

AWWU

Girdwood Projects

Update

Mark A. Schimscheimer, P.E.
Engineering Director



April 21, 2025

Overview

- Girdwood Well Water Supply
- Girdwood Sewer Infiltration and Inflow (I&I) Mitigation
- Donner Water Main Intertie

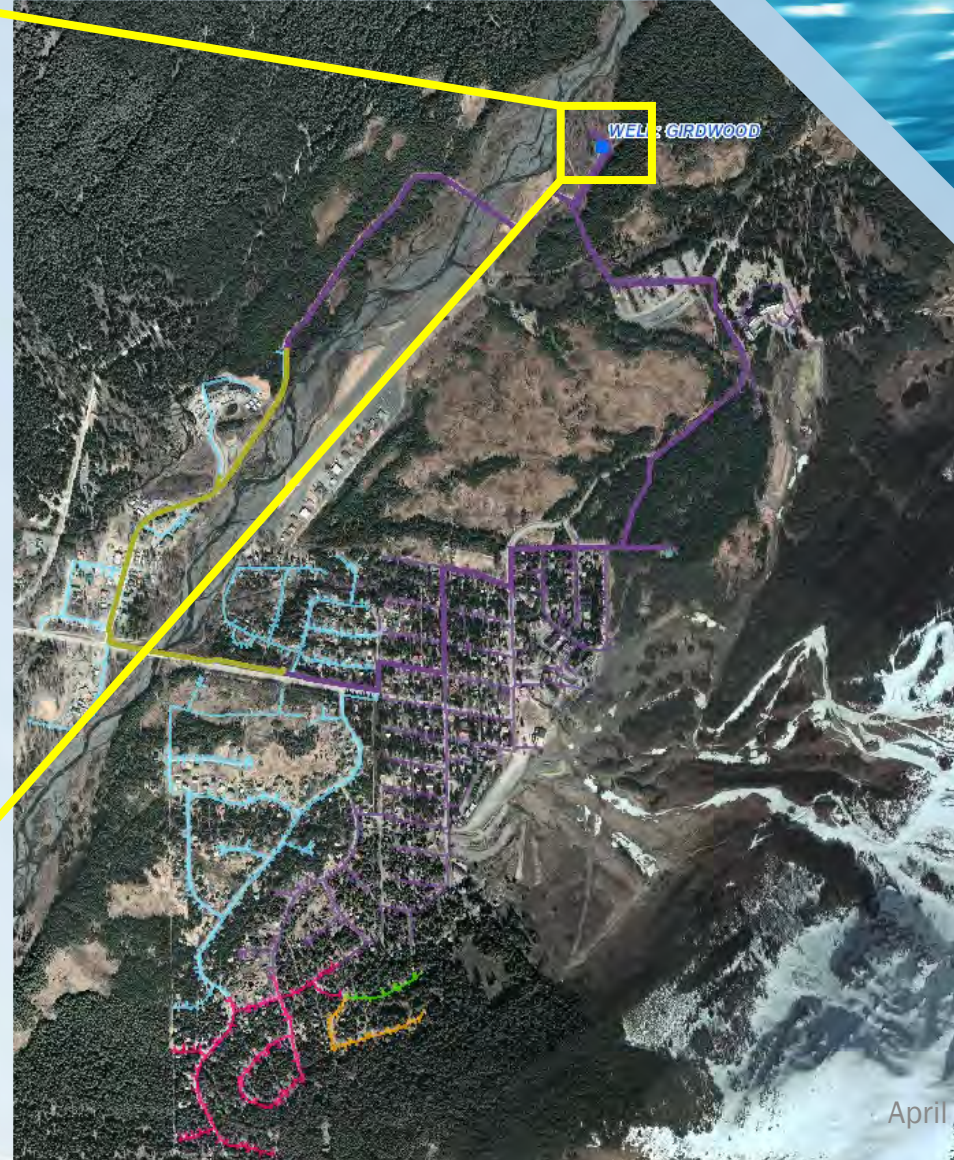
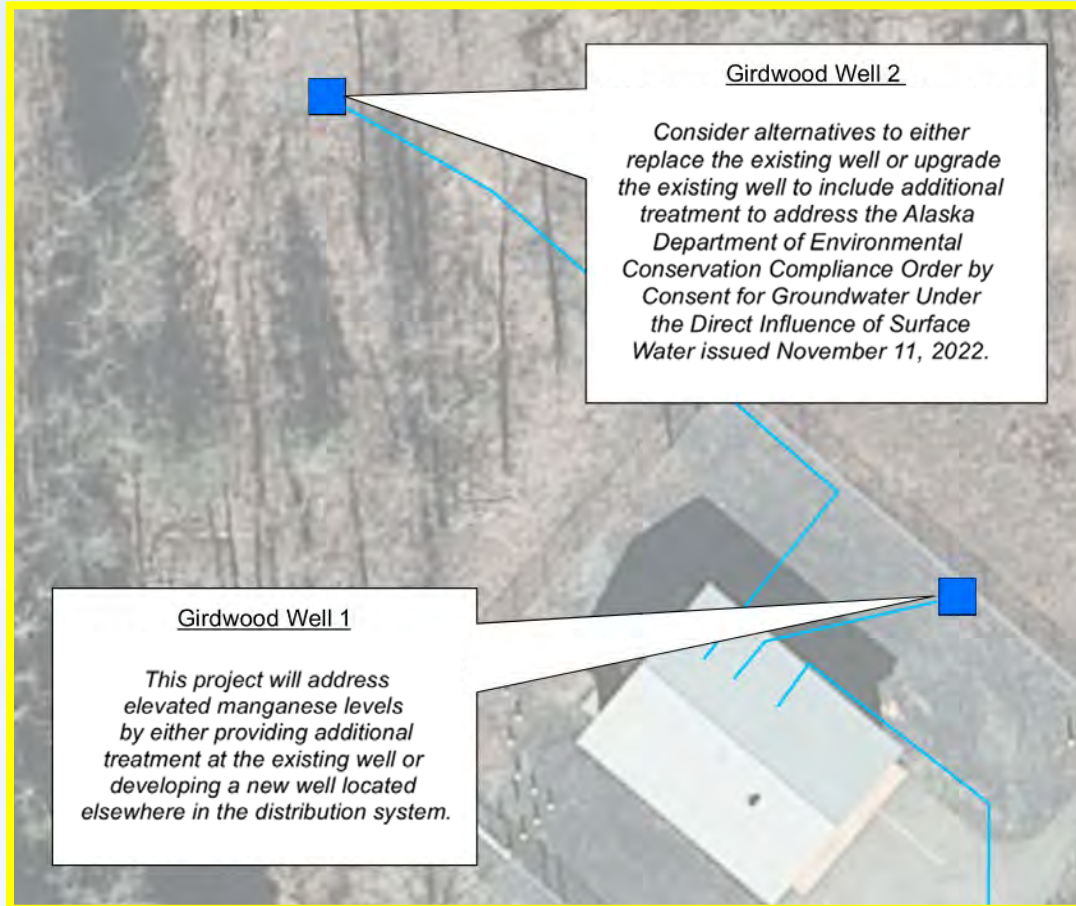


Girdwood Water Supply Today

- Girdwood is supplied from Wells “1 & 2”
- Water quality and quantity to satisfy regulation and future demand
- Potential benefits include reduced O&M expenses and increased emergency resilience



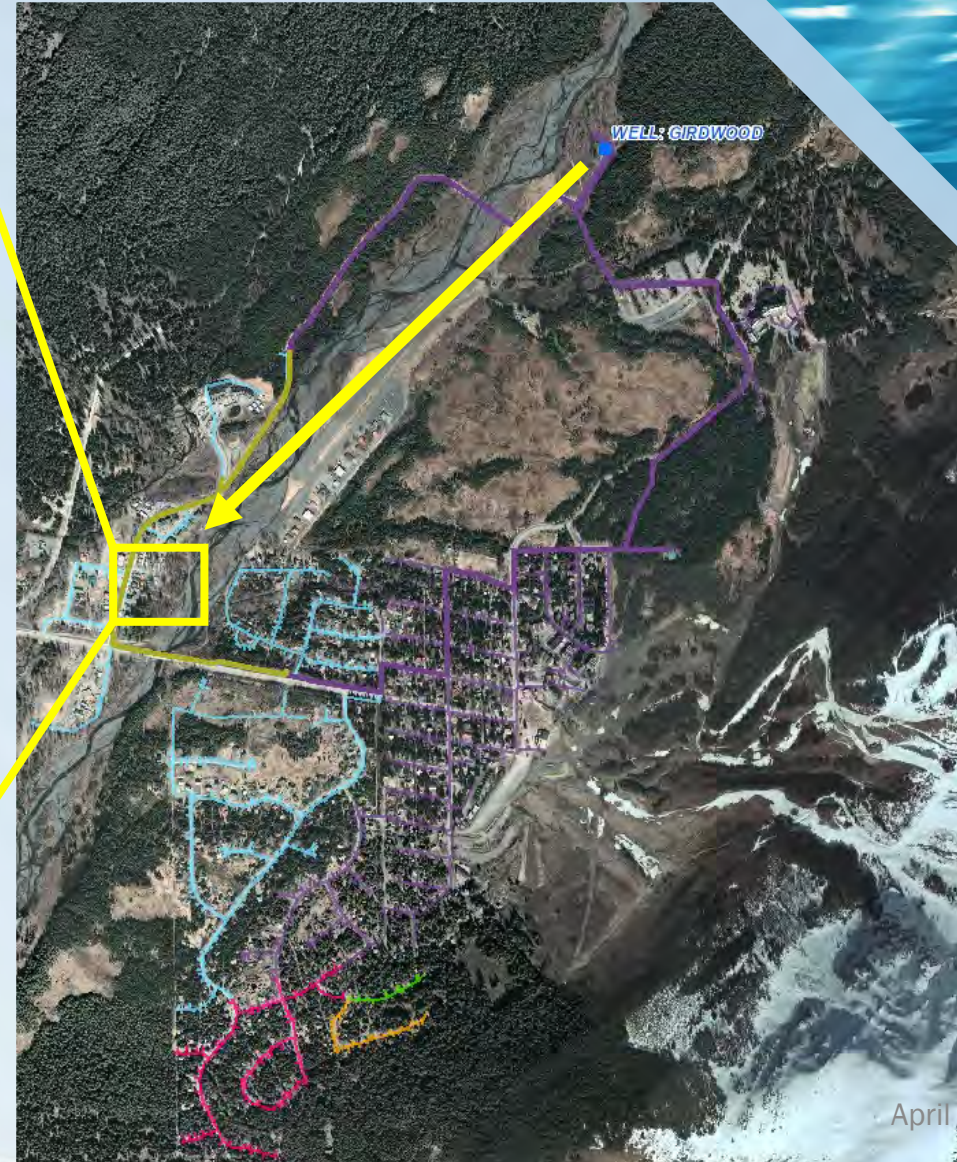
Girdwood Wells 1 and 2



April 21, 2025



New Townsite Well



April 21, 2025



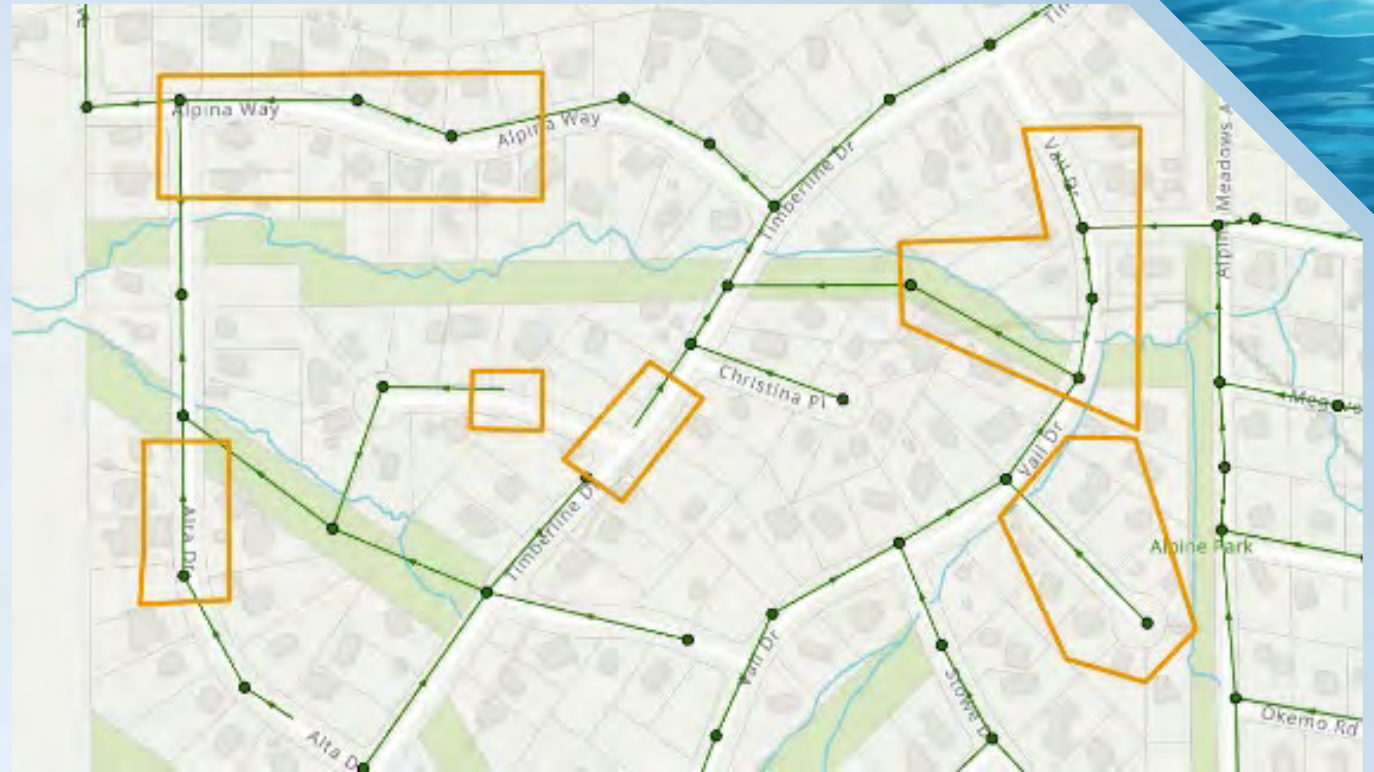
Funding Sources

- Well 1: \$5 Million (SRF EC Forgivable Loan)
- Well 2: \$1.5 Million (SRF CO Forgivable Loan)
- New Townsite: \$3 Million (Pending CDS Approval)
- Total “Grant” Funding: \$9.5 Million
- Project Cost Estimate (ROM): \$15 to 20 Million



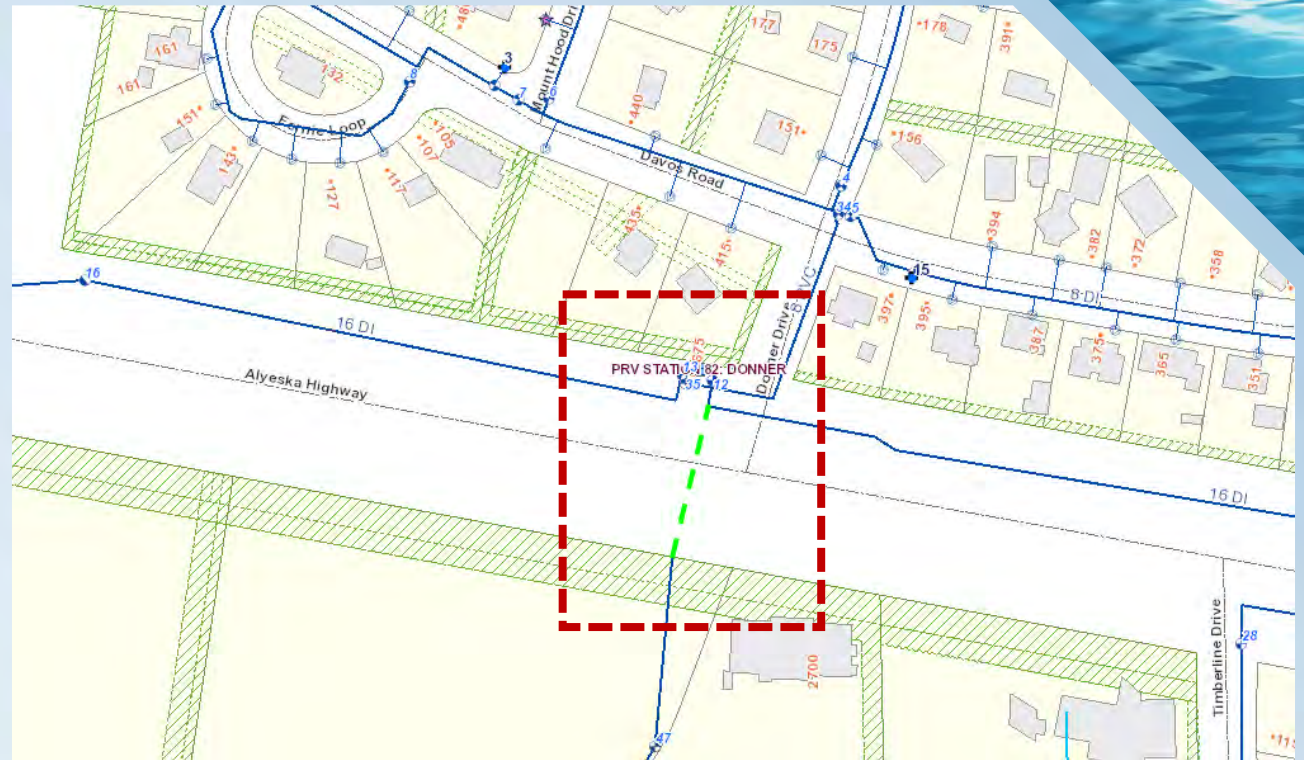
Girdwood I&I Mitigation

- Mitigate groundwater Infiltration and Inflow into the Sewer System
- Multiple Phases targeting specific areas



Donner Water Main Intertie

- Increases flow resiliency into area south of Alyeska Highway
- Done in coordination with a Private Development



April 21, 2025



Mark A. Schimscheimer, P.E.

Engineering Director

Mark.Schimscheimer@awwu.biz

907.917.6547



April 21, 2025

1. A legal opinion sought by the previous Planning Director during Summer 2024, on whether GBOS can initiate a Title 21 text amendment.

By email, dated August 26, 2024, former director Craig Lyon communicated our legal opinion. Our office didn't provide any further analysis at that time but here is some further analysis.

Question: Does code allow GBOS to initiate Title 21 text amendments?

Answer: No. Anchorage Municipal Code ("AMC") 21.03.210B.1 states: "A petition for amendment to the text of this title may be initiated by any review or decision-making body." GBOS is not established anywhere in Title 21 as a "review or decision-making body." There are no Title 21 processes which require review or decision-making by GBOS. This can be contrasted with the Chugiak-Eagle River Advisory Board (CERAB) which is specifically established in Title 21, Chapter 10 to "review and make recommendations on actions addressed in Section 21.02.020 [Table of decision and review authority] which affect Chugiak-Eagle River." Title 21, Chapter 9 (Girdwood) does not contain similar language. Instead, AMC 21.09.030A states: "...all development in Girdwood shall be subject to and reviewed pursuant to the generally applicable administrative and review procedures set forth in Chapters 21.02, Boards, Commissions, and Municipality Administration, and 21.03, Review and Approval Procedures."

Because of GBOS' role as "ex-officio" community council for the Girdwood community, Title 21, Table 21.03-1 does require notice of Title 21 Text Amendments but that is different than review or decision-making authority.

I want to emphasize that this is just a straight-forward code interpretation. It could be that, *operationally*, GBOS' involvement in general Title 21 issues affecting Girdwood looks very different. This section of code is clear, however, that GBOS is not currently authorized to initiate Title 21 Text Amendments.

2. An opinion sought by Real Estate / HLB in 2024 whether the Service Area can hold management responsibility for land not dedicated to the parks or roads services.

Question: Can the Municipality transfer municipal property to the Girdwood Valley Service Area either through a transfer of management authority or disposal?

Answer: No, service areas have no authority under municipal code to acquire or manage real property of the municipality. Service areas are organized to collect taxes and provide special services within that taxing district. Acquisition of real property is not a special service; it is an administrative activity of the Municipality under the exclusive authority of the Municipality's Real Estate Department pursuant to AMC 25.10.030. Anchorage Municipal Code 25.10.050 additionally limits

management authority of municipal property to municipal agencies or utilities. For purposes of AMC Title 25, “agency” means “any department, office, or subdivision of the municipality” which does not include service areas or service area boards.

While GVSA has no authority to directly acquire or manage municipal property, there may be suitable alternatives such as designating management authority of municipal land to Parks & Recreation, who could then coordinate management with the Service Area Board or third-party contractor.

3. An opinion sought by the Ombudsman in 2023 on whether GBOS committees and subcommittees are subject to the Open Meetings Act.

We don’t have a record of a request from the Ombudsman, but we do have a request from Kyle Kelley related to GBOS’ members attendance at Alyeska presentations and whether that could pose Open Meetings Act issues. Our office (Jessica Willoughby) responded to Kyle in October 2023 with the following:

The issue: All members of the GBOS have received an invitation from Alyeska Resort to attend a private presentation about their future development plans as part of the new master plan the resort is developing. They’ve asked GBOS to attend the presentation individually so they could give input on the development ideas to help the resort gauge public opinion. Some on GBOS feel that only two members of GBOS should attend the meeting after a vote to determine who those representatives are. Others on GBOS feel that it is okay for all the members to attend the private presentation individually just if they don’t form a quorum.

The request from GBOS: Is GBOS violating OMA if they all attend similar presentations individually or not forming a quorum of three?

Pursuant to AMC 2.40.035B., the Municipality recognizes the Girdwood Board of Supervisors (GBOS) as both a board and as the community council, ex-officio, for the Girdwood Community Association/Land Use Committee area as depicted in Map 10, AMC 2.40.090. There are five members. Under AS 44.62.310-312 (and their own Rules & Procedures), GBOS is subject to the Open Meetings Act and all GBOS meetings are open to the public except for Executive Sessions. Per Rules & Procedures, all events and gatherings where more than two members are reasonably expected to be in attendance shall be publicly noticed.

Answer: I think GBOS is fine either way – either having two members attend (and thereby not subject to OMA per GBOS Rules & Procedures) and/or members individually attending (and thereby not subject to OMA). My preference is that they attend individually. There is some argument that GBOS is an advisory only body so that under AS 44.62.310(h)(2), the “more than three members” doesn’t apply so that even two could constitute a meeting. But as their Rules & Procedures reflect the “more than three” number, perhaps I am missing that GBOS has authority to establish policies or make decisions for a public entity.

On pressing development concerns in Girdwood

1. An opinion sought by the prior Planning Director (late 2023/early 2024?) on whether Title 21 Land Use code applies to state owned airports within the MOA, specifically Girdwood Airport.

Our office has not conducted this analysis in relation to the Girdwood Airport. We have opined more generally about the application of Title 21 at Ted Stevens. Our conclusion was, in general, Title 21 planning and zoning regulations apply at Ted Stevens, but the Municipality is prohibited from controlling the use of any parcels that are used for the movement of aircraft (runways, taxiways, etc.).

2. An opinion sought by the Planning Department in later 2024 on whether Short Term Rental use falls under the "Household Living" requirement for Residential use in Title 21.

Incomplete, but more information is forthcoming.

