

**Resolved this XXth day of May 2025**

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Signature

---

Title

March 10, 2025

Dear Senator Giessel,

We are residents of Girdwood who are asking for your help.

We have concerns specifically with a new airport land parcel that has recently been leased to a commercial helicopter operator. We are trying to maintain a noise and vegetative buffer that has been in place for over 45 years. We are asking you to contact Statewide Aviation, and request that they pause work on Parcel H development at Girdwood Airport while we bring our concerns to the government agencies responsible for this area.

A new Girdwood Comprehensive Plan will soon be implemented by the Anchorage Assembly. This plan has been developed with a huge amount of community input, thousands of hours of volunteer work, and years of community meetings. There is guidance for airport development specified in the new plan.

Goal T5, in section 4, states:

"Maintain the Girdwood Airport as a valuable community asset"

Policy T5.1, also in section 4, makes clear the policy to follow to achieve this goal:

"Support development at the Girdwood Airport that recognizes the community, sense of place, and natural development."

Implementors/Partners specified by the plan are:

"MOA Planning Department, GBOS, AK DOT&PF"

The new lease awarded to the commercial helicopter operator will not satisfy any of the policy objectives stated in the Girdwood Comprehensive Plan. It does not recognize the community that has been in place for over 45 years, long before any commercial use of our small community airport. The new lease does not satisfy a recognition of the sense of place, a longtime neighborhood with full-time residents remaining where they've raised their families. The new lease also does not support natural development, as it wants to move airport operations closer to homes and families rather in a direction away from homes and families.

Today, we are asking you to help us with one simple step. Please contact the state agency responsible for opening up this new land parcel, known as Parcel H, at the Girdwood Airport, and ask them to pause further action on this while we work with the various municipal and state agencies. The phone number for Clark Cox, Program Manager of Statewide Aviation Leasing, is 907-269-0319. The phone number for Britton Goldberg, Aviation Leasing Chief for the Central Region is 907-269-0745.

We look forward to working with you and your office. We very much appreciate the work you do in and for our local and statewide community.

Sincerely,

Friends and neighbors from Girdwood

Primary contacts, Steve Halverson (907-230-7258) and Camilla Seifert (907-244-8023)

And:

David Seifert 907-227-7512

Eileen Halverson 907-230-7902

Ben and Ellie Grey 907-982-2813  
Ralph Brodin 907-229-5444  
Susan Scherwin 907-744-6065  
Kim Rice 907-980-5028  
Mike Durtschi 907-441-4287  
Grant Turner 907-891-6863  
Josh Ingram 650-810-6531  
Clay Langland 907-782-6639  
Terry Sherwood 907-441-9809  
Robyn Kenny 907-223-5852  
Janette Kiland 907-980-2273  
Kalie Harrison 508-521-5161  
Matthew Smith 907-240-3229  
Robert Dugan 907-382-0776  
Charlie Crangle 406-581-4247  
Kellie Okonek 907-382-1370  
Debra Croghan 907-830-3564  
Diana Livingston 907-351-5722  
Gwen Sovitski 907-240-7662  
Bari Cabana 907-223-0967  
Michelle White 208-660-0346  
Jane and Carlos Martinez 907-250-3123  
Doug Penn 907-632-0198  
Makena Croghan 907-242-3564  
Donna Knutson 907-244-6476  
Bud Dow 907-229-3181  
Alicia and Hans Nordstrom  
Lisa Dewing 907-382-1013  
Ally Goens 907-229-1349  
Jody Jenkins 907-242-4059  
Lynn McNamara, 907-230-1627  
Anna Fleming 907-952-4179  
Donna Evans 907-230-0053  
James Evans 907-230-3151