Status of Proposed Development Projects in Girdwood

Updated 4/18/2025

Description	Location	Developer	Status	Link	Public Comments or Hearing	MOA Process
Holtan Hills	North of Girdwood School	CY Investments	Land transferred and platted. Awaiting community meeting and PUD application.		Not yet scheduled	Expecting Conditional Use / Planned Unit Development application in spring 2025
Alyeska Village phases 1-3	Alyeska Resort	Pomeroy	Approved Area Master Plan and Phase 1 Development Master Plan. Army Corps permit POA-2023-00473		None	DMP for phases 2 & 3 will require PZC public hearing
Glacier Creek Village phase 4	North of Girdwood Airport	Pomeroy	Part of approved Alyeska Resort Area Master Plan. On land currently owned by HLB/MOA		Conditions on land transfer may be added to HLB work plan. Public hearing at May 20 Assembly	Any future disposal will have public hearings at HLB Advisory Committee and must be approved by Assembly after additional public hearing
Remote Avalance Mitigation storage & heliport	Old Gravel Pit @ Seward MP89	AK DOT	Application delayed until adoption of Girdwood Comprehensive Plan.		Future public hearings at Planning & (likely) Assembly	Expecting re-zoning application in Early 2025
Alpenglow Mixed-Use	204 Hightower Rd	Girdwood Building Company, LLC	Planning application 2025-0038 PZC public hearing scheduled		PZC public hearing on May 5	Application for Development Master Plan
Hotel & Retail Store	Off Alyeska Hwy behind Brewery	Glacier View LLC (Tim Cabana)	GBOS considering making a request for a code change to allow retail uses in gC-10.		Future Public Hearings at PZC and Assembly	Requires a change in Title 21 Chapter 09 Use Table to allow retail. Will need Planning and Zoning Commission review plus Assembly action
Cabin condo development	Off Alyeska Hwy east of bridge	Spinell Homes	Planning case 2025-0035 Administrative review held on April 18 - result TBC		None	Depends on outcome of administrative review
ENSTAR gasline	Between wastewater plant and Virgin Creek Drive	ENSTAR	DNR issued permit for Section Line Easement. Permit on appeal.		None	No MOA involvement
Lodge and associated facilities	Girdwood Airport - north	Glacier Valley Lodge LLC	Land lease only approved by AK DOT in April 2024. Construction will require separate DOT Airport Building Permit.		Requires DOT permit (no hearing) & MOA permit*/hearings before improvements	*State and MOA have contradictory legal opinions of need for MOA permits
Potential helicopter operation	Girdwood Airport - south	Silverton Mountain Guides	Lease awarded for Parcel H.		Requires DOT permit (no hearing) & MOA permit*/hearings before improvements	See note above
New water system wellhouse	Immediately north of Glacier Creek Bridge	AWWU	Initial design		Future hearings at HLB Advisory Commission and Assembly	Any future disposal will have public hearings at HLB Advisory Committee and must be approved by Assembly after additional public hearing
Alyeska-Seward Highway Intersection	Alyeska-Seward Hwy junction	AK DOT	Initial concept design. CSS approved by MOA. On hold awaiting future funding (STIP anticipates 2029 or later)		Future hearings including HLB land disposal and others	Using Context Sensitive Solution (CSS) process

Girdwood Only - Whittier Public Safety Statistics												
2025												
	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec
Traffic/DUI/Parking	16	49	40									
Security Checks	203	204	205									
Suspicious Activities	2	1	2									
Property Crimes (Theft / Vandalism)	7	5	4									
Assault / Disorderly Conduct	9	4	5									
Drug Problems (Sales/Possession)												
Civil Problems / Citizen Assists	8	6	4									
Welfare Checks / Alarm Calls	10	6	2									
Animal Control / Wildlife Calls		2										
Agency Assist	8	1	10									
Other	12	5	3									
Monthly Sub Total:	275	283	275	0	0	0	0	0	0	0	0	0
Running Annual Total	275	558	833									
*Unclassified Calls are those that were either created in error or did not fall into standard statistical categories.								Unclassified CFS				
								Grand Total				
Citations Issued	N/A	24	15									

Whittier Only - Whittier Public Safety Statistics												
2025												
	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec
Traffic/DUI/Parking	4	3	4									
Security Checks	33	86	65									
Suspicious Activities	3	2	2									
Property Crimes (Theft / Vandalism)	1	3	1									
Assault / Disorderly Conduct	5	5	5									
Drug Problems (Sales/Possession)												
Civil Problems / Citizen Assists	4	9	12									
Welfare Checks / Alarm Calls	7	5	2									
Animal Control / Wildlife Calls		1										
Fire / EMS	5	11	12									
Other	3	10	13									
Monthly Sub Total:	65	135	116	0	0	0	0	0	0	0	0	0
Running Annual Total	65	200	316									
*Unclassified Calls are those that were either created in error or did not fall into standard statistical categories.								Unclassified CFS				
								Grand Total				
Citations Issued	N/A	5	0									
								Citations Total				

**MUNICIPALITY OF ANCHORAGE
GIRDWOOD ROADS, FACILITIES,
PARKS & RECREATION**



7DATE: April 21, 2025
TO: Girdwood Board of Supervisors
FROM: Kyle Kelley, Girdwood Service Area Manager & Margaret Tyler, Parks and Recreation
SUBJECT: Roads, Facility, Cemetery & P & R Monthly Report

April showers bring...snow. And flowers. And snow. You pick, it's all happened. Biggest dump of the year the first week of April was a surprise, especially if you had taken off your winter tires.

Girdwood Parks Master Planning is kicking off with Huddle AK. Project website www.girdwoodparksplan.com will be launched soon.

Mutt Mitts, trash and park sweep are handled by our summer staff! Caretakers Luke and John are back! If you see anything that needs attention, please contact Kyle kellykt@muni.org or Margaret tylerms@muni.org.



GPR is recruiting for a campground host to be in the park mid-May thru mid-September. soon for the summer season. Window Washing completely April 19. Summer turf maintenance contract is set and begins in May.

GVSA parks/rec projects slated for 2025 are:

- Bridge replacement over California Creek adjacent to Town Square park/Crow Creek Road funded by private donation.
- Tread work on Virgin Creek Falls Trail funded by private donation assisting with YEP crew.
- Trail work and trailhead signage on the Lower Virgin Creek Trail (a social trail that connects Virgin Creek Road to Danich Trail).
- Suspension bridge to replace the Hand Tram funded by a variety of sources.
- Tread and drainage work on the Middle Iditarod National Historic Trail between the school and USFS Boundary co-funded by GVSA and RTP Grant
- Construction of a pavilion in Lions Club Park, cofounded by GVSA, Lions Club, private donations and LWCF grant.
- Study storm damage to the Beaver Pond Trail.

Trails: Trails Committee is working on updating the winter map and Girdwood Trails Management Plan.

Parks & Amenities:

- *Campground:* Tent campground Closed.
- *Annual Beautification:* Cleanup complete.
- *Playground:* Open.
- *Lions Club Park:* Working on pavilion, see Grants, below
- *Disc golf:* Open.
- *Library/Community Center:* Library is open TUE-SAT 10-6
- *Tennis Courts:* Wind screens and nets are down for winter.
- *Soccer field:* Closed
- *Sladen J Mohl Ball Field:* Closed
- *Skate Park:* Closed

Reminder: No dogs on the baseball field, playground, tennis courts, and skate park.

Parks Master Planning: Master planning for Girdwood Park parcels will kick off this week. Later, more details on the project's timeline will be available.

GBOS Non-profit Grants: The 2024 grants have been completed. The 2025 grants are all with MOA for processing and payment.

Other Grants:

Land and Water Conservation Fund (LWCF) Grant –GVSA attended info session on LWCF in preparation to work on the grant for the Lions Club Park Pavilion. Match is 1:1. LWCF grant request is \$103,737.00 for a project costing \$207,474.00. This project has been accepted by the National Park Service and may begin in the next construction season, grant must be wrapped up by 2027.

Recreational Trails Program Grant (RTP): GVSA/GTC opted not to apply for 2025 RTP grant due to a number of factors, including the anticipated steel package unlikely to meet Federal Buy American Steel waiver. In 2024 GTC/GVSA was awarded RTP funding for the Middle Iditarod National Historic Trail, match is 90:10 with match coming from GTC and MOA funds. RTP grant request is \$179,745.00, match is \$19,970.00 for a project costing \$199,715.00. This project was delayed in contracting in 2024. SOA is now completing the contracting phase, project will begin in spring 2025.

Rasmuson Foundation: GVSA received \$250,000 Tier 2 Grant to assist with construction of the suspension bridge to replace the decommissioned hand tram.

National Forest Foundation: GVSA has completed application through the National Forest Foundation of approximately \$220,000 for the bridge to replace the hand tram.

Alaska Community Foundation: Girdwood Parks and Rec applied for Trail Care grant and was awarded \$1000 for trail backpack and chainsaw for trail work. Grant will be closed upon purchase and reimbursement and a final report will be completed.

Social Media & Websites: GBOS, committee and sub-committee meetings are now available on a calendar view. Go to www.muni.org/gbos/events and see what meetings are coming up! GBOS videos are on line! Follow the link on our website to our YouTube videos or copy this: <https://www.youtube.com/channel/UCOUINInprZEjhbvpViJOIEA>

We are active on Facebook as Girdwood Board of Supervisors. GVSA Websites are:

GBOS: www.muni.org/gbos

Cemetery: www.muni.org/gc

LUC: www.muni.org/gluc

Parks and Rec: www.muni.org/gpr

GTC: www.muni.org/gtc

Girdwood Trails Plan: www.muni.org/gtp

PSAC: www.muni.org/gpsac

GHEC:

www.muni.org/gbos-ghec

Links and info:

Sen. Cathy Giessel's weekly newsletter: [Signup Form \(constantcontactpages.com\)](http://SignupForm.constantcontactpages.com)

Information on the ASD activities is available here: [Anchorage School District / Anchorage School District Homepage \(asdk12.org\)](http://AnchorageSchoolDistrict.org)

Anchorage Assembly: [Assembly Home](http://AssemblyHome)

Heritage Land Bank information: www.Muni.org/HLB

Roads

Road Status: After getting a good dose of snow last week, followed by over 3.5" of rain over the past week, we've returned to more typical spring conditions. Grading of roads and patching of asphalt potholes is being completed. Next up is sweeping of paved streets, parking lots, and pathways. Once conditions allow, we'll move to spring grading and apply calcium for dust control as the dryer season begins. The first project area this spring/summer will be in Old Gridwood, where several drainage projects will be dealt with.

Major project updates:

Ruane road fish passage culvert replacement. We've located the funding for this project along with AWWU funding for Girdwood improvements being managed by the EPA. We have applied with the EPA to request the funds and coordinate that effort with AWWU. EPA has finished the NEPA review and EPA Grant Specialist still needs to complete their review before funding can be released to GVSA. The funding designated for the project is \$1.6 million, and it will require a 20% match.

Davos Road Fish culvert @ Alyeska Creek: The new fish culvert at Davos Road and Alyeska Creek has completed construction bidding, and Caliber Construction out of Anchorage won. Caliber has been given early approval to remove trees in the construction zone to comply with the bird nesting restriction that begins in May. They will return in May when conditions allow the culvert replacement and lowering of the waterline to start.

Summer Maintenance Projects with Western Construction: Starting late in April, Girdwood streets will move to summer maintenance, with winter cleanup of all paved streets and grading/compacting all gravel roads and moving into summer projects with Asphalt and gravel road improvements, drainage improvements, and brushing.

Expenses and Budget:**Girdwood Valley Service Area 2025 Mill Rate:** 5.61 of 6 mills**Roads:** Road Expenditures by Month:

<u>Month</u>	<u>2023</u>	<u>2024</u>	<u>2025</u>
January	\$62,791.19	\$51,162.50	\$29,666.25
February	\$32,793.17	\$50,612.50	\$34,533.25
March	\$45,857.72	\$96,425.00	
April	\$31,161.25	\$60,296.50	
May	\$34,288.75	\$33,003.75	
June	\$20,791.25	\$35,861.50	
July	\$173,075.00	\$7,143.75	
August	\$146,100.00	\$51,086.42	
September	\$22,991.00	\$9,553.75	
October	\$10,090.50	\$20,370.00	
November	\$55,686.25	\$16,982.50	
<u>December</u>	<u>\$66,042.50</u>	<u>\$22,993.75</u>	
Total thru December:	\$701,668.85	\$455,492.25	\$64,199.50

Public works operation 2025 budget expended: \$193,356.62 of \$1,547,321.00 =12%

2025 Capital Roads Project fund available (406): \$1073.56

2025 Davos Fish Culvert Project: \$894,164.16

Parks:

2025 Expended Budget: \$17,101.57 of \$543,424.00 =03%

2025 Capital Park Project (406) Reserve Fund available: \$840,830.82

2025 Winner Creek Trail Suspension Bridge funds = \$357,068.70

2025 Winner Creek Trail Suspension State Grant Funds = \$1,200,000.00

2025 Community Room Capital Reserve Fund (406): \$47,896.12

Police:

2025 Expended Budget: \$72,706.48 of \$817,409.00 = 10%

Fire:

2025 Expended Budget: \$322,582.13 of \$1,938,423.00 = 17%

2025 Fire Undesignated Capital fund (406) = \$223,317.20

Housing and Economic Fund:

2025 Expended Budget: \$0.00 of \$117,600.00 = 0%

Other:

Meetings to schedule:

GBOS 1&3 year plans (WS April)

GBOS Rules and Procedures (WS)

GBOS 2024 end-of-year budget review. (April)

GBOS Organizational meeting (After election results are certified April/May)

GBOS 2026 budget work sessions (x2 or 3) (July/Aug)

Budget complete for vote at Sept 15 GBOS meeting

To: Mayor Suzanne LaFrance
Municipal Manager Becky Windt Pearson

CC

Municipal Attorney Eva Gardner
Development Services Director Gregory Soule
Planning Director Mélisa Babb
Assembly Member Randy Sulte
Assembly Member Zac Johnson
Senator Cathy Giessel
Representative Ky Holland

Dear Mayor LaFrance and Municipal Manager Windt-Pearson,

The Girdwood Board of Supervisors (GBOS) would like to notify you about a long-simmering issue in our community which now appears poised to potentially require imminent Municipal action.

GBOS has a growing concern about certain development activity on the state-owned Girdwood Airport property. It has been the state's practice to ignore the requirements of Anchorage Land Use code at this location and encourage their tenants to do the same, based on a particular reading of state statutes. We anticipated this to become a critical problem when a proposed hotel project at the airport moved forward, since hotels are not an allowed use in the Girdwood Airport zone under Anchorage Municipal Code.

However, a lease was recently issued by the State of Alaska Department of Transportation Aviation Leasing office for helicopter operations on Parcel H at Girdwood Airport. This came as a surprise.

Parcel H is located at the southern end of the Girdwood Airport property, is outside of the airport boundary fence, and has not been considered a developable parcel in the current or any prior Girdwood Airport Master Plans. Unsurprisingly, Parcel H has never been offered for lease before, but an initial lease application, a series of denials, appeals, and an administrative law judge opinion (OAH No. 22-0478-APT) eventually led to the DOT Commissioner approving the offering of a competitive lease opportunity. The original applicant was not successful, but a lease was awarded last month to a Colorado-based heli-skiing business. The new lessee has already conducted a land survey and marked the boundary of the parcel.

Critically, Parcel H is immediately adjacent to several residential dwellings on Lake Tahoe Road which were built in 1981-1983. In the intervening 40+ years, Parcel H has been operating as a wooded noise and visual buffer between the residential neighborhood and airport operations. Partly because of this buffer, there have been few conflicts even though aviation and residential uses occur daily in such close proximity. The residences are merely a few feet from Parcel H, presumably due to a combination of laxer surveys in the 1970's and no effective land use code in Girdwood at the time. Maps and photographs in the enclosures show the extreme proximity of residential housing to this Parcel.

It is abundantly clear that daily helicopter operation within a few feet of residential homes is contrary to the public health, safety and welfare of our community's residents.

GBOS is respectfully requesting the following actions from the Municipality:

- A clear assertion from the Municipal administration that Anchorage Municipal Code applies to development activity on Girdwood Airport, including but not limited to: noise ordinances, stream setbacks and other relevant sections of Title 21 land use code including zoning code.
- A courtesy notification to the new lessee that a Land Use Permit is required before any of the triggering actions under AMC 21.03.100 are performed.
- Notice to the relevant state office that the Municipal administration intends to enforce Anchorage Municipal Code, including Land Use Code at Girdwood Airport, specifically for previously unanticipated development of Parcel H.

Sincerely,

Briana Sullivan
Co-Chair, GBOS

Mike Edgington
Co-Chair, GBOS

Jennifer Wingard
Land Use Supervisor, GBOS

Enclosures: 3-10-25 Letter from Senator Giessel to Commissioner Anderson
3-10-25 Residents' letter to Senator Giessel

Alaska State Legislature

Senator Cathy Giessel
Senate Majority Leader
Senate District E
907-465-4843



120 4th Street
Alaska State Capitol,
Room 121
Juneau, AK 99801

March 31, 2025

Commissioner Ryan Anderson, P.E.
Department of Transportation and Public Facilities
P.O. Box 11250
Juneau, AK 99811-2500

Re: Statewide Aviation, Girdwood Airport, Parcel H development

Dear Commissioner Anderson,

I am writing to formally request the public notices and associated documentation provided by the Department of Transportation & Public Facilities (DOT&PF) concerning the recent lease award for Parcel H at the Girdwood Airport.

In particular, I would like to review the materials that demonstrate compliance with the following regulatory requirements:

17 AAC 45.150 – Opportunity to Comment: Please provide all notices and public comments received in connection with this lease, particularly any announcements issued pursuant to 17 AAC 45.400 and any records of opportunities the public had to provide input prior to the lease being finalized.

17 AAC 45.140 – Airport Noise Compatibility Program: If the department has determined that helicopter operations adjacent to a residential neighborhood warranted a noise compatibility program under this statute, I request the documentation of that program, including FAA approval under 14 C.F.R. 150.23.

17 AAC 45.145 – Airport Zoning: Please share any zoning plans developed by the department for the Girdwood Airport and surrounding areas, including any public hearings or notifications conducted under AS 02.25.030.

Sen.Cathy.Giessel@akleg.gov

Alaska State Legislature

Senator Cathy Giessel
Senate Majority Leader
Senate District E
907-465-4843



120 4th Street
Alaska State Capitol,
Room 121
Juneau, AK 99801

In light of the concerns raised by community members and the recommendations outlined in the 2005 Girdwood Airport Master Plan regarding the appropriate siting of helicopter operations, gaining clarity on how these statutes were applied in this instance would help the Girdwood community better understand the process that was followed.

I would appreciate a timely response with the requested records or guidance on how and where I may obtain the public notices. I would also appreciate seeing the comments that were received as a result of the public notices.

Thank you for your attention to this matter.

Respectfully,

A handwritten signature in blue ink that reads "Cathy Giessel".

Senator Cathy Giessel
Senate District E

cc: Troy LaRue, C.M, Operations Manager, Statewide Aviation
Rebecca Douglas, C.M., Planner, Statewide Aviation
Andrew Warner, C.M., Policy, Statewide Aviation
Residents of Girdwood
Girdwood Board of Supervisors
Representative Ky Holland, District 9

Municipality of Anchorage



P.O. Box 390
Girdwood, Alaska 99587
<http://www.muni.org/gbos>

Suzanne LaFrance, Mayor

GIRDWOOD VALLEY SERVICE AREA BOARD OF SUPERVISORS

*Briana Sullivan & Mike Edgington, Co-Chairs
Jennifer Wingard, Brian Burnett, Kellie Okonek*

April 28, 2025 MOA GBOS Quarterly Meeting Agenda Draft

4:00 p.m. via Microsoft Teams & Girdwood Community Room

This meeting is being held via teams with in-person attendance at the Girdwood Community Room, 250 Egloff Rd.

Join the meeting now Meeting ID: 229 458 017 670 Passcode: HZ3gs9U2

Dial in by phone +1 907-519-0237, 851681771# Phone conference ID: 851 681 771#

The Girdwood Board of Supervisors, its committees, and subcommittees are subject to the Alaska Open Meetings Act as found in Alaska Statute 44.62.310 and Anchorage Municipal Code 1.25 - Public Meetings.

The Girdwood Board of Supervisors operates under the Girdwood Public Meetings Standards of Conduct.

Call to Order 4:00 p.m. Mike Edgington or Briana Sullivan, GBOS Co-Chair

Land Acknowledgement: The Girdwood Board of Supervisors acknowledges the indigenous peoples of Alaska, whose land we reside on. The community of Girdwood, situated between the areas known to be Dena'ina and Alutiiq homeland, respects the people who were stewards of this land for generations. We commit to the continued stewardship of this land and are grateful to be part of a wider community that seeks to maintain a sustainable use of Girdwood Valley for present and future peoples.

Roll Call & Disclosures

Agenda Revisions and Approval

April 28 MOA GBOS Quarterly Meeting Agenda approval

Attendees or designees requested: Becky Windt Pearson, Municipal Manager; Bill Falsey, Chief Administrative Officer; Eva Gardner, Municipal Attorney; Tiffany Briggs, Real Estate Director; Melisa Babb, Planning Director; Emma Giboney, Land Management Officer

Agenda

Welcome and Introductions

1. Role of GBOS/GVSA within the MOA

Review of Legal Opinions

What changes would administration allow GBOS to make to improve these situations?

2. DOT Airport land and Municipal zoning and planning requirements
3. Girdwood-specific Short Term Rental Registration and Regulation framework (10.24)
4. Alcohol tax

Update on any Q1 revisions? How much funding goes to Girdwood Services?

5. Marijuana tax
Percentage going to Girdwood?

6. Nothing hlb? GIP?

7. Funding source for capital
Access to intra-fund loans - Is it possible to use these?
8. Tsunami Signs for Girdwood

Public Comment: Persons offering public comment must state their full name and address. Public Comment is limited to three (3) minutes per person and must be on subjects not listed on the agenda.

Adjourn

GBOS Meeting Agendas and minutes are available on line: <http://www.muni.org/gbos>

Municipality of Anchorage



*P.O. Box 390
Girdwood, Alaska 99587
<http://www.muni.org/gbos>*

Suzanne LaFrance, Mayor

GIRDWOOD VALLEY SERVICE AREA BOARD OF SUPERVISORS

*Briana Sullivan & Mike Edgington, Co-Chairs
Jennifer Wingard, Brian Burnett, Kellie Okonek*

LETTER OF NON-OBJECTION

Shanna Gamble, Acting Director, Anchorage Parks and Recreation

April 21, 2025

RE: 2025 Girdwood Forest Fair Permitting

The Girdwood Board of Supervisors (GBOS), by a vote of x in favor and x opposed at the April 21 GBOS Regular Meeting, has no objection to the Girdwood Forest Fair General Permitting and site plan as presented for 2025, contingent upon completion of all required permitting. This letter will be held until full permitting is complete.

In addition, the GBOS approves fee waiver for use of the Girdwood Park over the dates of the Forest Fair.

Brian Burnett
GBOS Parks and Rec Supervisor

Witness

Municipality of Anchorage



P.O Box 390
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Suzanne LaFrance, Mayor

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April 22, 2025

**GIRDWOOD BOARD OF SUPERVISORS
LETTER OF NON-OBJECTION
Planning and Zoning Commission Case# 2025-0038**

The Girdwood Board of Supervisors submits this Letter of Non-Objection regarding the Development Master Plan for Alpenglw Residences phases 1 and 2 in the gC-9 zoning district, Case No. 2025-0038.

This Letter of Non-Objection was recommended by the Girdwood Land Use Committee at their April 14 2025 regular meeting.

This action passed and approved by a vote of X in favor and x opposed at the GBOS Regular Meeting on April 21, 2025.

Jennifer Wingard
GBOS Land Use Supervisor

February 24, 2025

Mélisa R.K. Babb, Planning Director
Planning Department
Municipality of Anchorage
P.O. Box 196650
Anchorage, Alaska 99519-6650

SUBJECT: Alpenglow Residences
 Development Master Plan

CASE NO: 2025-0038
P2C: 05/05/2025

Dear Ms. Babb:

Z Architects is submitting a development master plan review application package, per AMC 21.09.030.F, for Alpenglow Residences to be located in New Girdwood Townsite Blk 3, Lt 2, 204 Hightower Rd (*property identification numbers: Parcel: 07507130000*) located within Girdwood Elementary School Subdivision in Girdwood, Alaska.

Property owner and applicant is Girdwood Building Company, LLC., 12201 Industry Way #4, Anchorage, AK, 99587. Phone: (907) 783-1090 zachary.a.miller1@gmail.com

Schematic design drawings including site and grading plan, floor plans, building elevations, renderings, and a landscape plan have been provided as part of this Development Plan. However, the plans may change slightly as the designs are further developed. The drawings will be finalized and submitted for a Land Use permit for summer 2025 construction.

It is our hope that the project will be placed on the May 5, 2025 Planning and Zoning Commission agenda.

If you have any questions or require additional information, please contact me at 907-783-1090 or marco@zarch-ak.com. Thank you.

Sincerely,
Z Architects, LLC

Marco Zaccaro



Alpenglow Residences Development Master Plan





Alpenglow Residences

Development Master Plan Application

Table of Attachments

1. Development Master Plan Narrative
2. Authorization to Represent
3. Pre-Application Conference February 10th, Application
4. Pre-Application Conference Planning Department Minutes
5. Pre-Application Conference, Z Architects Meeting Minutes
6. Community Meeting Mailer
7. LUC February 10th, 2025 agenda final
8. Z Architects Community Meeting Minutes
9. LUC February 10th, 2025 minutes final
10. Public Inquiry Parcel Details, lots 1 and 2
11. Alpenglow Residences Design Schedule
12. New Girdwood Comprehensive Plan, Land Use Map
13. Driveway Section
14. FEMA Panel 0200051559D
15. Plat
16. MOA Zoning Map
17. Wetland Atlas, T10N R02E S17
18. Storm Drain and Drainage Map, grid SE4815
19. Wastewater Collection Systems Map
20. Water Distribution Map
21. Drawing Sets, Development Master Plan Submittal



Alpenglow Residences

Development Master Plan Narrative

February 2025

Request for Approval

We are requesting a Development Master Plan Approval for the Alpenglow Residences Mixed Use Development located at 204 and 224 Hightower Road in the New Girdwood Townsite approximately 40 miles south of Anchorage. Please see the narrative below and the attached plans for more information.

Introduction

The Alpenglow Residences development will be phased and occupies two adjacent lots. The owners propose a new physical therapy clinic, ground level retail/commercial spaces and residential condominiums on the upper floors. The site is zoned gC-9 and located at the southeast corner of the Hightower Road / Lindblad Avenue intersection and is across the street from the new Girdwood Health Clinic. The project is in accordance with the 1995 Girdwood Area Plan (identified as 'Commercial/Residential') and the 2024 Girdwood Comprehensive Plan (identified as 'Mixed-use'). Both documents are intended to assist in guiding development in the Girdwood area.

Project Vision

One of the project owners, Korre Pieper, articulated his vision for the new clinic on February 10, 2025, during a meeting presenting the project to the community:

"My name is Korre Pieper, Physical Therapist, and currently the longest continuous serving medical professional in Girdwood. My journey to Girdwood began in 2013, developing physical therapy services from part time to a more than full-time practice, I practiced out of a converted mail room, in an ante-room at a church here, and finally in a small building in downtown Girdwood. It has been a journey of commitment to the community. During this time, I have had the honor of working with community members, volunteering time and finances to a variety of projects in Girdwood, as well as getting an in-depth view of this community and have come to the conclusion that this is the time for a project like this. Currently, about 60% of all cases we are able to treat fully start to finish here in Girdwood, after our new facility opens, we will be able to increase this to 95%+ of all patients, meaning patients will no longer have to travel the Seward

Highway for their rehabilitation needs. This helps remove barriers for patients with transportation difficulties as well as keep our community members in place during their recovery and for ongoing needs. I look forward to continuing to serve the community of Girdwood and continuing developing the community alongside the people who enjoy this special place as much as I do.”

Other project goals are to provide much-needed housing options and retail space in Girdwood and to revitalize the New Townsite area which, other than the Girdwood Health Clinic and Girdwood Post Office, has seen very little construction in the last couple of decades. Lack of housing and commercial/retail space for services continue to be a significant obstacle to current and potential businesses and residents of Girdwood.

Building description and Phasing

The proposed development is in two phases, starting with phase 1 on lot 2. In addition to the clinic space for Seawolf Physical Therapy, phase 1 will include two commercial retail spaces and 5 market-rate residential condominiums. The total gross floor area of phase 1 will be 16,608 sq ft. Please see attached drawing set dated February 24, 2025, showing the building design and detailed site plans, with zoning compliance calculations. Phase 2 has not been designed yet, but a preliminary building footprint is shown on lot 1. It will be a very similar mixed-use building with residences above ground level retail/commercial spaces.

Development Master Plan

A Development Master Plan allows the developer to propose alternate standards to what is found in title 21. The intent of this process is for master planned areas to result in a development meeting or exceeding the standards of AMC title 21 and 21.09 specifically. The purpose of this Development Master Plan is to provide a clearly articulated vision for the character, layout, and design of the Alpenglow Residences in accordance with local adopted area plans, the Girdwood Land Use Regulations AMC 21.09, in compliance with the requirements of AMC 21.09.030F. Development Master Planning.

Community Meeting & Pre-Application Meeting

Representatives of Z Architects and Girdwood Building Company (Korre Pieper of Seawolf Physical Therapy and Zachary Miller) presented the project to the Girdwood Land Use Committee (LUC) on February 10th, 2025, and will present to the Girdwood Board of Supervisors (GBOS) on February 24th. The February 10th LUC meeting served as the community meeting per AMC21.03.020H. The community meeting notices were sent 21 days in advance to names and addresses on a list provided by the Municipality of Anchorage (MOA) Planning Department.

The project team anticipates presenting to the LUC again and requesting a letter of support or non-objection on March 10th, 2025, and GBOS on March 16th in preparation for the Planning and Zoning Commission hearing on May 5th 2025.

Attendees generally supported the project, complimented the design, and saw this as a welcome addition to the community (see appended meeting minutes).

The project team met with the MOA Planning Department on February 10th, 2025, for a pre-application meeting.

Conformance with Municipality of Anchorage Title 21.09.030F Development Master Plan

Submittal Requirements:

i. Lot Description

The legal description, acreage, and boundaries of the proposed petition area, an explanation of boundary delineation, pursuant to subsection 21.09.030C, if applicable, and a depiction of the area surrounding the petition area;

The Development Master Plan area is at 204 and 224 Hightower Road, Lots 1 & 2, Block 3, of the New Girdwood Townsite Subdivision, Girdwood, Alaska, MOA Grid Number SE4815. See attached 49th Star Surveying LLC as-built survey dated 3/26/24 and New Girdwood Townsite plat. Both lots are 12,056 sq ft each, for combined area of 24,112 sq ft (.55 acres). We are including both lots in the Development Master Plan area as lot 1 will be developed similarly to the proposed development on lot 2 and both will share a pedestrian oriented access driveway.

See attached Vicinity Map for a depiction of the surrounding area

Immediately south of the petition area is property owned by Still Mountain, LLC and houses commercial space for Base Camp restaurant on the first floor and apartments on the 2nd floor. North of Alpenglow residences is a coffee shop and roastery, The Grind, and a mobile house park in gC-8 zoning district. East of the proposed project is Glacier Creek and parcels zoned GOS (Girdwood Open Space).

ii. Existing Site Plan

A site plan of any existing development, including buildings, roads, utilities, drainage systems, trails, and a general description of existing vegetation.

See attached 49th Star Surveying LLC as-built survey, utility, and drainage system maps.

On Lot 1 is a 1,460 sf, mixed use, two story, residential-commercial building constructed in 1996. This was the location of the Yoga Den and is currently housing massage therapy for Seawolf Physical Therapy. This building will be removed in phase 2.

Lot 2 has four small, one and half story, residential and commercial structures constructed between 1971 and 1985. The larger structure is the current site of the Seawolf Physical Therapy clinic. These will all be removed in phase 1.

The petition area is served by Hightower Road, a class IA collector, which connects to Alyeska Highway. On both sides of Hightower Road are sidewalks connecting south to the Alyeska Highway bike path and north to the Girdwood Elementary School.

There are several easements that encumber the properties: a 10-foot utility easement to the west along Hightower Road with Chugach Electric power lines encroaching 3.4 – 3.8 feet outside of the easement into the property, these power lines are scheduled to be buried within the easement. The flag easement on lot 2 is in the process of being vacated. To the north on lot 1, there is a 20' power line easement that encroaches 41 feet into the property in the Northeast corner. Along the east side of both lots is a 10' utility easement.

A water main, sewer main and a storm drain system run below Hightower Rd.

The properties were cleared of natural vegetation at some time in the past and have areas of new vegetative growth. This vegetation consists of grasses and low woody plants, mature shrubs like alder and willow, cottonwood trees and larger isolate conifers. A mature cottonwood/spruce is east of the lots towards Glacier Creek.

iii. Site Topography

The topography of the petition area, with contours lines shown at intervals of four feet or less, including any unique natural or historical features.

The petition site is generally level with an inconsistent eastward downward slope. See attached as-built survey with one foot interval contour lines. The area is underlain by alluvial deposits from Glacier and California Creeks. There are no known historic features on the property and development is unlikely to yield any archeological features because of prior disturbance (clearing and grubbing).

iv. Existing Streams and Waterbodies

The location of existing streams, water bodies, wetlands, drainage courses, and flood plains, and proposed changes to such features.

There are no streams, water bodies, wetlands or drainage courses on the two properties. Glacier Creek runs parallel to and approximately 450 feet east of lots 1 and 2. FEMA mapping (attached) designates the east portion of the lots as zone AE, with 1% annual chance flood hazard and a base flood elevation. A small portion of the lots are designated as zone X with a 0.2% annual chance of flooding.

v. Grading Plan

A grading plan and detailed study of existing and proposed drainage, using baseline climatic and environmental data that reflects Girdwood conditions.

See attached Triad Engineering grading plan.

The completed improvements will follow the existing topography to the extent possible to maintain existing drainage pathways and use new landscaped areas to meet the water quality treatment objective. Other stormwater controls that may be considered to meet the Water Quality and Detention objectives are permeable paving.

The soils on site are generally well draining alluvial gravels and deposits. A geotechnical report is in process and will be available upon request.

vi. Proposed Site Plan

A proposed site plan, showing roads, trails, building locations and uses, parking lots, open space, and any other proposed development. The site plan shall include the total number and type of dwelling units, and the total combined floor area of commercial and industrial uses.

See sheet A0.1 for phase 1 and 2 proposed site plan and sheet A0.2 for phase 1 site plan.

Phase 1 will include:

- Two retail spaces and a five-car garage on the ground level
- One physical therapy clinic on the second floor
- Five residential condominiums on the second and third floors, consisting of
 - 3 three-bedroom units
 - 2 four-bedroom units
- The total combined area of commercial-use spaces is 4,291 sq ft. There are no industrial uses.

Phase 2 (lot 1) design aims to be similar in nature to Phase I. The full scope will be determined after the planned for relocation of a power line and vacation of the power line easement at the northeast corner.

A pedestrian-oriented shared access drive using the principals of a “Woonerf Street” as envisioned in AMC21.07.060G.23 is proposed to be centered on the property line between Lots 1 and 2. The Woonerf provides access to the Phase I spaces, including a retail shop, main entrance to the clinic and condominiums and the parking garages. The north side of the Woonerf will interface with Phase 2 developments. This project envisions a future trail to connect the proposed Woonerf east to an existing hiking trail that runs parallel to Glacier Creek.

vii. Landscape Plan

A landscape plan, including vegetation retention areas.

See sheet L0.1 for the proposed landscape plan. The properties were, in the past, cleared of natural vegetation. The proposed landscape plan does not anticipate retention of current regrowth. However, the proposal aims to implement mid-size perennials native to the local area.

viii. Building Design

Floor plans, building elevations, and renderings for all buildings.

See attached phase 1 architectural drawings.

ix. Road Cross-Sections

Road cross-sections.

See attached Triad Engineering 'driveway section' through shared access drive.

x. Other Development Details

Details of any other development proposed. N/A

xi. Schedule

An implementation schedule. See attached Design, Permitting and Construction Timeline.

See attached architectural design schedule.

- May 5, 2025: Approval of Development Master Plan and Easement Vacation approval.
- Early May 2025 Submit for Land Use Permit and building permit from the Alaska Department of Public Safety.
- June 1, 2025: Construction to begin.
- Construction will take roughly twelve months to complete.
- Summer 2026: Phase 1 approved for occupancy.
- Summer 2026 through 2027: Phase 2 and associated site improvement construction. Construction will take roughly one calendar year to complete. However, changes in market demands, material and labor availability, and other unforeseen factors may delay groundbreaking from Summer 2026.
- Development Master Plan will be fully implemented by 2028.

A. Development and Design Standards

The development master plan shall establish specific circulation systems; land uses; site dimensional, design, and development standards; and building design standards for its development areas. These elements may set different development standards than those found in title 21 including sections 21.09.060, 21.09.070, and 21.09.080. The development master plan shall list the specific sections of title 21 for which different standards are to be established. Where different standards are approved in the development master plan, those standards shall be applied instead of the corresponding standards in title 21.

This section details the code standards this plan modifies, subject to approval. Each code reference includes its Anchorage Municipal Code citation, title, and text. Following is a proposed alternative standard or statement demonstrating the proposed design meets or exceeds the code standard. Each of these will be noted as a DESIGN ALTERNATIVE or INFORMATION. Design alternatives propose an equal or better standard to a section of code to meet the intent of adopted standards. Informational sections do not offer an alternative but to explain how the design meets the intent of the code. At the end of each bullet, a commentary section provides greater clarity to the proposed alternative and offers justification.

- AMC 21.09.040C.3.c.iii Use of Setbacks in Commercial Districts:
 - *Business signs, walkways, snow protection over walkways and landscape plantings may be placed within, and driveways may cross, setback areas.*
 - DESIGN ALTERNATIVE: Property owners of adjacent lots may cooperate in the development of a pedestrian-oriented shared access drive, using the principals of a “Woonerf Street” as envisioned in AMC21.07.060G.23, located in the side setbacks and centered on the property line between them. See site plan A0.1 and A0.2.
 - Commentary: The intent in this district is to have relatively continuous store fronts and arcaded walkways along the street edge. The gC-9 zoning district intent states in part: Site development shall have strong street orientation and provide pedestrian connections to neighboring lots. In this district, arcades or roofed walkways are required along the street face of all new buildings. One driveway with pedestrian oriented amenities in the side setbacks, serving two lots, is a superior way of meeting the zoning district intent; multiple driveways separated by the

width of the side setbacks would needlessly interrupt the street orientation and the arcaded pedestrian connection. The proposed design exceeds the standard in code.

- DESIGN ALTERNATIVE: Driveways and vehicle circulation may occupy the rear setback of Lots 1 & 2, Block 3, of the New Girdwood Townsite Subdivision (gC-9 zoning district). See site plan A0.1 and A0.2.
 - Commentary: The apparent intent of not allowing driveways to run along setbacks in commercial districts is to help screen neighboring properties from on-property commercial traffic. The land to the east of the petition area is zoned Girdwood Open Space; There are no neighbors on that side, and it is unlikely to be developed in the foreseeable future. The driveways in the rear setbacks are for use by building residents to access their garages. In the Girdwood residential districts driveways are allowed in setbacks. The proposed design meets the standard in code.
- 21.09.060B.2 Table 21.09-6 Table of Dimensional Standards: Commercial Districts:
 - *Min. Front Setback: 16 ft, Maximum setback 20 ft. (Footnote 8: Maximum Front Setback Exception: limited portions of building frontage may, subject to admin site plan review, be allowed to step back further than the maximum allowed front setback to create small usable public spaces in the front of the building.*
 - DESIGN ALTERNATIVE: Revise minimum 16 ft Front Yard Setback to 18 ft to resolve conflict with the 10 ft Utility Easement and required 8 ft Arcaded walkway. See site plans and as-built survey.
 - Commentary: In the gC-9 district, arcades or roofed walkways are required along the street faces of all new buildings per 21.09.040C.3.b and the arcade must be a minimum of 8 ft. wide clear (21.09.080F.4.d.iv). The arcaded walkway may be in the front setback however it cannot be within the 10 ft utility easement along Hightower Road. The minimum arcade width plus the utility easement makes compliance with the 16 ft minimum front setback impossible.

- 21.09.070G.2 Exterior Site Lighting:
 - INFORMATION: The shared access drive perpendicular to Hightower Road will include site lighting for pedestrian safety, but care will be taken to ensure that site lighting is at minimum levels necessary to light the walkways and drive areas. The intent is to meet Girdwood land use regulations desire for dark skies, 'to minimize glare or light trespass onto adjacent properties or light pollution in the valley' the design goal is to create an inviting space in the evening but not inconvenience the neighboring properties.
- 21.09.070L.6 Parking Within Multifamily and Non-Residential Structures:
 - *Parking structures for more than two cars within multifamily and nonresidential structures, shall be constructed at least half a level below grade or, if constructed at grade, shall be earth covered using berming at least a half level on all sides. Vegetative and/or architectural screening of multiple level parking structures is required. The mechanical equipment required to vent enclosed parking shall be located away from outdoor play areas or entries, public rights-of-way and pedestrian spaces, and shall be completely screened from view.*
 - DESIGN ALTERNATIVE: Garage parking may be at grade at the rear of the building without earth covering using berming.
 - Commentary: The apparent intent of the standard is to screen large parking structures from public view. Due to high base flood elevations (see as-built survey) and likely shallow water table depths, constructing the parking half a level below grade is impractical, if not impossible. The proposed parking structure is within the building's east end and is indistinguishable from the rest of building when viewed from any public way or the 'woonerf'. Burming cannot be done at the garage doors on the garage east wall. Burming would make it difficult to construct the onsite drainage swale at the south property line, see attached Grading Plan sheet C3. The proposed design meets the standard in code.

- 21.09.080F.2.d. [Commercial, Resort and Public/Institutional Building Design Standards]
Size and Scale:

- *No wall shall be longer than 42 feet without a change or alteration in alignment of at least four feet in depth from the plane of the referenced wall. For building sides longer than 64 feet, the combined length of the segments not in plane with the primary wall plane of the building side shall equal at least one-third of the building side length. Curved walls that include a change in wall plane of at least four feet depth in 40 feet of wall length shall satisfy this requirement. Where two arms or elevations of a building are separated by a change in wall plane of six degrees or more, these shall be considered as separate building sides for the measurement purposes of this provision.*

- DESIGN ALTERNATIVE: East and west (Hightower Road) facing walls may have an alteration in alignment of two feet in depth from the plane of the referenced wall. See architectural plans A1.1. The design meets all the other requirements of this standard.
- Commentary: This standard cannot be met at the wall facing Hightower Road. As noted previously, the effective minimum setback from the property line is 18 ft and the maximum front setback in this district is 20 ft. This calculation leaves only 2 ft of depth for alteration of alignment.

The intent of this code section is to reduce the visual mass of a building by introducing changes in wall plane. The east wall faces away from the street and the neighbors, therefore it is not readily visible to the public. The proposed design meets the standard.

- 21.09.080F.3.a. [Roof Form] Pitch:
 - *Roofs visible from a public way shall be primarily pitched. The pitch for the primary roof structure shall be between 8:12 and 12:12, but may be as shallow as 5:12, as long as the eave overhangs are at least two and one half feet. Segments of the roof may be flatter or steeper slopes, however, to achieve a specific design effect. Wherever a portion of the roof has a shallower pitch than the standard, or if it is flat, provision shall be made to avoid glaciation.*
 - DESIGN ALTERNATIVE: Flat roof decks as amenities to the residential or commercial units in the building are allowed.
 - Commentary. This code section makes allowances for “flatter or steeper” roofs. The flat roof decks will alleviate the conditions that cause glaciation. Because of the large building area, sloped roofs – especially the steep slopes indicated in the standard – pose a great danger of roof snow slides impacting pedestrian spaces around the building. Further, such slides could be detrimental to neighboring properties. The proposed roof is designed for snow country, creating an improvement on safety standards. Additionally, the added roof amenities for the building users is superior to what is prescribed in the design guidelines. The proposed design exceeds the standard.

The roof decks will be internally drained, all water is directed away from perimeter pedestrian areas.

Note: the Girdwood Health Clinic and the Girdwood Post Office, both directly across Hightower Road from Alpenglow, are the only significant structures constructed near the townsite core in the last couple of decades. The post office has a flat roof, and the clinic has much shallower pitched roofs than is indicated in the standard. Both buildings set a precedent for more contemporary snow country sensitive design than is envisioned in the standard.

- 21.09.080F.3.b. [Roof Form] Flat Roofs:
 - *Flat portions of roofs shall have distinctive cornice features, to create visual interest and provide sufficient overhang to protect walls from the weather. Large visible flat roof forms shall step or be broken by dormers. Design elements may also be used on flat roofs to create the appearance the building has a pitched or shed roof. The canopy sheltering cars at fueling stations may be flat but shall have distinctive cornice detailing. Fueling station canopies shall not be significantly larger and out of proportion to the fueling station building.*
 - **INFORMATION:** The standard requires sufficient overhangs to protect the walls from weather, however it does not define what sufficient depth is and leaves interpretation to the discretion of the designer. 72% of the roof perimeter in phase 1 has overhangs of 24" deep or deeper. Portions of the north wall and east wall do not have overhangs for architectural design effect; these areas the building will be clad with inherently weather-resistive siding materials (metal panels and phenolic resin panels) on a rain screen system.

The above proposed design standards are equivalent to or exceed the generally applicable development standards of sections 21.09.060, .070, and .080, and result in high quality, environmentally sensitive development in keeping with the Girdwood Area Plan, the new Girdwood Comprehensive Plan, the intent of this chapter, and the character of Girdwood.

Girdwood Building Company, LLC

12201 Industry Way, Suite #4
Anchorage, AK 99515

949-306-1622
zachary.a.miller1@gmail.com

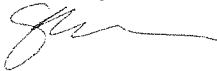
To Whom it may Concern,

This letter serves as authorization for Z Architects LLC and staff members thereof to act on Girdwood Building Company's behalf for permitting applications and procedures through the Municipality of Anchorage for my property at Lots 1 & 2, Tract 3 of the New Girdwood Townsite Alaska Subdivision in Girdwood, Alaska.

Point of Contact for this matter is the undersigned and may be contacted for any clarification or additional information.

Respectfully,

Zachary A. Miller





MARCO ZACCARD
PO Box 842
GIRDWOOD, AK 99587

(907) 783-1090
LISA@ZARCH-AK.COM
Admin.
Marco@zarch-ak.com

January 27, 2025

Planning Department
Municipality of Anchorage
4700 Elmore Road
Anchorage AK 99507

Re: **Pre-application Conference Project Narrative** for Lots 1 & 2 of Tract 3 of the New Girdwood Townsite Subdivision

Project Narrative:

This pre-application conference is for a mixed-use project in Girdwood (gC-9 zoning district). We are in the schematic design phase of the project and are wanting to discuss strategy for designing and permitting the project, as well as understand the positions of different municipal reviewing agencies.

We determined that the project was eligible for a Development Master Plan per 21.09.030.F, and will pursue one as we continue the design. Now that we are in the schematic design phase, we would like to present the project, our strategies for meeting applicable regulations, and hear concerns or suggestions from reviewers. This meeting is also a requirement of the Development Master Plan procedure.

We are looking for site access along the side setbacks between lots 1 and 2, rear yard setback, design standard changes from slopped to flat roof decks, and the front yard easement conflict with Chugach Electric front yard required setbacks.

The project is proposing a revised design standard for:

- AMC 21.09-6.2. Table of Dimensional Standards, Commercial – Revise minimum 16' Front Yard Setback to 18' to resolve conflict with 10' Utility Easement and required 8' Arcade.
- AMC 21.09.040.C.3.c.iii - to allow site access alongside setbacks between lots one and two and in the rear setback.
- 21.09.070L.7 to allow basement parking at grade to the rear of the building without berm
- 21.09.080F.d to allow a 2 foot offset on the East wall alteration in alignment
- 21.09.080.F.3.a – to allow flat roof decks in lieu of pitched roofs

Sincerely,

Lisa Miles

Z Architects

**Girdwood Mixed-Use Project
Development Master Plan**

Pre-application Conference

Meeting Notes

February 10, 2025, 2:00 p.m.

Z Architects and Triad Engineering.

Planning:

- No ~~landscaping~~^{snow storage} is permitted in required landscaping.
- The proposed design alternatives are practical and make for a nice design.
- The phased plan for two lots should be explained in the application.
- The project is supported by the Girdwood Area Plan.

AWWU: No objection

Flood Hazard Administrator:

- Not present. A follow up meeting is needed.

Girdwood Service Area Manager: No objection

Water Management Services: No objection

Heritage Land Bank: No objection

Traffic:

- Resolve driveway width for two-way driving and design of the driveway.

DOT: No objection

Private Development:

- Record a shared access agreement for the driveway.

Watershed Management Services: No objection

Fire Plan Review:

- Not present. Resolve building height and driveway width.