Carolyn Brodin 907-229-4949  
Kate and Mark Sandberg 907-575-7301  
Debra Rice 907-980-5029  
Heather Durtschi 907-441-1237  
Alannah Turner 907-717-6018  
Amy Seifert 907-244-2686  
Betsy Connell 907-382-0734  
Katalin Langland 907-306-0121  
Jacky and Ken Graham 907-720-9940  
Mike Kenny 907-301-8152  
Dan Kiland 907-301-4408  
Meghan Seifert 907-244-6346  
Sherry Dugan 907-360-4151  
David H. Barrett 805-245-8472  
Kim Blommel 406-581-6472  
Lin Hinderman, Peter Zug 907-317-8387  
Donna Phillips 907-830-5333  
Kathy Trautner 907-360-9173  
Tim Cabana 907-632-8467  
Jonnie and William Lazarus 907-885-9430  
Jeremy and Kelly Cerutti 907-301-0942  
Laurie Van Huis 907-230-2750  
Lauren and Cody Rice 907-632-8005  
Ann Murphy 907-854-5535  
Liz Dow 907-229-7429  
Dinah and Larry Merrill 907-230-0395  
Susan Opalka 907-229-0442  
Mike Finnigan 907-360-2973  
Betty Charnon 907-444-7833  
Bethanie Nix 907-351-7087  
Jerry and Rebecca Reichlin 907-230-0469  
Patty and Dave Hamre 907-227-1711  
Kerstin Johansson 907-342-7082  
Lou Theiss 907-529-9537



The survey tape marks the edge of proposed Parcel H.  
These photographs show how close it is to 141 and 157 Lake Tahoe Road.



# Alaska State Legislature

Senator Cathy Giessel  
Senate Majority Leader  
Senate District E  
907-465-4843



120 4<sup>th</sup> Street  
Alaska State Capitol,  
Room 121  
Juneau, AK 99801

March 24, 2025

Commissioner Ryan Anderson, P.E.  
Department of Transportation and Public Facilities  
P.O. Box 11250  
Juneau, AK 99811-2500

\*Delivered Electronically\*

Re: Girdwood Airport, Leasing of Parcel H for helicopter operations

Dear Commissioner Anderson,

Thank you for your response of March 18, 2025.

I contest the assertion that appropriate FAA guidelines were followed. To place helicopter operations within a stone's throw of a residential building, in a high-density neighborhood, can hardly be considered appropriate.

I call to your attention the **Girdwood Airport Master Plan**, AKSAS Project No. 54743, prepared for your department by HDR Alaska, Inc.

The date on the document is November 9, 2005.

**Page 2-5, section 2.2.3 Zoning Inventory:** emphasizes importance for maintaining compatibility between adjacent land uses and the airport.

**Page 2-14 and 2-25, section 2.4.6 Noise:** This section characterizes the noise generated by fixed wing aircraft and helicopter operations at the Girdwood Airport.

**Rotorcraft Noise Levels:** This section discusses public health and safety mitigation considerations and potential significant cumulative adverse impacts for helicopter operations.

Important to note is the location of helicopter operations as demonstrated on the map, Figure 2.15

**Page 3-4, section 3.1.11 Helicopter Operations:** "They will typically land west of the north apron on the northern end of the taxiway."

[Sen.Cathy.Giessel@akleg.gov](mailto:Sen.Cathy.Giessel@akleg.gov)

**Page 5-6, section 5.3.1 Lease Lots:** “Leasing for helicopter operations should be located to the northeast end of the airport to minimize noise effects on the community.”

I am aware that a Lease Award Letter was sent to the lease applicant on March 10<sup>th</sup> from the DOT. The applicant company tells me that they have already spent significant time and money on Parcel H, with a survey completed for Parcel H. Architect and engineering planning is underway to have all of the required steps in place to facilitate start up construction this summer.

This seems to fly in the face of your statement that ...”no immediate development is allowed on the lease lot. Lease lot development will only be allowed following the issuance of an approved Building Permit from DOT&PF. While some surveying and land clearing may occur, the lot cannot be built upon until the Building Permit is executed by DOT&PF.”

The other helicopter operation is sited at the northern end of the runway. This aligns with the Girdwood Airport Master Plan, as authored by HDR, for DOTPF.

Commissioner, I urge you to rescind the leasing of Parcel H and rethink the appropriate location for this helicopter business at the Girdwood Airport.

Respectfully,

A handwritten signature in blue ink that reads "Cathy Giessel". The signature is fluid and cursive, with the first name "Cathy" and last name "Giessel" clearly legible.

Senator Cathy Giessel  
Senate District E

cc: Troy LaRue, C.M, Operations Manager, Statewide Aviation  
Rebecca Douglas, C.M., Planner, Statewide Aviation  
Andrew Warner, C.M., Policy, Statewide Aviation  
Residents of Girdwood  
Girdwood Board of Supervisors  
Representative Ky Holland, District 9

# Alaska State Legislature

Senator Cathy Giessel  
Senate Majority Leader  
Senate District E  
907-465-4843



120 4<sup>th</sup> Street  
Alaska State Capitol,  
Room 121  
Juneau, AK 99801

March 10, 2025

Commissioner Ryan Anderson, P.E.  
Department of Transportation and Public Facilities  
P.O. Box 11250  
Juneau, AK 99811-2500

Re: Statewide Aviation, Girdwood Airport, Parcel H development

Dear Commissioner Anderson,

Attached you will find a letter from the citizens living in the portion of Girdwood that would be impacted by the recent lease award executed.