Thank you,

Francis McLaughlin

Current Planning Division

Phone: 343-8003



ALPENGLOW RESIDENCES PRE-APP MEETING Z ARCHITECT'S MINUTES

Date: February 10, 2025

Location: Teams meeting

Originator: Planning and Zoning

Participants:

Zach Miller, Project Manager

Ivana Senjak, Project lead architect

Marco Zaccaro, Principal, Development Master Plan lead

Grant Matthews, Civil Engineer

Korre Pieper, SeaWolf Physical Therapy, Project owner partner

Lisa Miles, Admin Z Architects, Meeting Minutes

McLaughlin, Francis D. <francis.mclaughlin@anchorageak.gov>; Babb, Melisa R.K. <melisa.babb@anchorageak.gov>; Yelle, Ryan J <ryan.yelle@anchorageak.gov>; Appleby, Elizabeth I. <elizabeth.appleby@anchorageak.gov>; Farias, Claudia F. <Claudia.F.Farias@anchorageak.gov>; Gupta, Aritra <Aritra.Gupta@anchorageak.gov>; Odell, Shawn M. <shawn.odell@anchorageak.gov>; Hatcher, Paul A. <Paul.Hatcher@anchorageak.gov>; LaFrance, Paul J. <Paul.J.LaFrance@anchorageak.gov>; Soule, Gregory G. <gregory.soule@anchorageak.gov>; mark.eisenman@alaska.gov <mark.eisenman@alaska.gov>; Panilo, Mark M <mark.panilo@anchorageak.gov>; Just, Travis M. <travis.just@anchorageak.gov>; Giboney, Emma <Emma.Giboney@anchorageak.gov>; Ribble, Randon A. <randon.ribbon@anchorageak.gov>; Kelley, Kyle T. <kyle.kelley@anchorageak.gov>; Marco Zaccaro <marco@zarch-ak.com>; Lisa Miles <lisa@zarch-ak.com>; Ivana <Ivana@zarch-ak.com>; Ellen Twiname <ellen@zarch-ak.com>; Prosak, Alex <Alex.Prosak@awwu.biz>; Turker, Ali X. <WWAXT@awwu.mail.onmicrosoft.com>; Ellis, Steve M. <steven.ellis@anchorageak.gov>; Cunningham, Kyle B. <kyle.cunningham@anchorageak.gov>; Billups, Kenna J. <Kenna.Billups@anchorageak.gov>

Meeting Objective: Pre-App Conference

Site Plan A0.1

DMP is much more positive way of getting to the needed design standards.

On-site parking will be tucked under the buildings, we are hoping to utilize the side yard and back yard setbacks for a driveway to access the parking and maximizing the lot and not disturbing the neighbors. Greenery and sidewalk between building connects to Glacier Creek trail.

R1.1

Flat roof design.

A1.1

DMP would cover phase 1 and phase 2. Retail shops on Hightower Road. Parking for all 5 residential units at the back of the first floor.

A1.2

Two residential units 1,300 and 1,600

A1.3

Third floor has 3 residential units.

SketchUp model:

Minimum 16, max 20 set back, 8 foot arcade requirement, trying to stay out of the 10 foot utility easement. Triad, we'll need drainage swale. Standard for berm does not make sense – Francis.

Base Elevation 113 feet

The permeable surface area have been calculated for lot 1 only. Francis states that we can ask for approval for phase 1 even if phase 2 is not completely designed yet. We are going to be using permeable paving. Planning department will review phase 2 when it is time for development.

Building height calculated correctly. Roof deck is at 33.1'.

Francis says this is what mixed use is for and that this is the first commercial residential mixed use he's seen in a long time, since Rustic Goat.

Current MOA FEMA map doesn't match ours. MOA has 100 and 500 year flood plane extending further into lot. We'll have to talk with Steve Ellis anyway; he's on vacation. Survey shows 100 and 500 year flood plane. The layer Kyle is looking at looks different from our survey.

HLB – to the east. Open space. Grant – Title 23, 2' grading setback to the back?

Paul LaFrance will get back to Grant and work with HLB on grading.

Travis with traffic – minimum of 12' maximum 24' for commercial driveway width. Shared access agreement for the driveway. Read 21.07-060.e.4.d.i on site pedestrian walkways – 21.07 is not always applicable in Girdwood since they have their own code. Design may be applicable for woonerf standard.

Defer to Kyle Kelly curb cuts, curb returns. Kyle is fine with driveway curb cuts. Not supportive of permeable in the right-of-way. Asphalt or concrete in right-of-way. Put in manufacturer specs of the permeable paving.

Traffic wants to support the woonerf design so ask the agencies to approve woonerf design. One way driveway is allowed, one or two way is not called out. If the driveway is for the residences, everyone knows what is up. Consider if you're counting the whole 12 feet. 21.09.07.11 with ten commercial parking spaces, up to 12 feet is allowed. Skinny down landscaping a bit.

There is also a plan for a future sky bridge.

Paul LaFrance – shared access agreement. Snow storage in Southeast corner, make sure it does not drain into the neighbor's property. Snow storage can happen under the power line that is heavily encumbering the property. Do not show snow storage in required landscaping areas.

Grant wants to do some grading on HLB property due to the difference in grade, draining out to HLB property. Grant needs temporary permit to use the space.

Permeable paver allows the water to get into the ground.

New Girdwood Comprehensive Plan hasn't been adopted quite yet. Under the 1995 G.A.P. this project is the poster child for Mixed use – Ryan Yelle.

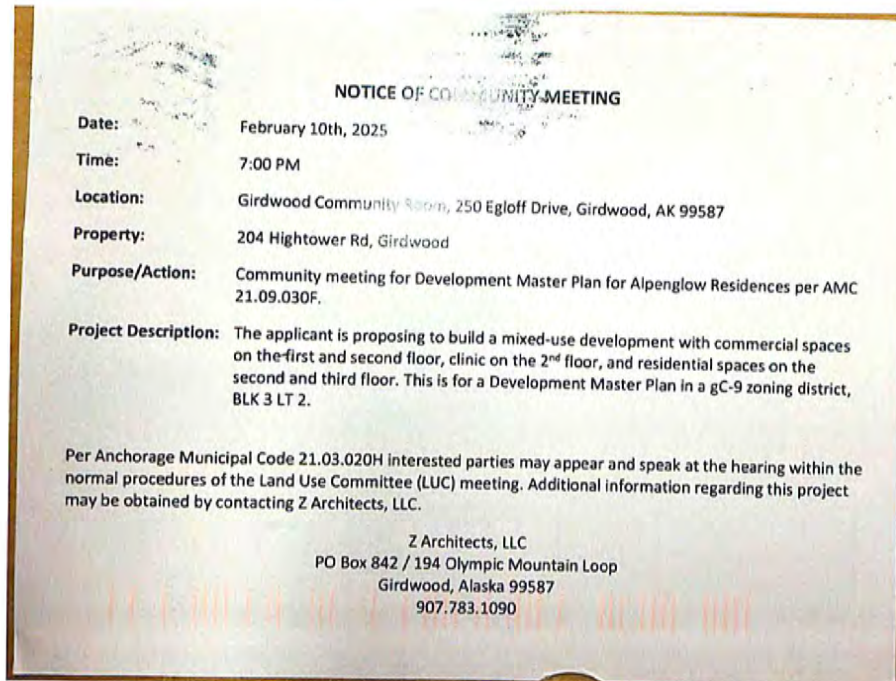
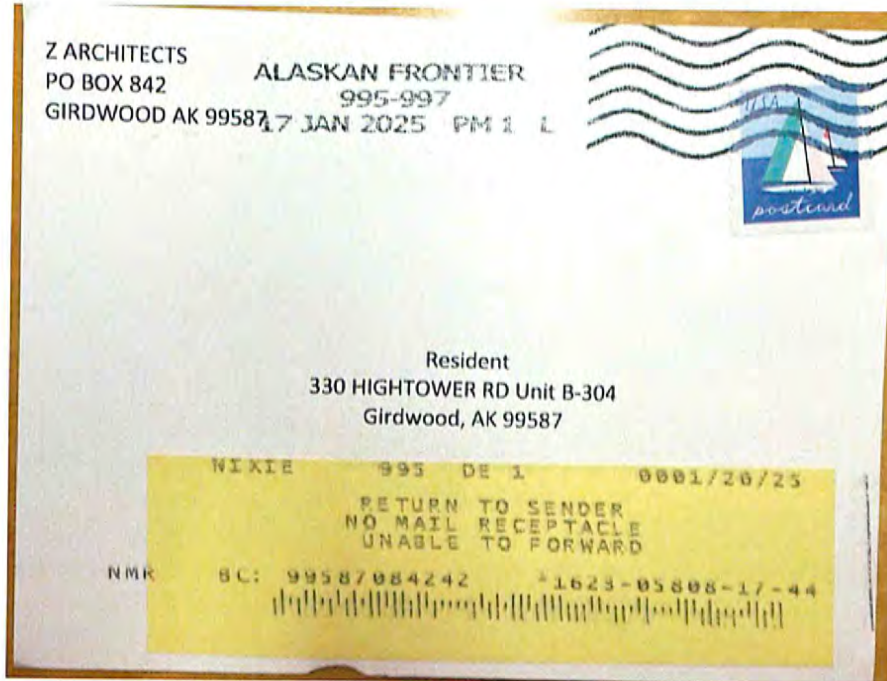
GCP will be adopted soon, by the 27th of this month.

Planning supports the design deviations and setbacks. Driveway and flood plain discuss with Steve Ellis.

Monday the 24th is the cut-off date.



Alpenglow Residences Mailer



Girdwood Land Use Committee

Notice of Meeting on February 10, 2025 7PM

Agenda Draft Revised 2.7.25

Meeting will take place via Teams teleconference and in person at the Girdwood Community Room, 250 Egloff Rd.

Join the meeting now Meeting ID: 256 534 518 525 Passcode: DP7mJ6FF

Dial in by phone +1 907-519-0237, 889811680# Phone conference ID: 889 811 680#

The following items have been submitted as agenda items for consideration at the meeting of the Girdwood Land Use Committee. A voting member is any Girdwood Valley resident eighteen (18) years of age or older. Non-resident property owners, businesses, and non-profit associations are allowed one (1) vote per entity. Detailed voting qualifications can be found in the rules outlined in the Girdwood Land Use Committee Operating Principles.

The Girdwood Board of Supervisors, its committees, and subcommittees are subject to the Alaska Open Meetings Act as found in Alaska Statute 44.62.310 and Anchorage Municipal Code 1.25 - Public Meetings.

The Girdwood Land Use Committee operates under the Girdwood Public Meetings Standards of Conduct.

Agenda Item LUC 2502-01:

Land Acknowledgement: As we gather with a common intention for our GVSA this evening, LUC would like to begin by acknowledging the stewardship of the indigenous peoples of Alaska, whose land we reside on and the surrounding waters we depend on. The current area of Girdwood is situated between the areas known to be Dena'ina and Alutiiq homeland. A necessary connection for Alaska Native people, the landscape and waters around us served to carry their traditional ways of life; to gather here and harvest Native foods. The community of Girdwood respects the Dena'ina and Alutiiq people, who were stewards of this land for generations. We will continue to be stewards of this land and are grateful to be a part of this community.

7PM Call to order Ryan Hutchins-Cabibi

Agenda Approval for February 10, 2025 meeting

Minutes approval from the January 13 2025 GBOS LUC Joint Meeting and LUC Regular Meeting

LUC Officer report

HLBAC Update

GBOS update

Announcements:

- * ZBEA will hear Dimensional Variance Case 2025-0009 for property at 1230 Timberline Rd on 2/13/25:
<https://www.muni.org/CityViewPortal/Planning/Status?planningId=18125>.
- * PZC Case No. 2025-0021 Parks and Recreation Administrative Site Plan Review Thresholds.
<https://www.muni.org/CityViewPortal/Planning/Status?planningId=18147>.
- * GBOS FEB Meeting will be held Feb 24 to avoid Presidents Day Holiday.
- * LUC March meeting will be held March 17 and GBOS March Meeting will be held March 24 to avoid spring break conflict.

Reports:

Agenda Item LUC 2502-02: Public Comment (3 minutes each) Persons offering public comment must state their full name and address. Public Comment must be on subjects not listed on the agenda

Agenda Item LUC 2502-03: Committee Reports. Any items for update or discussion should be brought up at this time.

Old Business:

Agenda Item LUC 2403-04: Status of the Girdwood Comprehensive Plan, Intro Nov 19, hearing Dec 17 and Jan 21. Likely hearing will occur February 25. Imagine!Girdwood).

Agenda Item LUC 2409-07 & Agenda Item LUC 2409-08 Status of DNR Section Line Easement appeals

Agenda Item LUC 2408-04: Request for LUC recommendation for exclusion of the GVSA from the proposed 3% Municipal Sales Tax (Brice Wilbanks)

New Business:

Agenda Item LUC 2502-04: Development Master Plan for Alpenglw Residences gC-9 zoning district, BLK3 LT2. Mixed-use building housing two retail shops, Physical Therapy Clinic and 5 apartments. Petitioner seeking LUC recommendation for GBOS Letter of Non Objection or Resolution of support, TBD (Z Architects, presenting)

Agenda Item LUC 2502-05: Request for LUC recommendation for GBOS Resolution of Support for variance for a retail hardware store in gC-10, Tract B2A, Alpine View Estates, Phase 3 (Tim Cabana, presenting).

Request for GBOS/LUC Joint Meeting (1 of 2 required meetings completed in 2025, Jan 13)

Adjourn



Alpenglow Residences Community Meeting

Z Architect's minutes, Land Use Committee, Girdwood, February 10, 2025

Owners in attendance: Zach Miller, Korre Pieper

Z Architects: Marco Zaccaro, Ivana Senjak, Lisa Miles, Cassidy Johnson, Ellen Twiname

Physical therapist seeking to graduate to an adult full size therapy clinic and to have a little more housing for downtown Girdwood. Korre started in 2013 in the mail room, and then moved to the church, and now has a space downtown over the past 12 years. They have outgrown the space and are ready to grow and address multiple needs like commercial space and housing.

Rooftop decks instead of sloped roofs. Sloped roofs are a challenge when it comes to snow sliding on the building next door.

One driveway to serve both lots. Woonerf concept, public walkway, seating area, driveway. The city is writing code to allow this in the rest of Anchorage. Not just a driveway but an active space.

Landscaping meets the code in that it will have a "downtown" feel by having perennials and Girdwood native plants and edible plants. Elise is thinking of adding color and raised beds.

Grant Matthews, civil engineering considerations. They've approached AWWU for shared services to minimum disruption on Hightower. Shared driveway limits vehicular and pedestrian conflicts.

Questions:

Burntski - Have issues with the power line been resolved?

Neighbor to the south, Tonia Burrow, owner of Still Mountain LLC / Basecamp: I love it! Housing, jobs, growth, glad you're not going to have a sloped roof.

Alpenglow is tying into the 16" main to be sprinklered.

Is the well on one of those lots? No. Basecamp is still on the community well.

How does the landscaping tie into basecamp? Basecamp connex is represented by the dashed line. 16 to 20 foot setback. We can place their building on the Z Architects model. Tie in the landscaping. Korre and Zach would be amenable to that.

Lynnea - Will these be long term rentals or condominiums to be sold off? Some will be sold immediately and some will be held by the owner group and rented out. Korre was "hell bent" on having long term housing, but the cost of building would make these far too expensive to build.

Patrick – June construction. Is June attainable? Cost of construction? Contractor? It went out for bid and Korre has settled on his contractor. Zach – this is now version 3 of the building. The contractor is not local to Girdwood but has done local work in Girdwood. Pricing question, they are undergoing getting to a better understanding. It is an aggressive timeline. It depends upon these meetings, but the building will be ready for dirt work in June. There's quite a bit of civil work that needs to be done that wasn't set up very well, but the contractor believes this will be moving forward. This is a permitted use by right, the only reason for the DMP is design standard. So yes it is an aggressive permitting and construction timeline, but we believe the city is in support of this project and that it will move forward.

Long term high end housing would even be better than short term housing.

Regarding businesses and retail: If you have an idea bring it. A bank would be really great.

The building will stay on Lot 1 until time to develop Lot 1. Lot 1 houses the Yoga studio and massage therapy for Seawolf Therapy currently.

North and South setbacks are standard. Southern border is at 10 foot setback. 2021 IBC so neighbors won't be forced to sprinkler. Multi-family needs to be sprinkled. Townhouses have two hour party walls, but 4 plex and more have to be sprinkled.

Permeable paving and snow storage on the site plan. Power line clips the northeast corner so that will be utilized for snow storage.

Project allows pedestrian access through the woonerf to the trail on the HLB property to the rear, as well as parking for onsite residences.

The design is in keeping with the intent of the initial Girdwood Area Plan and is in alignment with the new Girdwood Comprehensive Plan being voted on by the Assembly on February 25th, 2025.

Girdwood Land Use Committee

Notice of Meeting on February 10, 2025 7PM

Minutes Draft

Meeting will take place via Teams teleconference and in person at the Girdwood Community Room, 250 Egloff Rd.

The following items have been submitted as agenda items for consideration at the meeting of the Girdwood Land Use Committee. A voting member is any Girdwood Valley resident eighteen (18) years of age or older. Non-resident property owners, businesses, and non-profit associations are allowed one (1) vote per entity. Detailed voting qualifications can be found in the rules outlined in the Girdwood Land Use Committee Operating Principles.

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7PM Call to order Brice Wilbanks

Agenda Approval for February 10, 2025 meeting

L Miles/Brice Wilbanks

Minutes approval from the January 13 2025 LUC Regular Meeting

L Miles/J Wingard

LUC Officer report: None

HLBAC Update: Meeting Feb 27 via teams will include hearing on the HLB 1 and 5 year plans.

See meeting packet for additional details.

GBOS update: Work Sessions on First Quarter Revisions and Girdwood Industrial Park will be held 2/11 and 2/18 at 7PM

Announcements:

- * ZBEA will hear Dimensional Variance Case 2025-0009 for property at 1230 Timberline Rd on 2/13/25;
<https://www.muni.org/CityViewPortal/Planning/Status?planningId=18125>.
- * PZC Case No. 2025-0021 Parks and Recreation Administrative Site Plan Review Thresholds.
<https://www.muni.org/CityViewPortal/Planning/Status?planningId=18147>.
- * GBOS FEB Meeting will be held Feb 24 to avoid Presidents Day Holiday.
- * LUC March meeting will be held March 17 and GBOS March Meeting will be held March 24 to avoid spring break conflict.

Reports:

Agenda Item LUC 2502-02: Public Comment (3 minutes each)

Wingard: Army Corps of Engineers Permit has been requested for Pomeroy's Glacier Creek Development. See meeting packet for additional materials. [POA-2025-00047 PortageCreekDrainagePN.pdf](#)

Agenda Item LUC 2502-03: Committee Reports. Any items for update or discussion should be brought up at this time.

GHEC: gC-1 and gC-2 code change has been approved. Hoping for action on other projects soon that have been through GHEC and LUC and are currently in process with GBOS and MOA.

GTC: GTC is seeking members to serve as co-chair and treasurer.

PSAC: Recruiting for member to be appointed by GBOS, one application has been received.

Old Business:

Agenda Item LUC 2403-04: Status of the Girdwood Comprehensive Plan, Intro Nov 19, hearing Dec 17 and Jan 21. Imagine!Girdwood).

Last public hearing and likely vote at Assembly on Feb 25, Likely to see amendments come via Planning or Assembly members spoken testimony - phone or in-person. anyone who hasn't testified at the Assembly can speak on Feb 25. Those who have testified before should be able to speak to amendments See here for phone sign-up and written testimony:

<https://moaonlineforms.formstack.com/forms/assemblyphonetestimony>

Agenda Item LUC 2409-07 & Agenda Item LUC 2409-08 Status of DNR Section Line Easement appeals. No news or other information. Item will move to Pending Business.

Agenda Item LUC 2408-04: Request for LUC recommendation for exclusion of the GVSA from the proposed 3% Municipal Sales Tax (Brice Wilbanks), New version of Sales Tax ordinance is under discussion with Assembly with hearing on March 4. This version includes the Girdwood-based Arts and Recreation proposal. Special Election will give voters an opportunity to vote if a sales tax ordinance passes the Assembly. Item will remain on the agenda in March. As the current proposal includes Girdwood-based project, which has been discussed and received support from LUC and GBOS, there is no action on this item at this time.

New Business:

Agenda Item LUC 2502-04: Development Master Plan for Alpenglöw Residences gC-9 zoning district, BLK3 LT2. Mixed-use building housing two retail shops, Physical Therapy Clinic and 5 apartments. Petitioner seeking LUC recommendation for GBOS Letter of Non-Objection or Resolution of support, TBD (Z Architects, presenting). This meeting serves as the public meeting as required by code. Several people are attending the meeting to hear this presentation, part of which is included in the meeting packet. Project is owned in part by Korre Pieper, who has been serving Girdwood as a Physical Therapist for 12 years. Project includes two lots and phase construction of two buildings. The project at this time is just the first building, on lot 2. Project request is for a Development Master Plan, so that they can modify design standards. There are no variances requested, project complies with other aspects of Girdwood building code (height, setbacks, etc). Previously LUC has heard of issues with the powerline impacting buildability of this property. Owner and Chugach Electric have an agreement that CEA will move the power line and plans to underground this line within 5 years. Project will tie in to water main. Project includes PT Clinic, 2 retail spaces, 5 condominiums. Condos will be sold and some will be retained by owners. No plans to restrict use to owner/Long term rental via condo association rules. Group plans to break ground in June.

Specifically the elements that require Development Master Plan are:

- Flat roofs and rooftop deck: Flat roofs eliminate issues of snow shedding
- Driveway design that runs the property line between the two lots. Concept for this is a blended pedestrian, driveway, parking and café-seating concept.
- Adjustments to landscape plan to make retail space on the first floor more inviting. Landscaping will include Girdwood native plants, including edible berries.

This item will return to LUC in March requesting recommendation of action to GBOS. It is uncertain if the petitioner will request Letter of Non-Objection or a Resolution of Support.

Agenda Item LUC 2502-05: Request for LUC recommendation for GBOS Resolution of Support for variance for a retail hardware store in gC-10, Tract B2A, Alpine View Estates, Phase 3 (Tim Cabana, presenting).

Cabana is unclear on what he needs to do for this project and is initiating discussion as he wants to make retail option possible on this commercial lot. He did this previously for the parcel that has the brewery and for the unbuilt hotel, but not this parcel. A business is interested in building the facility and leasing the land.

Group discusses the intersection with Alyeska Highway as it is already congested and oddly offset from Donner Rd, across the street.

This item will go to pending business until petitioner has submitted a packet to planning.

Request for GBOS/LUC Joint Meeting (1 of 2 required meetings completed in 2025, Jan 13): None requested
Adjourn 8:27PM

Property cards, lots 1 and 2

PARID: 07507131000

PIEPER KORRE L

224 HIGHTOWER RD

LUC: 105

TAX YEAR: 2025

Property Information

Property Location: 224 HIGHTOWER RD
Class: C - Commercial
Use Code (LUC): 105 - Mixed Resi/Comm
Condo/Unit #:
Tax District: 04
Zoning: GC9
Plat #: 650070
HRA #: 000000
Grid #: SE4815
Deeded Acres:
Square Feet: 12,056
Legal Description: NEW GIRDWOOD TOWNSITE ALASKA
BLK 3 LT 1

Economic Link: No

[Show Parcel on Map](#)

Owner

Owner PIEPER KORRE L
Co-Owner
Care Of
Address 12201 INDUSTRY WAY STE 4

PARID: 07507130000

GIRDWOOD BUILDING COMPANY LLC

204 HIGHTOWER RD

LUC: 301

TAX YEAR: 2025

Property Information

Property Location: 204 HIGHTOWER RD
Class: C - Commercial
Use Code (LUC): 301 - Resi Structure on Commercial Land
Condo/Unit #:
Tax District: 04
Zoning: GC9
Plat #: 640126
HRA #: 000000
Grid #: SE4815
Deeded Acres:
Square Feet: 12,056
Legal Description: NEW GIRDWOOD TOWNSITE ALASKA
BLK 3 LT 2

Economic Link: No

[Show Parcel on Map](#)

Owner

Owner GIRDWOOD BUILDING COMPANY LLC
Co-Owner
Care Of THERAPIST CENTRAL LLC
Address 12201 INDUSTRY WAY SUITE 4
City / State / Zip ANCHORAGE, AK 99515
Deed Book/Page /



ALPENGLOW RESIDENCES TIMELINE

PRELIMINARY TIMELINE as of 12-5-24 (Rev. 1-10-25)

%	TYPE	GOAL / NOTE	TIME	DEADLINE
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ARCHITECTURAL DESIGN SCHEDULE

UNDERSTANDINGS

1. This design schedule is contingent on full design team of Civil, Structural, Mechanical & Electrical Engineers being hired and engaged by January 2, 2025 and on all engineers agreeing to meet this design schedule and on Z Architects receipt of signed AIA contract by January 2, 2025. Engineers selected by client are subject to approval by Z Architects.
2. Design schedule is based on assumption of minimal architectural revisions as a result of initial engineering review and comments.
3. All contractor and Owner comments are due within one week after each submittal to maintain progress and stay on schedule.
4. If, because of contractor pricing and budgeting, there is redesign this will result in schedule extension.
5. Any substantive owner or contractor requested design changes will result in a schedule extension and fee adjustment.
6. The Development Master Plan (DMP) schedule is dependant upon receipt of all documents and information that are to be furnished by owner (such as but not limited to a Letter of Authorization for Z Architects to be the Owner's Representative for the purpose of filling out applications and setting up meetings with the Planning Department).

Receipt of signed AIA contract

1/2/2025

Civil, Structural, Mechanical & Electrical Engineers hired and engaged

1/2/2025

Engineer Review of and Comments on Architectural 35% Design received

2 wks

1/16/2025

DESIGN SCHEDULE

65%	DESIGN	Design Development	6 wks	2/28/2025
95%	DESIGN	Construction Documents	6 wks	4/11/2025
	DMP	Meeting Date for Planning & Zoning Commission		4/14/2025
100%	DESIGN	Construction Documents	3 wks	5/2/2025
	PERMITTING	Apply for Land Use Permit		5/2/2025
	PERMITTING	Apply for Fire Marshal Permit		5/2/2025
		Fire Marshal Permit Issued assuming they need 4 weeks	4 wks	5/30/2025
		Construction Administration	TBD	TBD

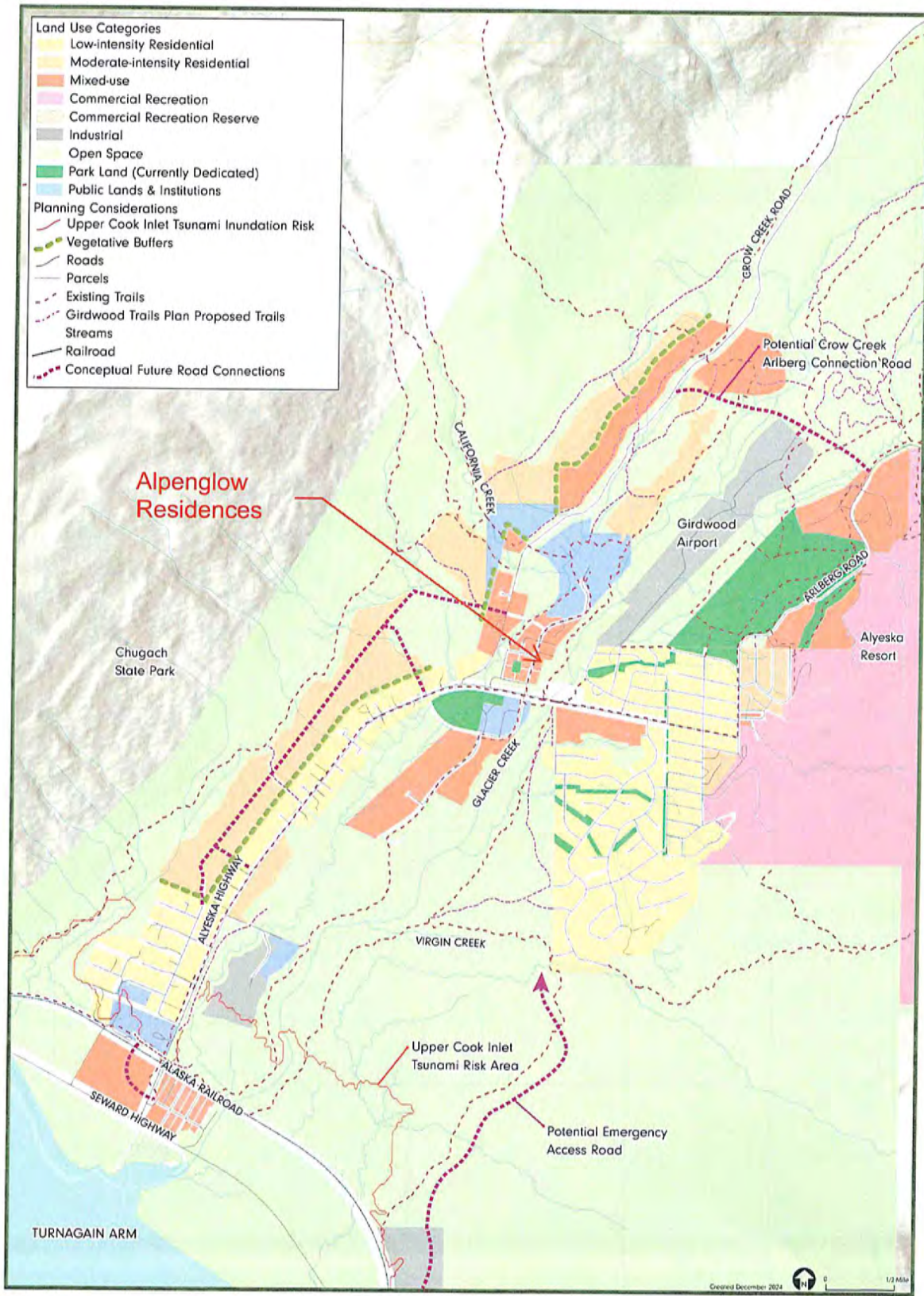
MOA Planning Department Process

Note: Planning Department schedule is dependant upon receipt of all documents and information that are to be furnished by owner, such as but not limited to a Letter of Authorization for Z Architects to be the Owner's Representative for the purpose of filling out applications and setting up meetings with the Planning Department.

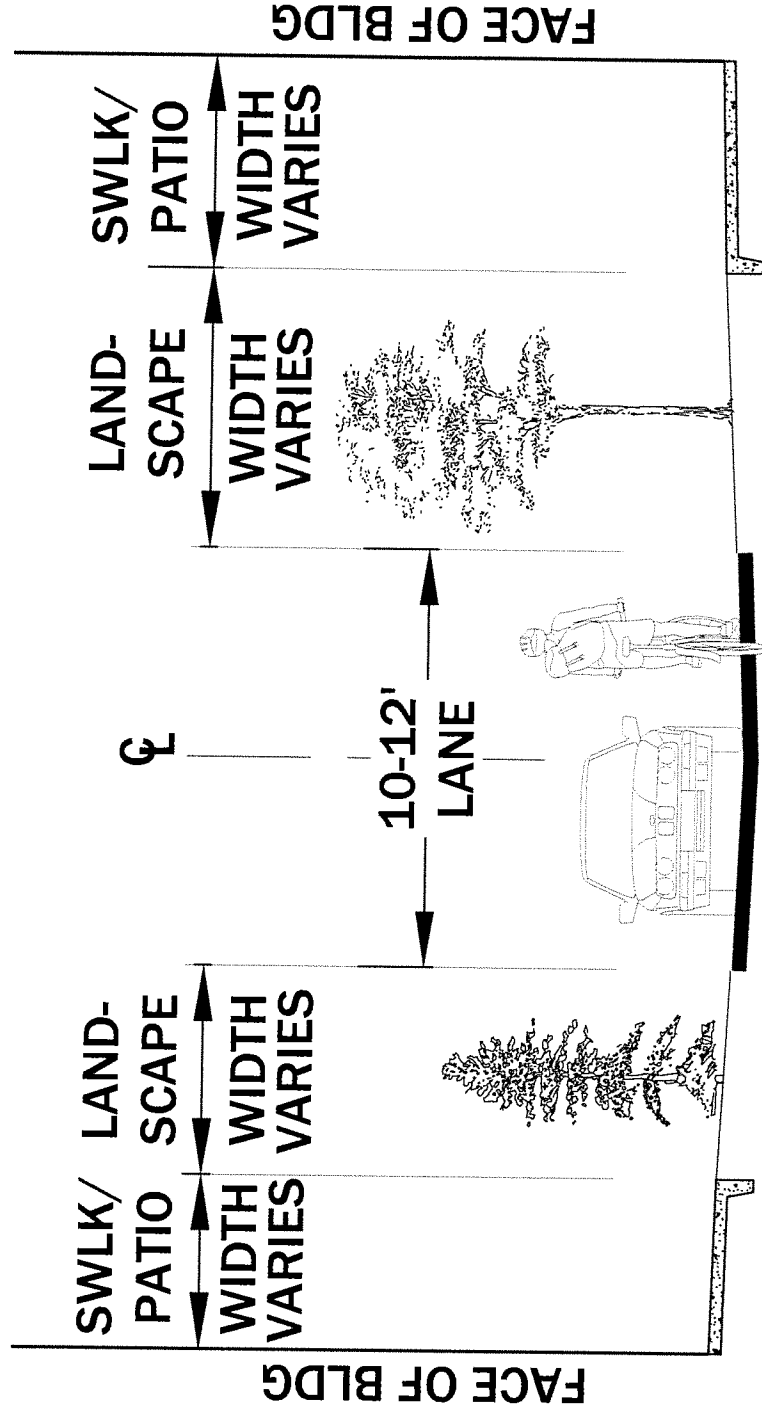
		Request addresses from MOA for Community Meeting Mailing		1/13/2025
DMP		Submit Request For Pre-Application Conference		week of Jan 20, 2025
DMP		Cut-off date for Public Process Notices to be mailed		1/20/2025
DMP		Pre-Application Conference		week of Jan 26, 2025
DMP		Cut-Off Date for submittals to Planning & Zoning Commission		2/3/2025
DMP		Public presentation at LUC (new business)		2/10/2025
DMP		Public presentation at GBOS (new business)		2/24/2025
DMP		Request a Letter of Support from LUC (old business)		3/10/2025
DMP		Request a Letter of Support from GBOS (old business)		3/17/2025
DMP		Meeting Date for Planning & Zoning Commission		4/14/2025
PERMITTING		Apply for Land Use Permit		5/2/2025

Girdwood Comprehensive Plan Land Use Plan Map

Lower Valley Enlargement



Map 3-2. Girdwood Land Use Plan Map- Lower Valley Enlargement

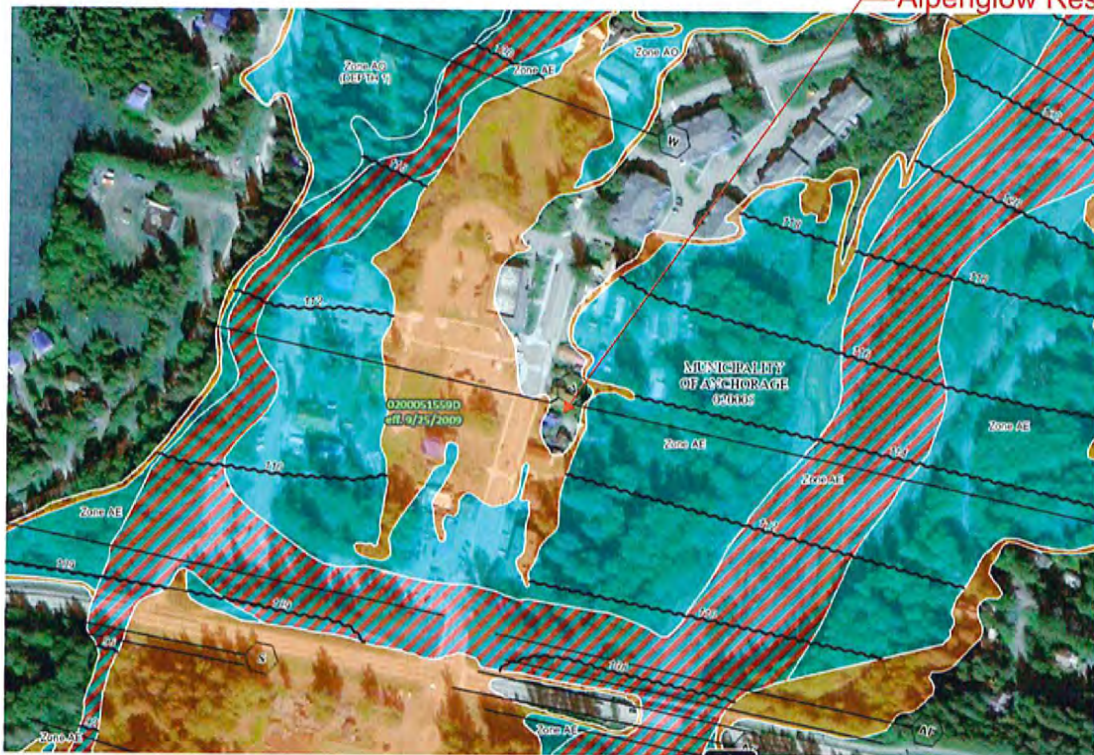


DRIVEWAY SECTION

FEMA Flood Maps for Alpenglow Residences

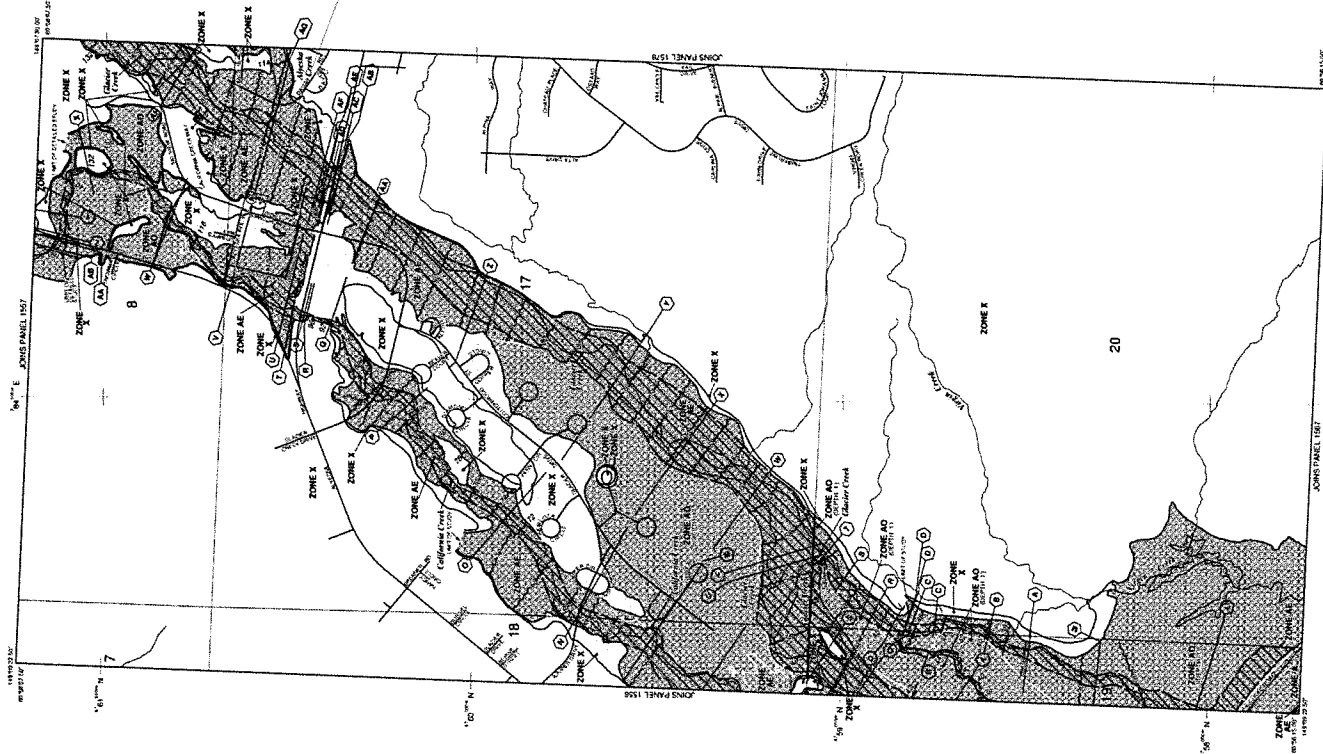


Alpenglow Residences



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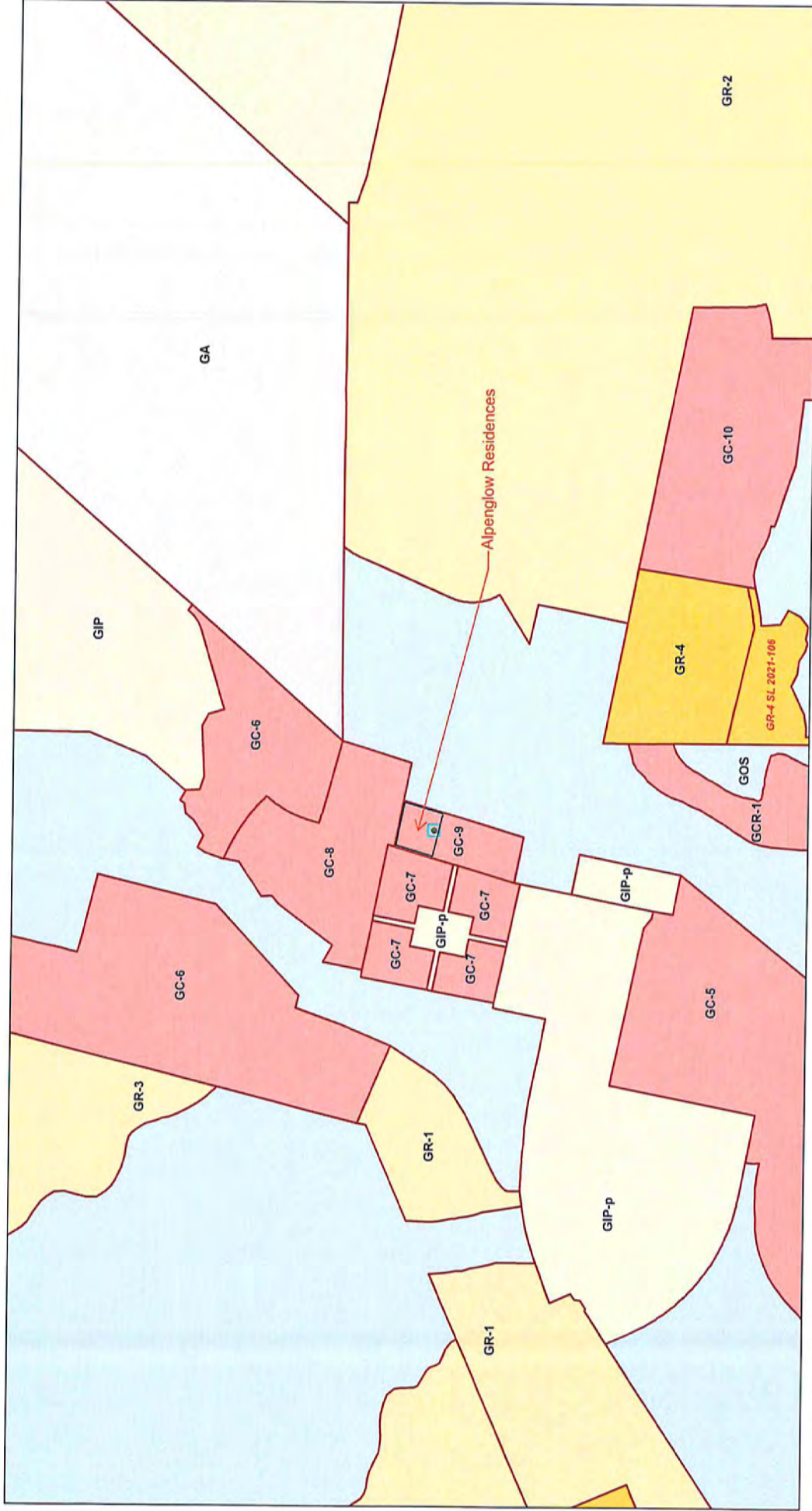
Contact The FEMA Map Service Center at 1-800-368-3615 for information on available products associated with the FEMA Flood Insurance Study and/or previously issued Letters of Map Change. The FEMA Map Service Center may also be reached by fax at 1-800-368-3620 and its website at <http://fema.mtc.fema.gov/>.

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PANEL 15590
 FLOOD INSURANCE RATE MAP
 MUNICIPALITY OF
 ANCHORAGE,
 ALASKA
 ANCHORAGE DIVISION, COUNTY
 OF MATNECA
 MAP NO. 15590
 DRAWN BY: HARRIS, R. L.
 CHECKED BY: HARRIS, R. L.
 DATE: 10/1/78
 SCALE: 1" = 1/2 MILE
 MAP NUMBER
 15590
 MAP REVISED
 SEPTEMBER 21, 1980
 Federal Emergency Management Agency

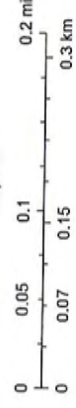
MOA Zoning



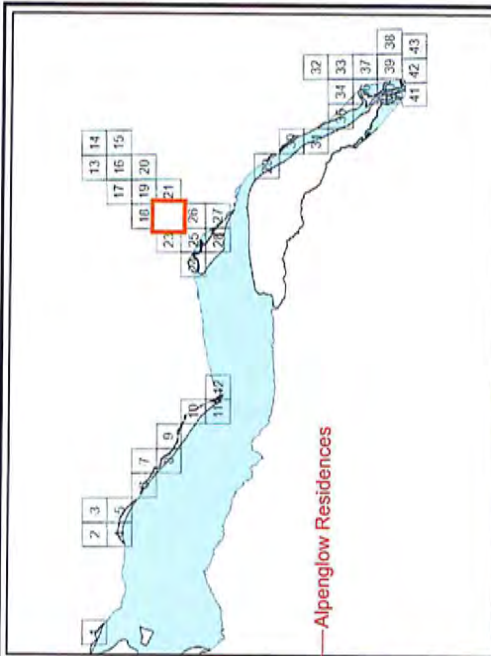
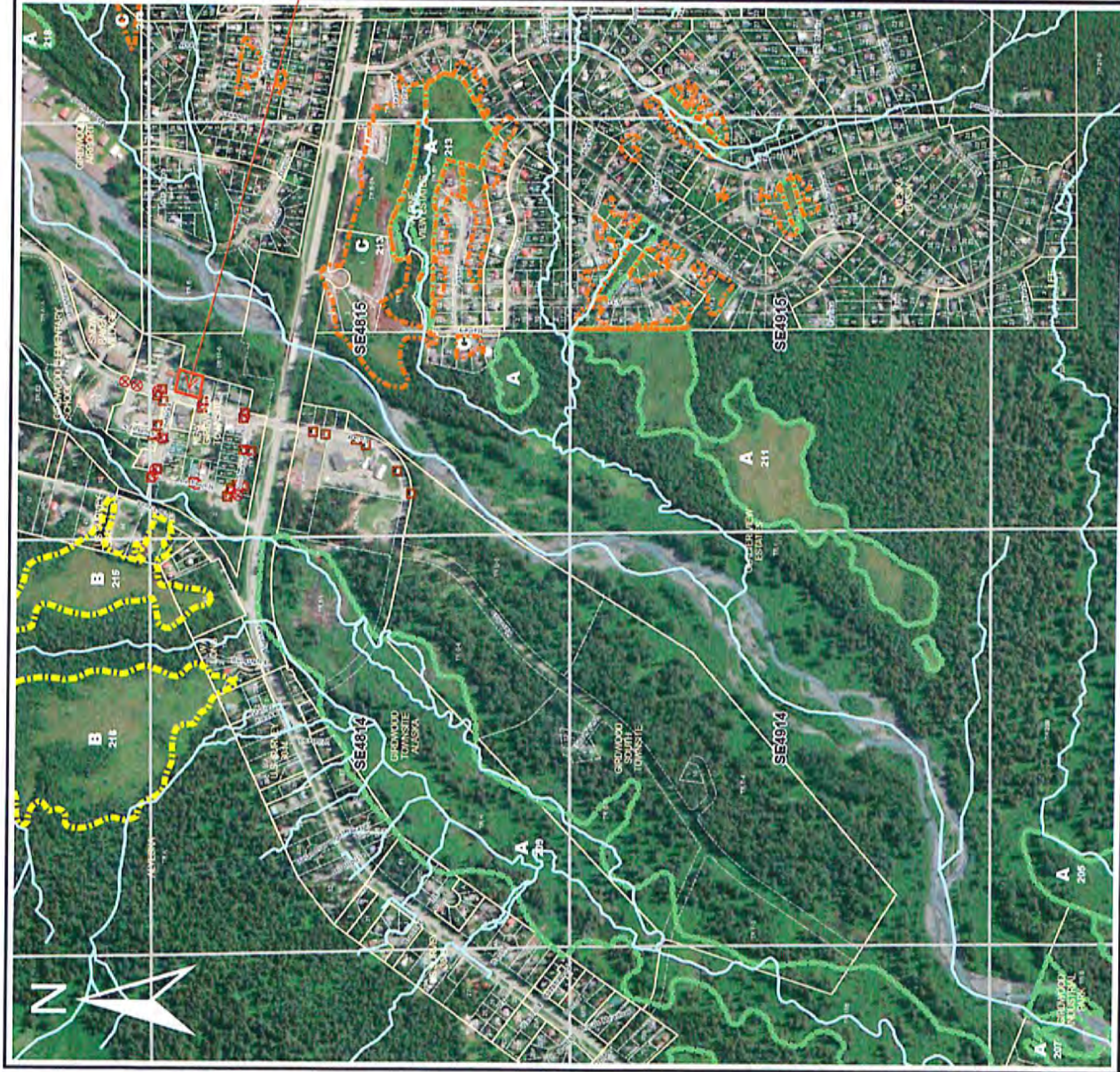
1/27/2025, 12:55:19 PM

- Zoning Outlines
- Zoning
- Multiple Family Residential
- Girdwood Residential
- Public Lands and Institutions
- Parks
- PropertyInformation_Hosted
- Commercial
- Aviation

1:9,028



Kenai Peninsula Borough, Municipality of Anchorage, State of Alaska, © OpenStreetMap, Microsoft, Esri, TomTom, Garmin, SaleGraph, METINASA, USGS, EPA, NPS, US Census Bureau, USDA, USFWS, Esri, USGS, FEMA



Legend

- A - High Valuation (Preservation)
- B - Moderate Valuation (Conservation)
- C - Low Valuation (Development)
- D - Undesignated
- P - Potential
- U - Not Classified
- Lake
- Stream
- Open Channel
- Pipe
- Subdrain
- Vegetated Swale
- Epithermal Channel
- MOA 100 Scale Grid
- Parcel Boundary
- Subdivision Boundary
- Curb Inlet
- Marshall
- Catchbasin Manhole
- Clean-out
- Drywell
- Lift Station
- OCS
- Top Intake Manhole
- Weir

Last Updated: 2/15/2025

NOTES

1. Information contained on these maps is provided for planning purposes and may be incomplete or contain errors. Please contact the Municipality to confirm project-specific applications.
2. Numbered Map Plates match the 1988 Wetlands Map.
3. Plates with an "a" suffix have been added since the 1988 Wetland Management Plan.