The lease award provides for a helicopter operation within a few yards of one of the many homes in the neighborhood adjacent to the Girdwood Airport.

To call this a significant issue to the residents of Girdwood, both the neighborhood adjacent to the helicopter activity but also the entire community would be an understatement.

Photographs clearly portray the issue.

Commissioner, I ask you to look at this lease and re-evaluate its prudence. As Alaskans we are "all in this together." It simply makes no sense to have helicopters, with the noise and air turbulence, in anyone's back yard.

I appreciate your attention to this.

Respectfully,

A handwritten signature in blue ink that reads "Cathy Giessel".

Senator Cathy Giessel  
Senate District E

cc: Troy LaRue, C.M, Operations Manager, Statewide Aviation

[Sen.Cathy.Giessel@akleg.gov](mailto:Sen.Cathy.Giessel@akleg.gov)

# Alaska State Legislature

Senator Cathy Giessel  
Senate Majority Leader  
Senate District E  
907-465-4843



120 4<sup>th</sup> Street  
Alaska State Capitol,  
Room 121  
Juneau, AK 99801

Rebecca Douglas, C.M., Planner, Statewide Aviation  
Andrew Warner, C.M., Policy, Statewide Aviation  
Residents of Girdwood  
Girdwood Board of Supervisors  
Representative Ky Holland, District 9

# Alaska State Legislature

Senator Cathy Giessel  
Senate Majority Leader  
Senate District E  
907-465-4843



120 4<sup>th</sup> Street  
Alaska State Capitol,  
Room 121  
Juneau, AK 99801

March 31, 2025

Commissioner Ryan Anderson, P.E.  
Department of Transportation and Public Facilities  
P.O. Box 11250  
Juneau, AK 99811-2500

Re: Statewide Aviation, Girdwood Airport, Parcel H development

Dear Commissioner Anderson,

I am writing to formally request the public notices and associated documentation provided by the Department of Transportation & Public Facilities (DOT&PF) concerning the recent lease award for Parcel H at the Girdwood Airport.

In particular, I would like to review the materials that demonstrate compliance with the following regulatory requirements:

**17 AAC 45.150 – Opportunity to Comment:** Please provide all notices and public comments received in connection with this lease, particularly any announcements issued pursuant to 17 AAC 45.400 and any records of opportunities the public had to provide input prior to the lease being finalized.

**17 AAC 45.140 – Airport Noise Compatibility Program:** If the department has determined that helicopter operations adjacent to a residential neighborhood warranted a noise compatibility program under this statute, I request the documentation of that program, including FAA approval under 14 C.F.R. 150.23.

**17 AAC 45.145 – Airport Zoning:** Please share any zoning plans developed by the department for the Girdwood Airport and surrounding areas, including any public hearings or notifications conducted under AS 02.25.030.

[Sen.Cathy.Giessel@akleg.gov](mailto:Sen.Cathy.Giessel@akleg.gov)

# Alaska State Legislature

Senator Cathy Giessel  
Senate Majority Leader  
Senate District E  
907-465-4843



120 4<sup>th</sup> Street  
Alaska State Capitol,  
Room 121  
Juneau, AK 99801

In light of the concerns raised by community members and the recommendations outlined in the 2005 Girdwood Airport Master Plan regarding the appropriate siting of helicopter operations, gaining clarity on how these statutes were applied in this instance would help the Girdwood community better understand the process that was followed.

I would appreciate a timely response with the requested records or guidance on how and where I may obtain the public notices. I would also appreciate seeing the comments that were received as a result of the public notices.

Thank you for your attention to this matter.

Respectfully,

A handwritten signature in blue ink that reads "Cathy Giessel".

Senator Cathy Giessel  
Senate District E

cc: Troy LaRue, C.M, Operations Manager, Statewide Aviation  
Rebecca Douglas, C.M., Planner, Statewide Aviation  
Andrew Warner, C.M., Policy, Statewide Aviation  
Residents of Girdwood  
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