MOA Wetland Atlas

Vol. 3: Turnagain Arm

Turnagain Arm Wetlands Map 22
T10N R02E S17

Municipality of Anchorage



Pipe Types

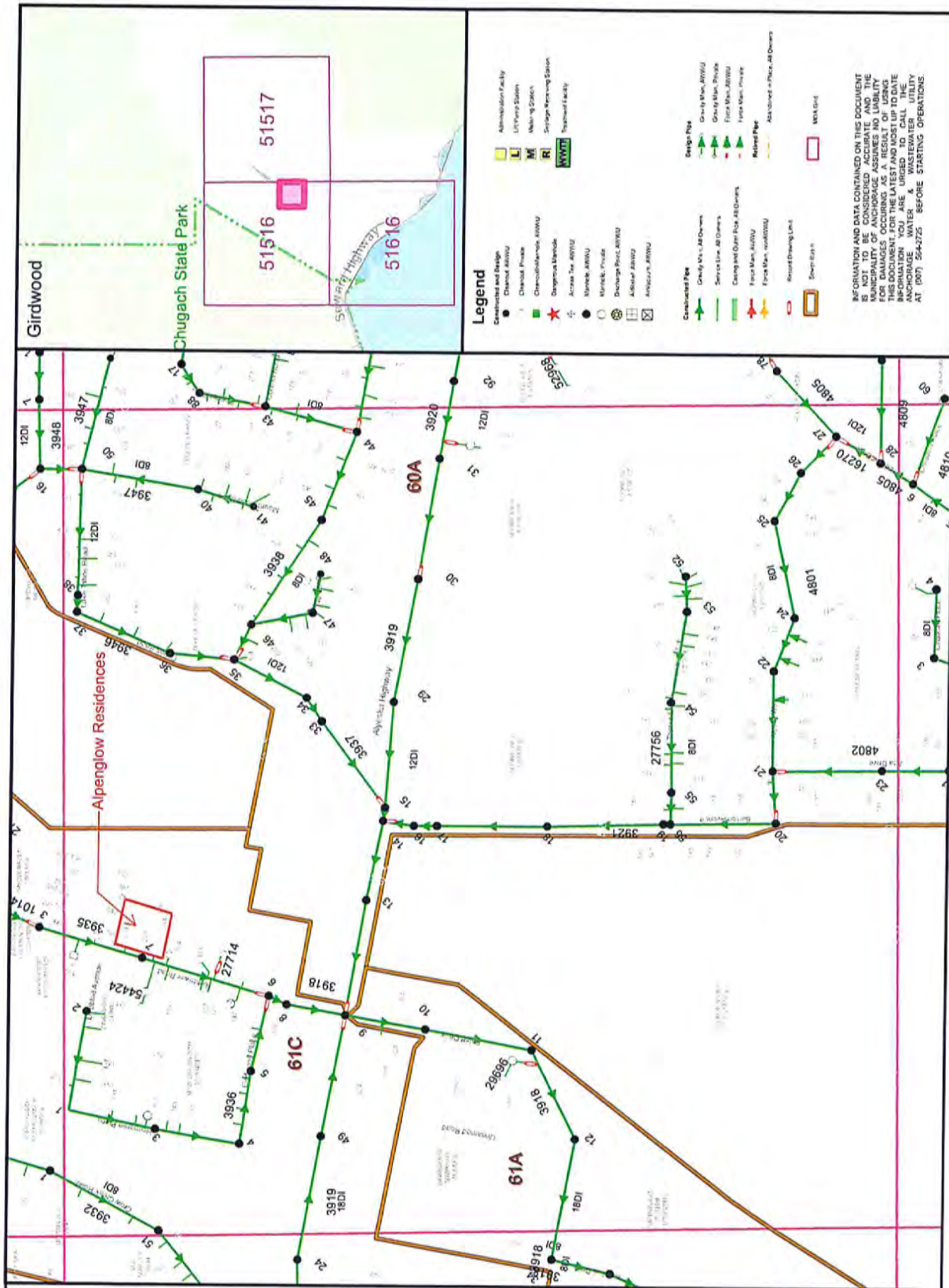
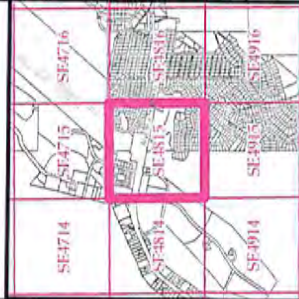
ABS
Acrylonitrile-Butadiene-Styrene
AC
Asbestos Concrete
CC
Concrete Cylinder
CI
Cast Iron
CIPP
Cured In Place Pipe
CMP
Corrugated Metal
CN
Concrete
CU
Copper
DI
Ductile Iron
FC
Fiberglass Concrete
GI
Galvanized Iron
HDPE
High Density Polyethylene
MLC
Master Lined Concrete
PE
Polyethylene
PVC
Polyvinylchloride
RC
Reinforced Concrete
ST
Steel
TC
Tie
TK
Unknown
VC
Vinyl Chloride
WC
Welded Steel
WS
Welded Steel
NP
No Print
Private System



0 150 300 600
Feet

Map Created: 01/10/2025

Legal:
NE 1/4 Sec17 T10N R2E

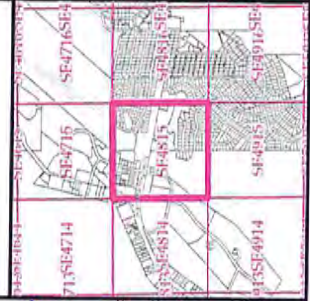


AC	Acrylonitrile-Butadiene-Styrene
ABS	Acrylonitrile Butadiene Styrene
AC	Asbestos Concrete
CC	Concrete Cylinders
CC	Cast in place
CCP	Cured In Place Pipe
CMP	Corrugated Metal
CN	Concrete
CJ	Copper
CU	Ductile Iron
DI	Grouted Concrete
GI	Galvanized Steel
HDC	High Density Polyethylene
MLC	Mortar Lined Concrete
PE	Polyethylene
PVC	Polyvinylchloride
RC	Reinforced Concrete
ST	Steel
TE	Tecktile
UNK	Unknown
VCS	Vitrified Clay
WC	Welded Steel
WST	Welded Steel
NP	No Print
*	Private System



Map Created: 01/10/2025

Legal:
NE 1/4 Sec17 T10N R2E

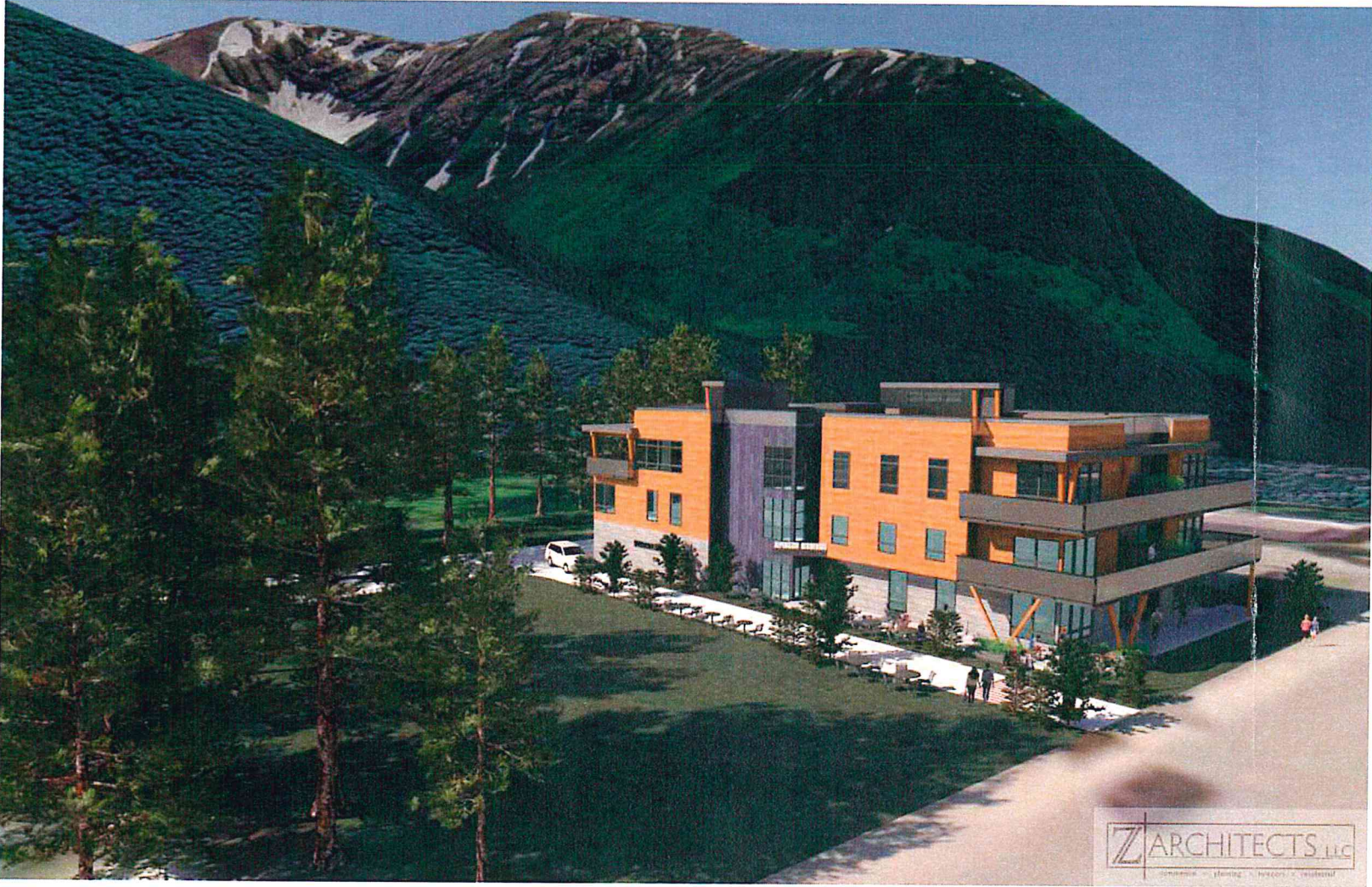


Water Distribution System

INFORMATION AND DATA CONTAINED ON THIS DOCUMENT IS NOT TO BE CONSIDERED ACCURATE AND THE MUNICIPALITY OF ANCHORAGE ASSUMES NO LIABILITY FOR DAMAGES OCCURRING AS A RESULT OF USING THIS DOCUMENT, FOR THE LATEST AND MOST UP TO DATE INFORMATION YOU ARE URGED TO CALL THE ANCHORAGE WATER & WASTEWATER UTILITY AT (907) 564-2725 BEFORE STARTING OPERATIONS.

ALPENGLOW RESIDENCES MIXED USE DEVELOPMENT

204 Hightower Road, Girdwood, Alaska



ZARCHITECTS LLC
commercial • planning • interiors • residential
G I R D W O O D , A L A S K A
BOX 842 99587
PH 907.783.1090
ZARCHITECTS@ALASKA.NET

- Survey

49TH STAR SURVEYING
JEREMY A. HURST
GIRDWOOD, ALASKA
- Civil

TRIAD ENGINEERING
GRANT MATTHEWS
ANCHORAGE, ALASKA
- Landscap

EARTHSCAPE
ELISE HUGGINS
ANCHORAGE, ALASKA
- Structural

ENNOVATIVE. LLC
JEFFREY S. ROBERTSON,
ANCHORAGE, ALASKA
- Mechanical

T3 ALASKA
ALEC C. THOMSON
ANCHORAGE, ALASKA
- Electrical

T3 ALASKA
SAMANTHA REDICK
ANCHORAGE, ALASKA

BUILDING AREA

FIRST FLOOR (COMMERCIAL & GARAGE)	5,539 SF
SECOND FLOOR (RESIDENTIAL & COMMERCIAL)	5,657 SF
THIRD FLOOR (RESIDENTIAL)	5,412 SF
TOTAL GROSS BUILDING AREA	16,608 SF

PROJECT INFORMATION

THIS PROJECT IS A MIXED USE DEVELOPMENT WITH COMMERCIAL SPACE ON THE FIRST FLOOR AND SECOND FLOOR AND RESIDENTIAL SPACE ON THE SECOND AND THIRD FLOOR.

ADDRESS

204 HIGHTOWER ROAD, GIRDWOOD AK 99587

LEGAL DESCRIPTION

NEW GIRDWOOD TOWNSITE
BLOCK 3, LOT 2

ZONING INFORMATION

ZONING:

FLOOD ZONE:

BASE FLOOD ELEVATION (BFE)

LOWEST FLOOR MINIMUM ELEVATION BFE +1'

BUILDING HEIGHTS ALLOWABLE:

FRONT YARD SETBACK:

SIDE YARD SETBACK:

REAR YARD SETBACK:

gC-9

AE, X

113 FT

114 FT

35 FT

16 FT MIN, 20 FT MAX⁹

10 FT⁹

10 FT

DRAWING INDEX

- T1.1 COVER SHEET
- A0.0 LOCATION MAP
- A0.00 VICINITY MAP
- R1.1 RENDERINGS
- R1.2 RENDERINGS
- R1.3 RENDERINGS

SURVEY

ASBUILT SURVEY LOTS 1 & 2 BLOCK 3

CIVIL

- C3.0 GRADING PLAN
- ~~DRIVEWAY SECTION~~

LANDSCAPE

- L1.0 DEVELOPMENT MASTER PLAN_LANDSCAPE ANALYSIS

ARCHITECTURAL

- A0.1 SITE PLAN PHASE 1 & 2
- A0.2 SITE PLAN
- A0.3 CODE PLAN
- A0.5 COMMUNITY PARKING ACCESS PLAN
- ~~A0.6 ACCESSIBILITY DIAGRAMS~~
- ~~A0.7 TYPE D DIAGRAMS~~
- ~~A0.8 TOILET ROOM MOUNTING HEIGHTS~~
- A1.1 FIRST FLOOR PLAN
- A1.2 SECOND FLOOR PLAN
- A1.3 THIRD FLOOR PLAN
- A1.4 ROOF PLAN
- A1.8 UNIT 1 FLOOR PLAN
- A1.9 UNIT 2 FLOOR PLAN
- A1.10 UNIT 3 FLOOR PLANS
- A1.11 UNIT 4 FLOOR PLANS
- A1.12 UNIT 5 FLOOR PLANS

- A2.1 ELEVATIONS
- A3.1 BUILDING SECTIONS
- A3.2 BUILDING SECTIONS
- ~~A5.1 WALL TYPES~~
- ~~A5.2 FLOOR AND ROOF TYPES~~
- ~~A5.3 EXTERIOR WALL DETAILS~~
- ~~A5.4 ROOF DETAILS~~

STRUCTURAL

- ~~A1.1 FIRST FLOOR PLANS STRUCTURAL MARKUPS~~
- ~~A1.1 FIRST FLOOR PLANS STRUCTURAL MARKUPS~~
- ~~A1.2 SECOND FLOOR PLANS STRUCTURAL MARKUPS~~

ELECTRICAL

- ~~E0.1 ELECTRICAL SPECIFICATIONS AND ABBREVIATIONS~~
- ~~E1.1 ELECTRICAL SITE PLAN~~
- ~~E2.1 FIRST FLOOR LIGHTING PLAN~~
- ~~E2.2 SECOND FLOOR LIGHTING PLAN~~
- ~~E2.3 THIRD FLOOR LIGHTING PLAN~~
- ~~E3.1 FIRST FLOOR POWER & SIGNAL PLAN~~
- ~~E3.2 SECOND FLOOR POWER & SIGNAL PLAN~~
- ~~E3.3 THIRD FLOOR POWER & SIGNAL PLAN~~
- ~~E3.4 ROOF LEVEL POWER & SIGNAL PLAN~~
- ~~E4.1 SINGLE LINE DIAGRAMS~~
- ~~E5.1 LIGHT FIXTURE SCHEDULE~~

DEVELOPMENT MASTER PLAN
2-24-25



ZARCHITECTS LLC
commercial • planning • interiors • residential
194 OLYMPIC MOUNTAIN LOOP
GIRDWOOD AK, 99587
(907) 783-1090
LLC CORPORATE #10072843

ALPENGLOW RESIDENCES - PHASE I
204 HIGHTOWER ROAD, GIRDWOOD, ALASKA
DESIGN DEVELOPMENT

COVER SHEET

JOB NO. 25-02

SUBMITTAL: 02.24.25

DRAWN BY: ET

CHECKED BY: MAZ

REVISIONS:

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T1.1



Google Earth

Image © 2021 CNES / Airbus

LOCATION MAP
SCALE: NO SCALE

DEVELOPMENT MASTER PLAN
2-24-25



DATE:

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LLC CORPORATE #10072843

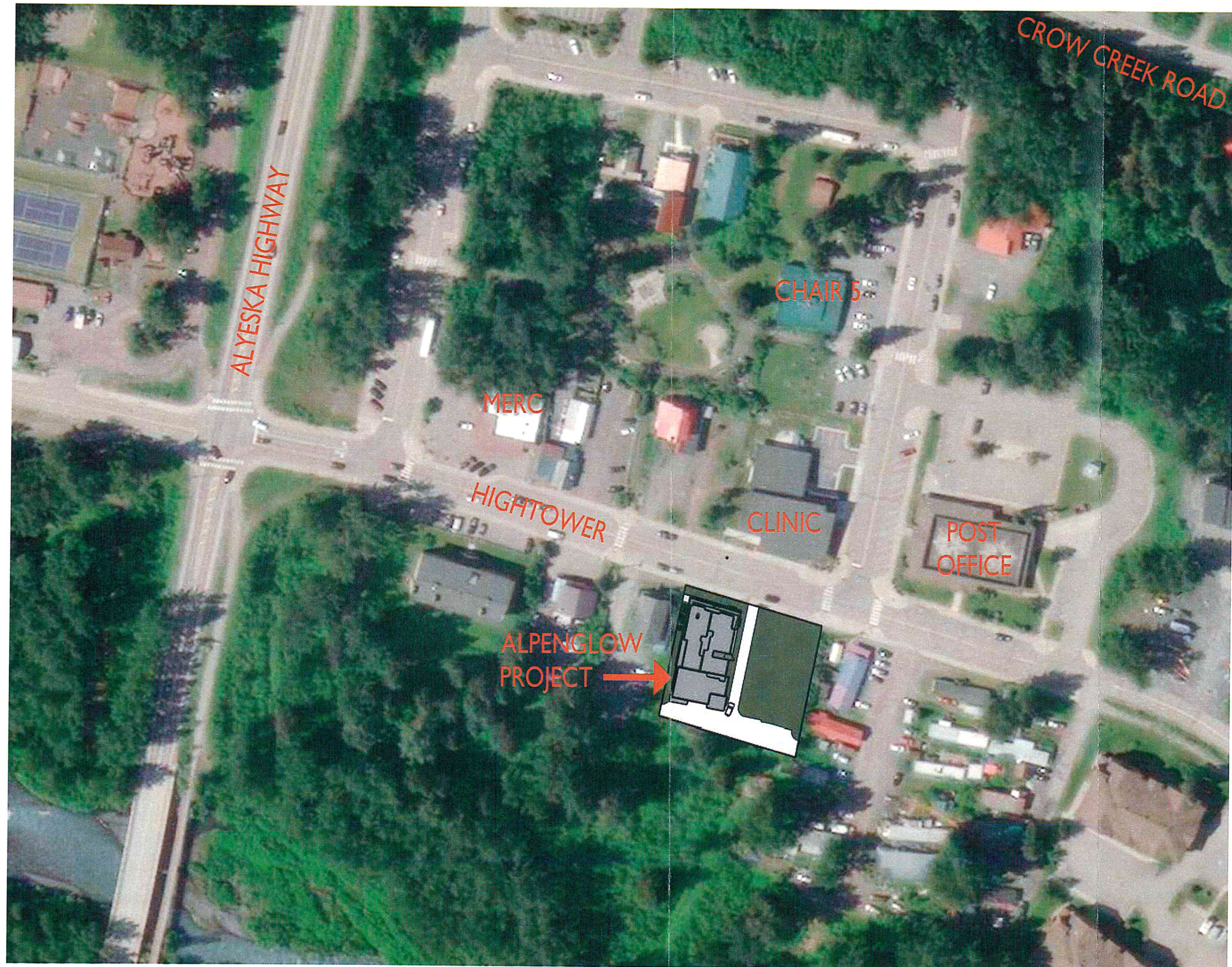
ALPENGLOW RESIDENCES - PHASE I
204 HIGHTOWER ROAD, GIRDWOOD, ALASKA
DESIGN DEVELOPMENT

LOCATION MAP

JOB NO. 25-02
SUBMITTAL: 02.24.25
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1 VICINITY MAP
SCALE: NO SCALE



DEVELOPMENT MASTER PLAN
2-24-25



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VICINITY MAP

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SCALE: NO SCALE

DEVELOPMENT MASTER PLAN
2-24-25



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RENDERINGS

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DESIGN DEVELOPMENT

RENDERINGS

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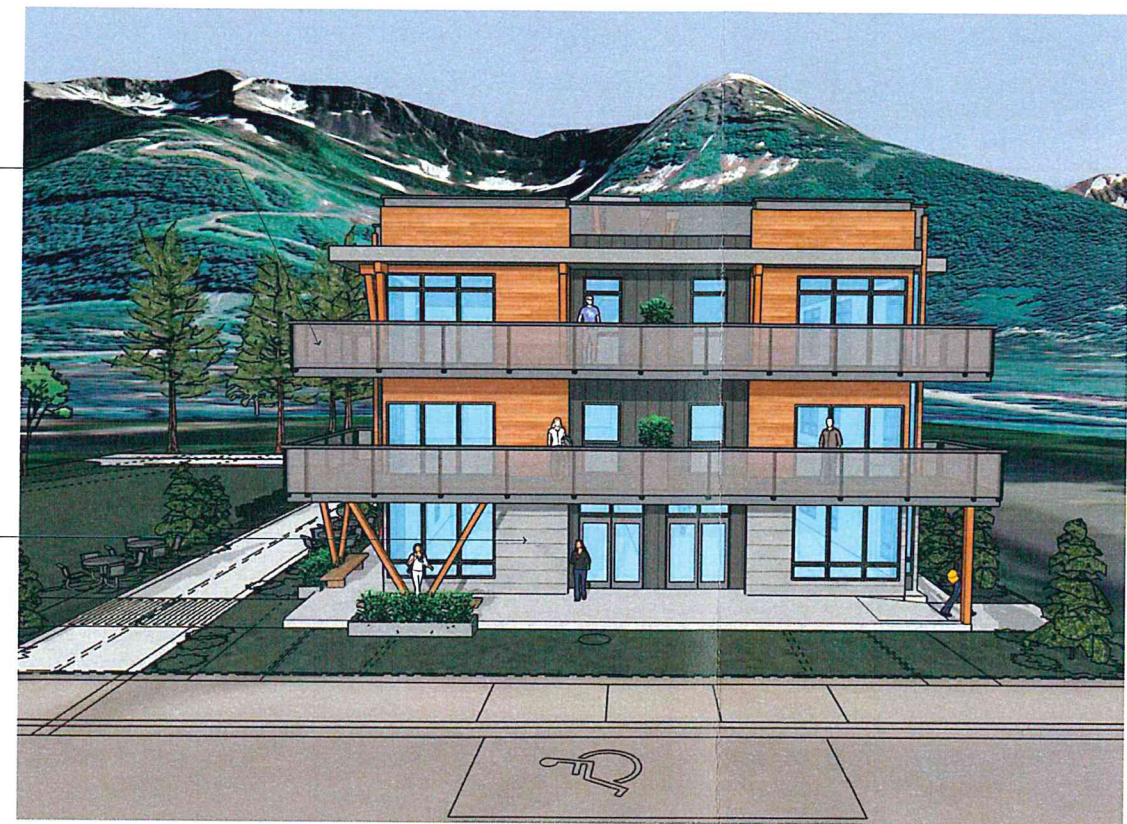
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PERSPECTIVE LOOKING SOUTHEAST

PERFORATED METAL
GUARDRAIL

HORIZONTAL TEXTURED
ARCHITECTURAL
CONCRETE PANELS



EAST (HIGHTOWER) ELEVATION



SOUTH ELEVATION

VERTICAL METAL PANELS

HORIZONTAL CEDAR
SIDING OR CEDAR
APPEARANCE PHENOLIC
RESIN PANELS



WEST ELEVATION

1 IMAGES FROM THE MODEL
SCALE: NO SCALE

DEVELOPMENT MASTER PLAN
2-24-25



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ALPENGLOW RESIDENCES - PHASE I
204 HIGHTOWER ROAD, BIRDWOOD, ALASKA
DESIGN DEVELOPMENT

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LEGEND

- | | | | |
|--|----------------|--|-----------------------------------|
| | Comm. Pedestal | | Water Valve |
| | Fire Hydrant | | Sign |
| | Utility Pole | | Guy Wire |
| | Gas Meter | | Light Pole |
| | Sewer Manhole | | Found Monument |
| | Elec. Meter | | Found 5/8" Rebar |
| | Elec. Handhole | | Found Yellow Plastic Cap |
| | Transformer | | Set 5/8" Rebar W/ 2" Aluminum Cap |
| | Storm Manhole | | |
| | Catch Basin | | |

Base Flood Elevation Contour

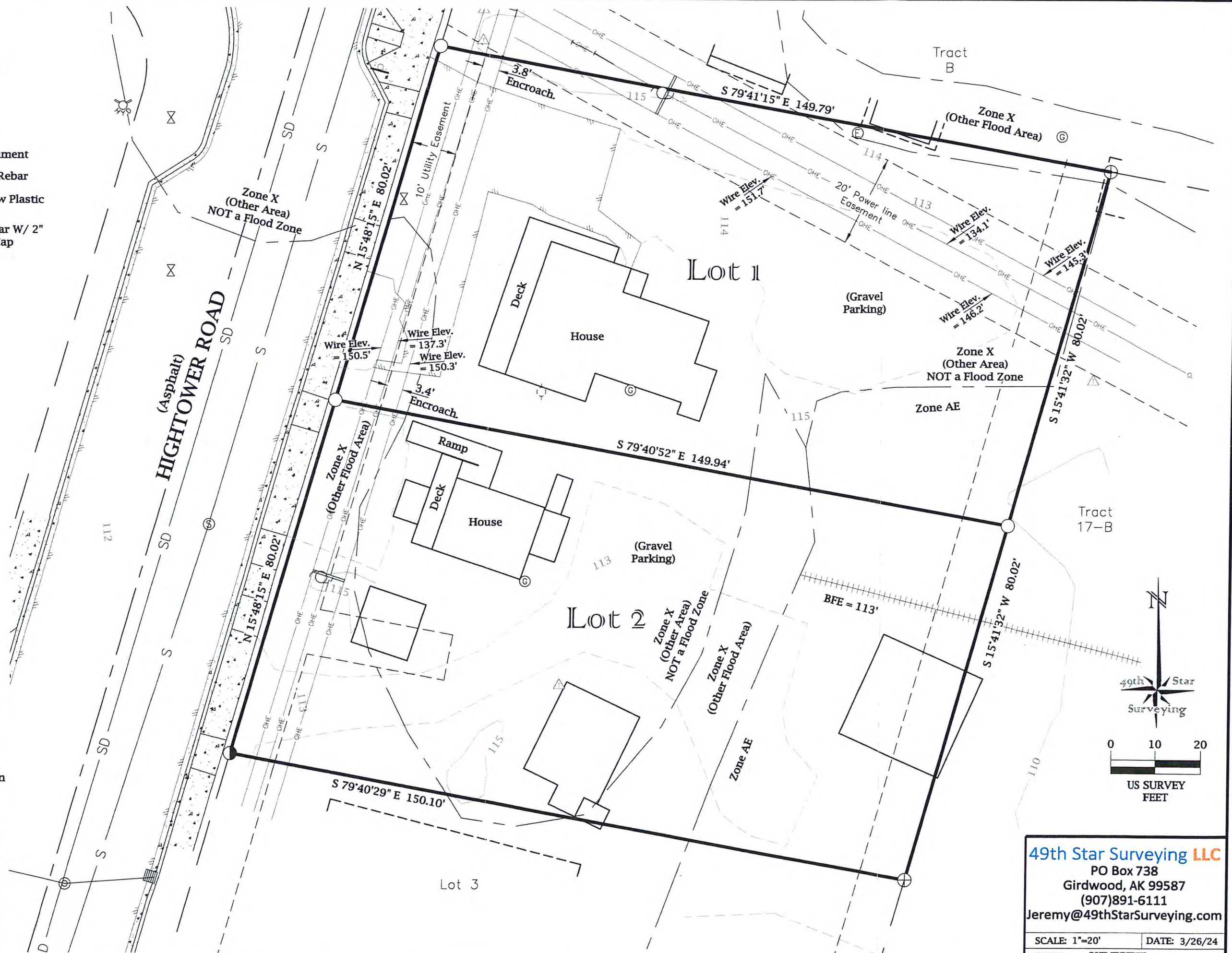
FEMA Flood Flood Zone Boundary



NOTES

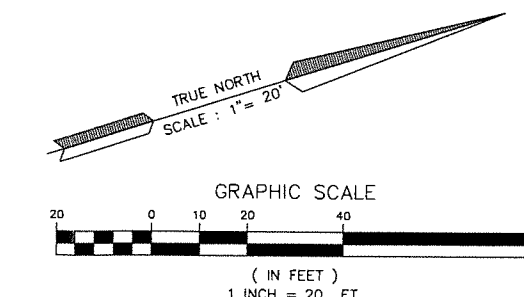
- All dimensions shown are grid bearings, and ground distances with vertical on the GAAB datum.
- 49th Star has conducted a physical survey of the property and all details shown on this Asbuilt Survey are correct.
- All disturbed areas not covered with authorized installations are required to be revegetated.
- Bear resistant refuse containers to be utilized
- Easements shown are from the record subdivision Plat. No additional research has been performed.
- Zone GC-9 allows for a 0-foot side setback if certain conditions are met.

ASBUILT SURVEY
Lots 1 & 2, Block 3,
New Girdwood Townsite
Alaska Subdivision,
Girdwood, AK



49th Star Surveying LLC
PO Box 738
Girdwood, AK 99587
(907)891-6111
Jeremy@49thStarSurveying.com

SCALE: 1"=20' DATE: 3/26/24
SHEET: OHE-EXHIBIT

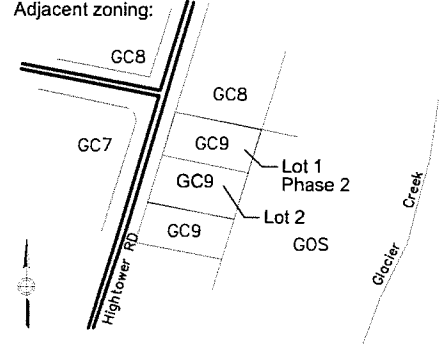


SHEET
C3 OF 5

Landscape Analysis

21.09.070 Girdwood Site Development Standards

LANDSCAPING REQUIREMENTS (Title 21.09)
Zoning: GC9
Adjacent zoning:



21.09.070 E. Landscaping, Vegetation, and Tree Retention

4. Per Table 21.09-10:
- a. Minimum Vegetation Coverage:
Multifamily Residential 20%;
Commercial 10%.
Total Permeable Surface including natural vegetation:
Multifamily Residential 40%;
Commercial 20%
- b. Required vegetated areas may be located anywhere on the site or lot. Individual vegetated areas shall be a min. of 200 square feet, with no dimension less than 10 feet.
- c.i. Evergreen trees min. of 5' tall, height:spread ratio 5:3. (Field collected shall be min. 24" height, and deciduous trees a minimum of 8'tall, 1.5" cal. planted at average intervals not greater than 15 feet on center. 50% max. deciduous.
- c.ii. 3 shrubs/tree min. height 18"; groundcover or mulches for complete coverage after 3 years.

Minimum Vegetation Coverage
Lot 2 Area = 11,948 SF
10% = 2,390 SF (Commercial)
1,195

Minimum Permeable Surface
Lot 2 Area = 11,948 SF
20% = 2,390 SF (Commercial)

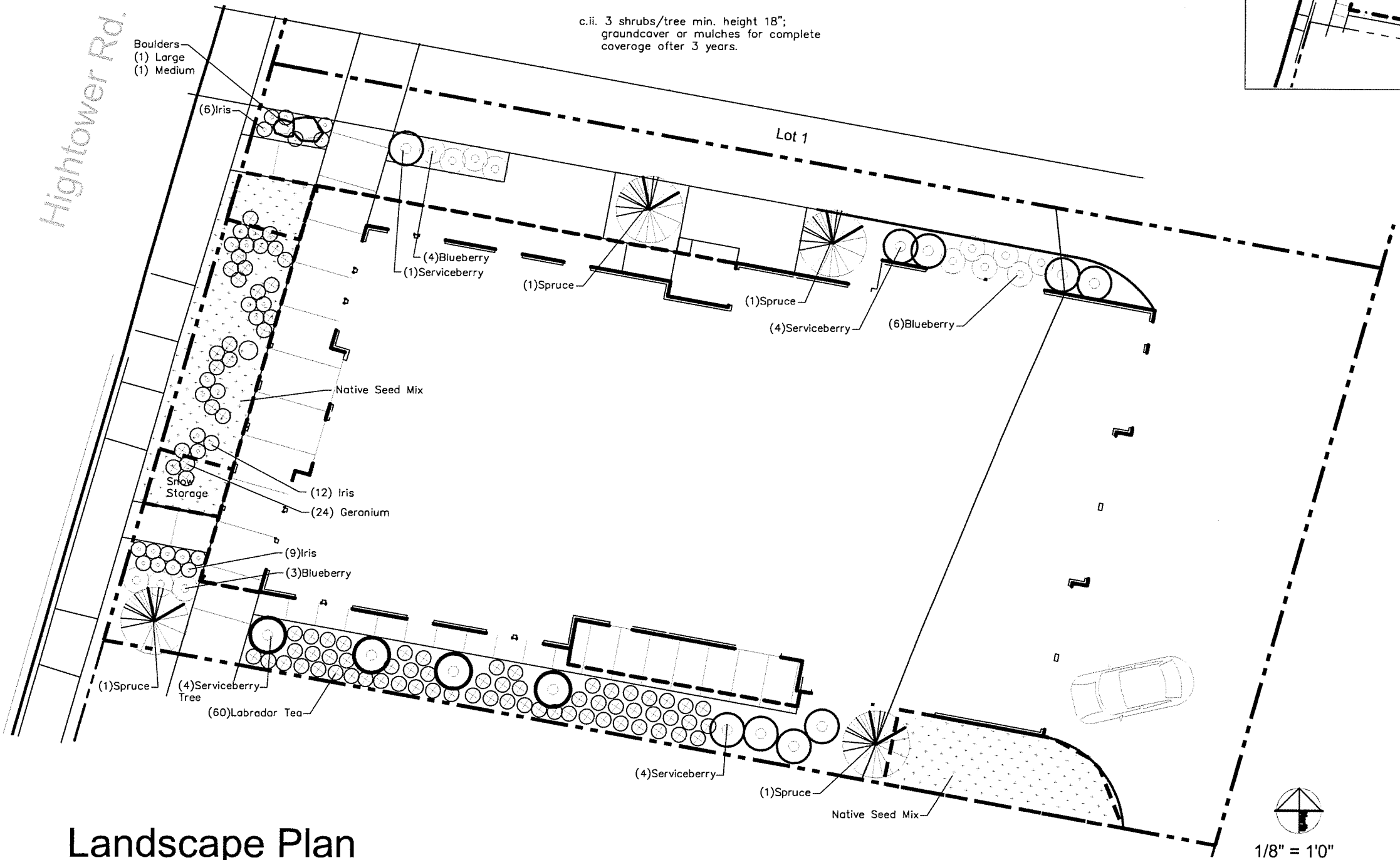
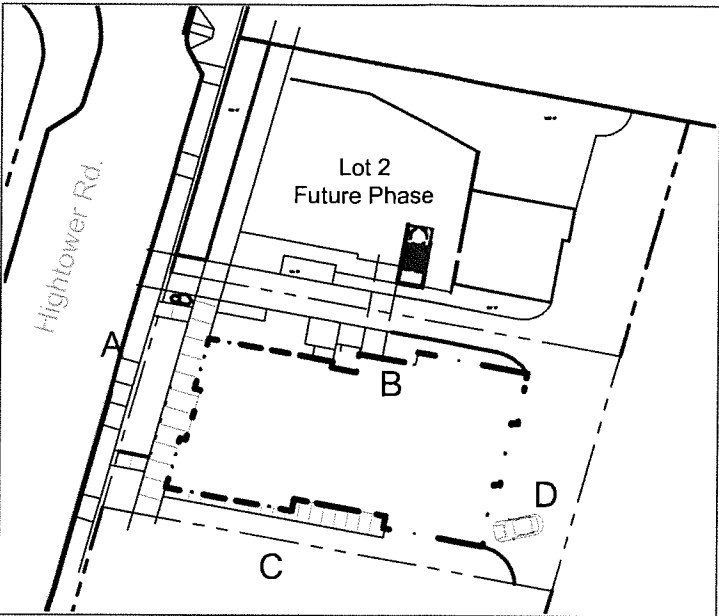
Permeable Surface Summary: Area (+/-)

Vegetation Coverage
A Highland 640 SF Landscape Beds
B North Bldg. 404 SF Landscape Beds
C South Bldg. 1,080 SF Landscape Beds
Sub-Total 2,124 SF (-266)

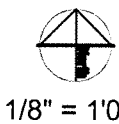
D Woonerf 3,728 SF

Total Permeable Surface = 5,852 SF
(+2,124)

Area Summary Diagram



Landscape Plan



ALPENGLOW RESIDENCES

204 HIGHTOWER ROAD, GIRDWOOD, ALASKA

DESIGN DEVELOPMENT

DEVELOPMENT MASTER PLAN

JOB NO. 22-12

DRAWN BY: mm.dd.yy

CHECKED BY: maz

REVISIONS: maz

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L1.0

TABLE 21.09.070, NOTE 3, K:
20% OF THE TOTAL AREA OF THE SITE USED FOR PARKING,
ACCESS DRIVES, WALKWAYS (NOT COVERED).

WALKWAYS AND TERRACES: UP TO 50% OF THE SIDE & REAR
SETBACK, ALL OF FRONT SETBACK

21.07.090.11.D)iv.
THE MINIMUM WIDTH OF A DRIVEWAY PROVIDING ACCESS FOR UP TO 10 PARKING SPACES SERVING A TOWNHOUSE OR MULTIFAMILY RESIDENTIAL USE FROM A LOCAL STREET OR ALLEY IS 12 FEET, EXCEPT THAT STRAIGHT (NON-CURVING) DRIVEWAY SEGMENTS ON THE DEVELOPMENT PROPERTY (I.E., NOT IN THE DRIVEWAY APPROACH) MAY BE 10 FEET.



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(907) 783-1090
LLC CORPORATE #10072843

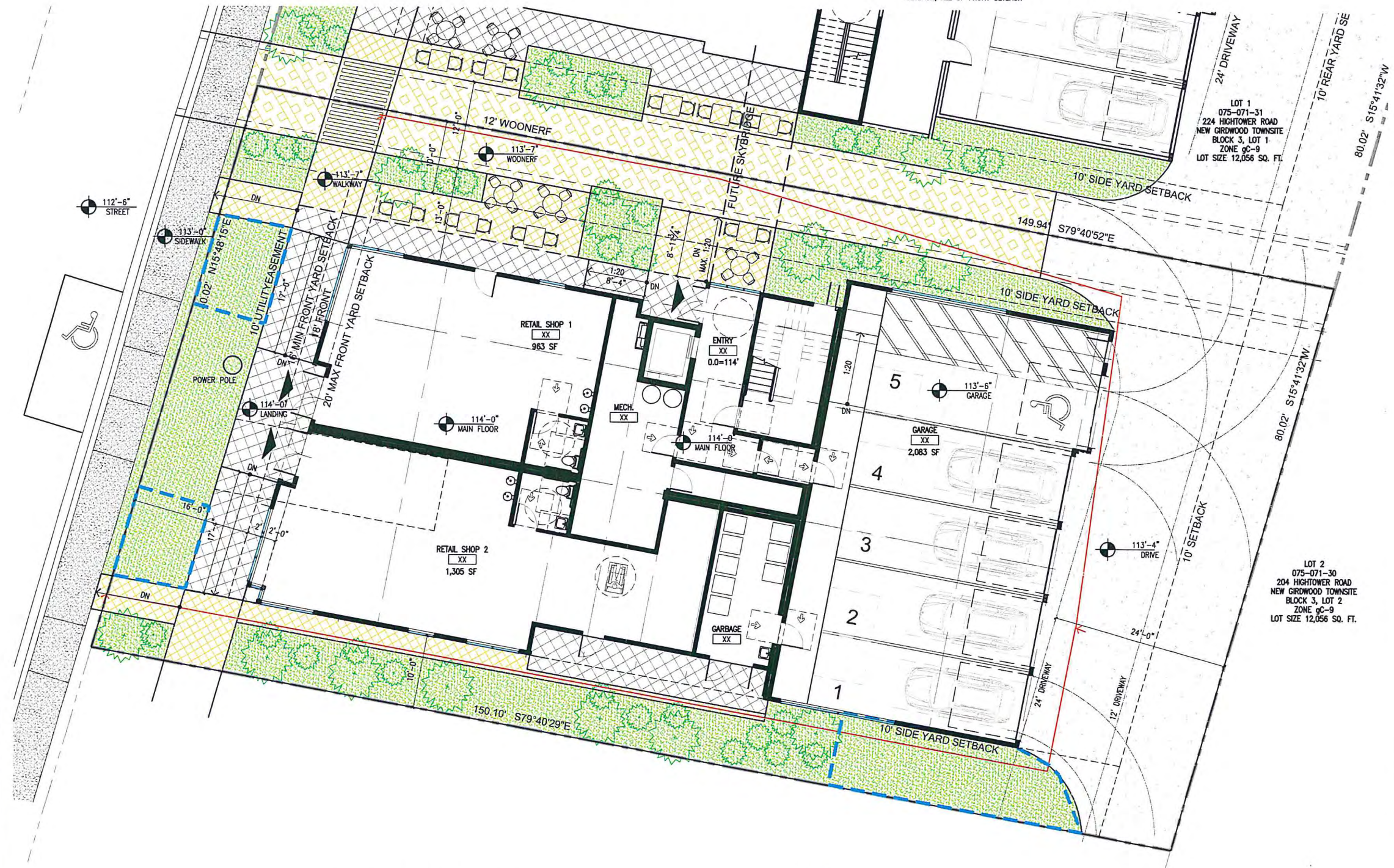
ALPENGLOW RESIDENCES - PHASE I
204 HIGHTOWER ROAD, GIRDWOOD, ALASKA
DESIGN DEVELOPMENT

SITE PLAN

JOB NO. 25-02
■ ■ ■ ■ ■ ■ ■ ■ ■ ■
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DRAWN BY: IS
CHECKED BY: MAZ
REVISIONS:

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A0.2



ENTRANCE / EXIT

PERMEABLE SURFACE
- DRIVEWAY

DRIVEWAY

WALKWAYS/ PAVERS /WITH HEATED SURFACES FOR MELTING SNOW

COVERED WALKWAYS

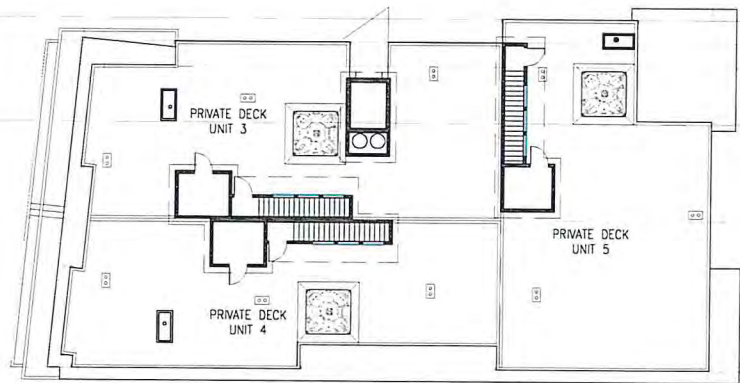
SNOW STORAGE

FIRE HOSE

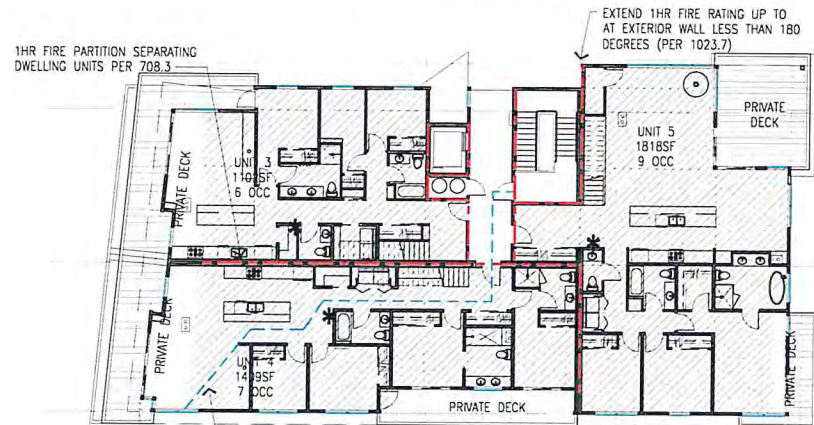
1 SITE PLAN
SCALE: 1/8" = 1'-0"



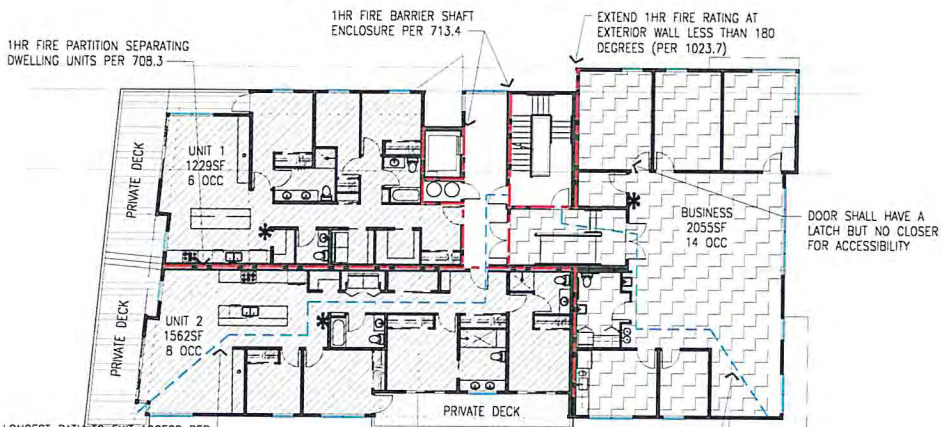
DEVELOPMENT MASTER PLAN
2-24-25



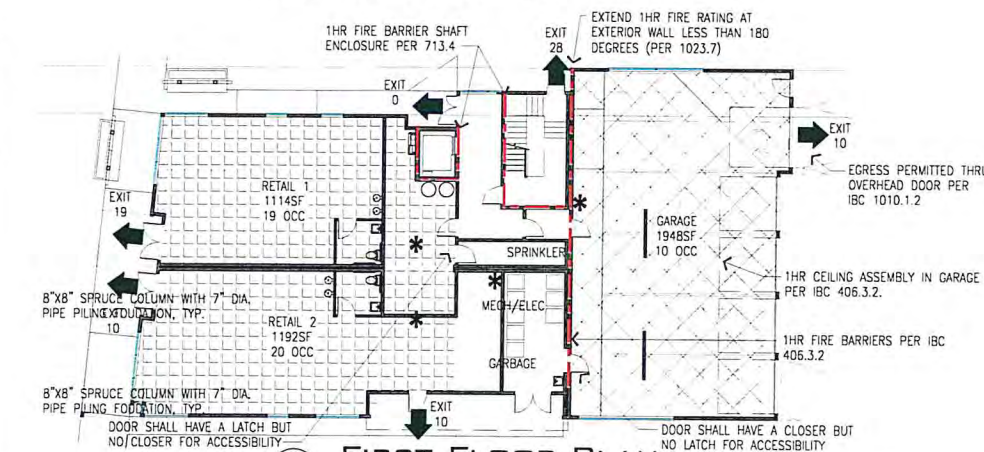
4 ROOF PLAN
SCALE: 1/16" = 1'-0"



3 THIRD FLOOR PLAN
SCALE: 1/16" = 1'-0"



2 SECOND FLOOR PLAN
SCALE: 1/16" = 1'-0"



1 FIRST FLOOR PLAN
SCALE: 1/16" = 1'-0"

BUILDING CODE INFORMATION
2021 INTERNATIONAL BUILDING CODE
2021 INTERNATIONAL FIRE CODE
2021 INTERNATIONAL MECHANICAL CODE
2018 UNIFORM PLUMBING CODE, CHAPTER 4 (PLUMBING FIXTURES)
2020 NFPA 70 ELECTRICAL CODE
2017 ICC/ANSI A117.1 AND IBC CHAPTER 11 FOR ACCESSIBILITY
2010 ADA STANDARDS FOR ACCESSIBLE DESIGN

PROJECT SUMMARY
THIS PROJECT IS A NEW THREE STORY MULTI-USE SPRINKLERED BUILDING WITH M AND S-2 OCCUPANCIES ON THE FIRST STORY, B AND R2 (CONDOMINIUMS) ON THE SECOND STORY AND R2 (CONDOMINIUMS) ON THE THIRD STORY. THE OCCUPIED ROOF DECK IS DIVIDED INTO THREE PRIVATE ROOF DECK AREAS, EACH CONNECTED TO A DWELLING UNIT ON THE THIRD STORY BY A STAIRCASE WITHIN THE UNIT.

GROSS FLOOR AREA SUMMARY (FIRE AREA)
FIRST STORY AREA (M & U OCC) 5,298 GSF
HORIZONTAL PROJECTIONS OVER 1ST STORY* 971 GSF
SECOND STORY AREA (R2 & B OCC) 5,414 GSF
HORIZONTAL PROJECTIONS OVER 2ND STORY* 240 GSF
THIRD STORY AREA (R2) 5,298 GSF
HORIZONTAL PROJECTIONS OVER 3RD STORY* 464 GSF

OCCUPIED EXTERIOR SPACES UNDER BALCONIES AND ROOF PROJECTIONS THAT PROJECT OVER 4' FROM THE FACE OF THE BUILDING ARE CONSIDERED HORIZONTAL PROJECTIONS OF FLOOR NEXT ABOVE AND ARE INCLUDED IN THE FIRE AREA.

302 OCCUPANCY CLASSIFICATION
B BUSINESS (PROFESSIONAL SERVICES: PHYSICAL THERAPY)
M MERCANTILE (RETAIL SPACE)
R-2 RESIDENTIAL (CONDOMINIUMS)
S-2 STORAGE, LIGHT HAZARD (ENCLOSED PARKING GARAGE)

406.6.2 ENCLOSED PARKING GARAGE VENTILATION
MECHANICAL VENTILATION AND EXHAUST SYSTEM SHALL BE PROVIDED PER IMC.

406.2.9.1.1 PARKING GARAGE SEPARATION TO MECHANICAL
PARKING GARAGES SHALL BE SEPARATED FROM ROOMS WITH FUEL FIRED APPLIANCES BY DOUBLE DOOR VESTIBULE. MECHANICAL ROOM IS SEPARATED FROM GARAGE BY TWO CONSECUTIVE DOORS.

406.6.3 ENCLOSED GARAGE AUTOMATIC SPRINKLER SYSTEM
A SPRINKLER SYSTEM IS REQUIRED IN ACCORDANCE WITH 903.2.10 (NFPA 13)

420.2 SEPARATION WALLS
WALLS SEPARATING DWELLING UNITS AND BETWEEN DWELLING UNITS AND OTHER OCCUPANCIES SHALL BE CONSTRUCTED AS FIRE PARTITIONS PER 708.

420.3 HORIZONTAL SEPARATION
FLOORS SEPARATING DWELLING UNITS AND BETWEEN DWELLING UNITS AND OTHER OCCUPANCIES SHALL BE CONSTRUCTED AS HORIZONTAL ASSEMBLIES PER 711.

420.4 AUTOMATIC SPRINKLER SYSTEM
R OCCUPANCIES SHALL BE EQUIPT WITH AN AUTOMATIC SPRINKLER SYSTEM PER 903.2.8.

420.5 FIRE ALARM SYSTEM AND SMOKE ALARMS
FIRE ALARM SYSTEM AND SMOKE ALARMS SHALL BE PROVIDED IN GROUP R-2 OCCUPANCIES IN ACCORDANCE WITH SECTION 907.2.6, 907.2.8 AND 907.2.9 OR 907.2.11.

502.2 BUILDING ADDRESS
BUILDING ADDRESS SHALL BE INSTALLED ON THE OUTSIDE OF THE BUILDING, IN VIEW OF THE ACCESS ROAD, WITH 4" HIGH (MIN) LETTERS/NUMBERS AND 3/8" WIDE (MIN) STROKE.

503.1.4 OCCUPIED ROOFS
OCCUPIED ROOF AREAS ARE NOT INCLUDED IN THE BUILDING AREA. THEY ARE NOT CONSIDERED PART OF THE BUILDING HEIGHT OR NUMBER OF STORIES.

503 BUILDING AREA (FOR ALLOWABLE BUILDING AREA AND HEIGHT CALCULATIONS)
GROSS BUILDING AREA INCLUDES ALL FLOOR AREA WITHIN THE INSIDE PERIMETER OF THE BUILDING + OCCUPIED EXTERIOR SPACES UNDER BUILDING CANOPIES TO THE OUTMOST FACE OF CANOPY SUPPORTS. GROSS FLOOR AREA EXCLUDES SHAFTS AND MEZZANINES.

TABLE 504.3 ALLOWABLE BUILDING HEIGHT
R-2, NFPA 13 (OR 13R) SPRINKLER, TYPE VB CONSTRUCTION = 60' MAX HEIGHT ABOVE GRADE PLANE.

TABLE 504.4 ALLOWABLE STORIES ABOVE THE GRADE PLANE
R-2, NFPA 13 (OR 13R) SPRINKLER, TYPE VB CONSTRUCTION = 3 STORY MAX

TABLE 506.2 ALLOWABLE BUILDING AREA
R-2, NFPA 13 SPRINKLER TYPE VB CONSTRUCTION = 21,000SF PER FLOOR MAX
R-2, NFPA 13R SPRINKLER, TYPE VB CONSTRUCTION = 7,000SF PER FLOOR MAX
ACTUAL LARGEST FIRE AREA, FIRST FLOOR = 6,261SF

508.3.3 NON-SEPARATED USES
BUILDING CLASSIFIED R2 NON-SEPARATED USES (MOST RESTRICTIVE OCCUPANCY)

601 TABLE TYPE VB CONSTRUCTION
PRIMARY STRUCTURAL FRAME OHR
BEARING WALLS EXTERIOR OHR
BEARING WALLS INTERIOR OHR
NONBEARING WALLS EXTERIOR OHR
NONBEARING WALLS INTERIOR OHR
FLOOR CONSTRUCTION OHR
ROOF CONSTRUCTION OHR

705.2 MINIMUM DISTANCE OF PROJECTIONS
THE ROOF AND BALCONY PROJECTIONS ON THE SOUTH SIDE OF THE BUILDING EXTEND TWO FEET BEYOND THE BUILDING AND 8' FROM THE LINE USED TO DETERMINE THE FSD (PROPERTY LINE). UNPROTECTED PROJECTIONS ARE PERMITTED TABLE 705.2 AND PER 705.2.3.

705.5 TABLE
FIRE-RESISTANCE RATING REQUIREMENTS FOR EXTERIOR WALL BASED ON FIRE SEPARATION DISTANCE FROM LOT LINE.
DISTANCE BETWEEN 10 & 30 FEET FOR TYPE VB = 0 HOURS FOR B, M, R, AND S-2.

705.8 MAX AREA OF EXTERIOR WALL OPENINGS BASED ON FSD
THE MAXIMUM AREA OF WALL OPENINGS PERMITTED FOR A SPRINKLERED BUILDING WITH UNPROTECTED OPENINGS AND A 10' FSD = 45%

708.3 FIRE PARTITIONS
DWELLING UNITS IN SPRINKLERED BUILDINGS OF TYPE VB CONSTRUCTION SHALL HAVE FIRE PARTITIONS OF 1 HOUR CONSTRUCTION SEPARATING DWELLING UNITS AND BETWEEN DWELLING UNITS AND OTHER OCCUPANCIES AND EXTEND FROM TOP OF FLOOR DECK OR SLAB TO THE BOTTOM OF FLOOR DECK ABOVE. OPENINGS IN 1HR FIRE PARTITIONS REQUIRE A 20 MINUTE DOOR PER 716.

711.2.4.3 HORIZONTAL ASSEMBLIES
DWELLING UNITS IN SPRINKLERED BUILDINGS OF TYPE VB CONSTRUCTION SHALL HAVE HORIZONTAL SEPARATIONS OF 1 HOUR CONSTRUCTION BETWEEN DWELLING UNITS AND BETWEEN DWELLING UNITS AND OTHER OCCUPANCIES.

713.4 SHAFT ENCLOSURES
1HR FIRE RATED ENCLOSURE WHEN CONNECTING LESS THAN 4 STORIES AND BE CONSTRUCTED AS FIRE BARRIERS.

803.13 INTERIOR WALL AND CEILING FINISH REQUIREMENTS BY OCCUPANCY
GROUP B AND M CLASS B AT INT EXIT STAIRS, RAMPS, & EXIT PASSAGEWAYS
GROUP R-2 CLASS C THROUGH-OUT
GROUP S-2 CLASS C THROUGH-OUT

903.2.8 GROUP R SPRINKLERS
SPRINKLERS SHALL BE PROVIDED THROUGHOUT BUILDINGS WITH A GROUP R FIRE AREA.

903.2.10. GROUP S-2 PARKING GARAGE SPRINKLERS
SPRINKLERS ARE REQUIRED WHEN ENCLOSED PARKING GARAGE IS BELOW OTHER GROUPS.

903.3.1.2 SPRINKLER REQUIREMENTS
GROUP R BUILDINGS THAT ARE IN MIXED USE OCCUPANCIES THAT CONTAIN ANY OTHER GROUP WHICH REQUIRE NFPA 13 SPRINKLERS, THEN THE BUILDING MUST BE SPRINKLERED THROUGHOUT BY AS NFPA 13, (NFPA 13R NOT ALLOWED).

903.3.1.2 BALCONIES/SPRINKLERS
SPRINKLERS SHALL BE PROVIDED FOR EXTERIOR BALCONIES OF TYPE V CONSTRUCTION WHEN THERE IS A ROOF OR BALCONY ABOVE. SIDE WALL SPRINKLERS PERMITTED PER REQUIREMENTS OF THIS SECTION.

903.3.2 QUICK RESPONSE AND RESIDENTIAL SPRINKLER
ALL DWELLING UNITS WITHIN AN R OCCUPANCY ARE REQUIRED TO HAVE QUICK RESPONSE SPRINKLERS

903.3.7 FIRE DEPARTMENT CONNECTION
FIRE DEPARTMENT CONNECTION SHALL BE PROVIDED FOR AUTOMATIC SPRINKLER SYSTEM PER SECTION 912.

905.3.1 STANDPIPES
STANDPIPES ARE NOT REQUIRED IN BUILDINGS LESS THAN FOUR STORIES, WHERE THE HIGHEST STORY IS LESS THAN 30' ABOVE THE HEIGHT OF FIRE VEHICLE ACCESS.

906.1 FIRE EXTINGUISHERS
EACH DWELLING UNIT IN AN R-2 OCCUPANCY SHALL HAVE ONE FIRE EXTINGUISHER MEETING 1-A-10B:C.

PROVIDE (1) 2-A-10-BC FIRE EXTINGUISHER IN EACH B, M, AND S OCCUPANCY. EACH SUITE DOES NOT EXCEED 75' OF TRAVEL DISTANCE TO AN EXTINGUISHER.
FIRE EXTINGUISHER SHALL BE MOUNTED NO MORE THAN 5' ABOVE THE FLOOR AND WEIGH NO MORE THAN 40LBS.

907.2 FIRE ALARM SYSTEM
A MANUAL ALARM AND AUTOMATIC SMOKE DETECTION SYSTEM NOT REQUIRED FOR R-2 OR 'B' OR 'M' OR 'S' OF LIMITED OCCUPANT LOADS. HOWEVER A SINGLE MANUAL ALARM IS STILL REQUIRED FOR A FIRE ALARM SYSTEM THAT HAS A WATERFLOW DETECTION DEVICE (SPRINKLER).

907.2.9 FIRE ALARM SYSTEM FOR R-2
AN AUTOMATIC FIRE ALARM AND SMOKE ALARM SYSTEM IS REQUIRED FOR GROUP R-2.

907.2.9.2 SMOKE ALARMS
SINGLE AND MULTIPLE STATION SMOKE ALARMS ARE REQUIRED IN A BUILDING WITH AN R-2. LOCATE IN EACH SLEEPING ROOM, OUTSIDE OF SLEEPING ROOMS IN GENERAL VICINITY. SMOKE ALARMS SHALL BE INTERCONNECTED PER 907.2.11.5.

915.2.1 CARBON MONOXIDE DETECTORS
A CARBON MONOXIDE UNITS SHALL BE INSTALLED IN DWELLING UNITS OUTSIDE OF SLEEPING AREAS

FLR	ROOM NAME	FUNCTION	AREA/OCC	AREA	OCC LOAD
1ST	RETAIL SHOP 1	MERCANTILE	1/60SF GROSS	11145SF	19 OCC
1ST	RETAIL SHOP 2	MERCANTILE	1/60SF GROSS	11925SF	20 OCC
1ST	PARKING GARAGE	STORAGE	1/200SF GROSS	1948SF	10 OCC
2ND	PT SUITE	BUSINESS	1/150SF GROSS	2055SF	14 OCC
2ND	UNIT 1	RESIDENTIAL	1/200SF GROSS	1229SF	6 OCC
2ND	UNIT 2	RESIDENTIAL	1/200SF GROSS	1562SF	8 OCC
3RD	UNIT 3	RESIDENTIAL	1/200SF GROSS	1102SF	6 OCC
3RD	UNIT 4	RESIDENTIAL	1/200SF GROSS	1409SF	7 OCC
3RD	UNIT 5	RESIDENTIAL	1/200SF GROSS	1818SF	9 OCC

1004.7 OUTDOOR AREAS

OCCUPIED ROOFS SERVING INDIVIDUAL DWELLING UNITS OF GROUP R-2, WHERE IT WILL BE USED BY THE OCCUPANTS OF THE UNITS, MEANS OF EGRESS CAN BE BACK THROUGH THE BUILDING IN ACCORDANCE WITH SECTION 1016.2.

GROUP	SINGLE EXIT	MAX COMMON PATH/SPRINKLER
B OCCUPANCY	UP TO 49 OCC	100'(1ST FLR) 75'(2ND FLR)
M OCCUPANCY	UP TO 49 OCC	75'
R-2 OCCUPANCY	UP TO 20 OCC	125'
S-2 PARKING GARAGE	UP TO 30 OCC	100'

1006.3.4.1 MIXED OCCUPANCIES WITH SINGLE EXITS

EACH INDIVIDUAL OCCUPANCY COMPLIES WITH 1006.3.4(1) AND 1006.3.4(2) AND THE SUM OF THE RATIOS IS LESS THAN 1 AT THE SECOND LEVEL WHERE B AND R-2 ARE PRESENT:

RATIO FACTOR OF DWELLING UNITS = 2 UNITS/4 UNITS MAX = .5
RATON FACTOR OF BUSINESS OCCUPANCY = 12 OCC/30 OCC MAX = .46
RATIO OF .96 < 1.

1006.3.4(1) SINGLE EXIT EGRESS FROM STORIES FOR R-2 OCC

ONE EXIT IS PERMITTED FROM ANY STORY OR OCCUPIED ROOF WHEN THE OCCUPANT LOAD, NUMBER OF DWELLING UNITS, DO NOT EXCEED THE VALUES OF TABLE 1006.3.4.

AN R-2 OCCUPANCY WITH NO MORE THREE STORES ABOVE THE GRADE PLANE AND NO MORE THAN 4 UNITS PER STORY AND NO MORE THAN 125' OF EXIT ACCESS TRAVEL DISTANCE ARE PERMITTED TO HAVE A SINGLE EXIT. SLEEPING ROOMS REQUIRE EGRESS WINDOWS OR BALCONY DOORS PER 1031.2.

1006.3.4(2) SINGLE EXIT EGRESS FROM STORIES FOR B OCC

A SINGLE STORY ABOVE THE GRADE PLANE CONTAINING AN "S" OCCUPANCY MAY HAVE A SINGLE EXIT ACCESS FOR UP TO 30 OCCUPANTS WITH AN EXIT ACCESS TRAVEL DISTANCE NOT TO EXCEED 100' IN A SPRINKLERED BUILDING PER FOOTNOTE "D".

A SECOND STORY ABOVE THE GRADE PLANE CONTAINING A "B" OCCUPANCY MAY HAVE A SINGLE EXIT ACCESS FOR UP TO 30 OCCUPANTS WITH AN EXIT ACCESS TRAVEL DISTANCE NOT TO EXCEED 75'.

1008.2.3 EXIT DISCHARGE
ILLUMINATION SHALL BE PROVIDED ALONG THE PATH OF EXIT DISCHARGE FROM EACH EXIT TO THE PUBLIC WAY.

1009.3.2 ACCESSIBLE EXIT STAIRWAY WIDTH, EXCEPTION 1
STAIRWAY WIDTH OF 48" IS NOT REQUIRED WHEN SPRINKLERED.

1009.3.3 AREA OF REFUGE, EXCEPTION 2
AREA OF REFUGE IS NOT REQUIRED IN STAIRWAYS OF SPRINKLERED BUILDINGS.

1011.2 STAIRWAY WIDTH, EXCEPTION 1
STAIRWAYS SERVING AN OCCUPANT LOAD LESS THAN 50 ARE PERMITTED TO BE 36" WIDE.

1011.6 STAIRWAY LANDINGS
STAIRWAY LANDINGS SHALL BE A MINIMUM OF 48" AND DOORS IN FULLY OPEN POSITION CAN NOT ENCRATCH MORE THAN 7" OR MORE THAN HALF OF THE REQUIRED EXIT WIDTH IN ANY POSITION.

GROUP	OCC LOAD	RATING
GROUP A AND B	>30 OCC	0HR
GROUP R	>10 OCC	1HR

1013.1 EXIT SIGNS
EXIT SIGNS ARE NOT REQUIRED FROM ROOMS OR SPACES THAT ONLY REQUIRE ONE EXIT.

1020.5 (EXCEPTION 2) DEAD ENDS
IN SPRINKLERED BUILDINGS OF GROUPS B, M, R-2, AND S, DEAD ENDS ARE 50' MAX.

1031.2 EMERGENCY ESCAPE AND RESCUE
EMERGENCY ESCAPE AND RESCUE WINDOWS (OR BALCONY DOOR) ARE REQUIRED IN SLEEPING UNITS OF AN R-2 WHEN A SINGLE EXIT IS ALLOWED FROM UPPER STORIES.

1105.1.1 ACCESSIBLE ENTRANCES/POWER ASSIST
ALL ENTRANCES ARE ACCESSIBLE BUT NONE ARE REQUIRED TO HAVE POWER ASSIST.

1108.6.2.2.2 GROUP R-2
IN STRUCTURES OF FOUR OR MORE DWELLING UNITS, EACH UNIT SHALL BE A TYPE B UNIT.

2018 UNIFORM PLUMBING CODE, CHAPTER 4
MINIMUM PLUMBING FIXTURES
422.2. EXCEPTION #3 SEPARATE FACILITIES.
IN B AND M OCCUPANCIES WHEN THE TOTAL OCCUPANT LOAD IS 50 OR LESS INCLUDING CUSTOMERS AND EMPLOYEES, ONE TOILET FACILITY, DESIGNED FOR USE BY NO MORE THAN 1 PERSON AT A TIME, SHALL BE PERMITTED.

GROUP B = 14 OCCUPANTS (ONE UNISEX TOILET ROOM PERMITTED)
GROUP M (RETAIL 1) = 19 OCCUPANTS (ONE UNISEX TOILET ROOM PERMITTED)
GROUP M (RETAIL 2) = 20 OCCUPANTS (ONE UNISEX TOILET ROOM PERMITTED)

TABLE 422.1 MINIMUM PLUMBING FACILITIES
B AREA REQUIRES: (1) TOILET (1) LAV (1) FOUNTAIN (1) SINK/LAUNDRY**
EACH M AREA REQUIRES: (1) TOILET (1) LAV (1) FOUNTAIN* (1) SINK/LAUNDRY**
EACH R-2 REQUIRES: (1) K SINK (1) TOILET (1) LAV (1) TUB (1) LAUNDRY

*EACH M AREA HAS TOILET ROOM WITH A FOUNTAIN FUNCTION
**SERVICE SINK IS SHARED BY ALL TENANTS IN THE GARAGE ROOM.



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DESIGN DEVELOPMENT

CODE PLAN

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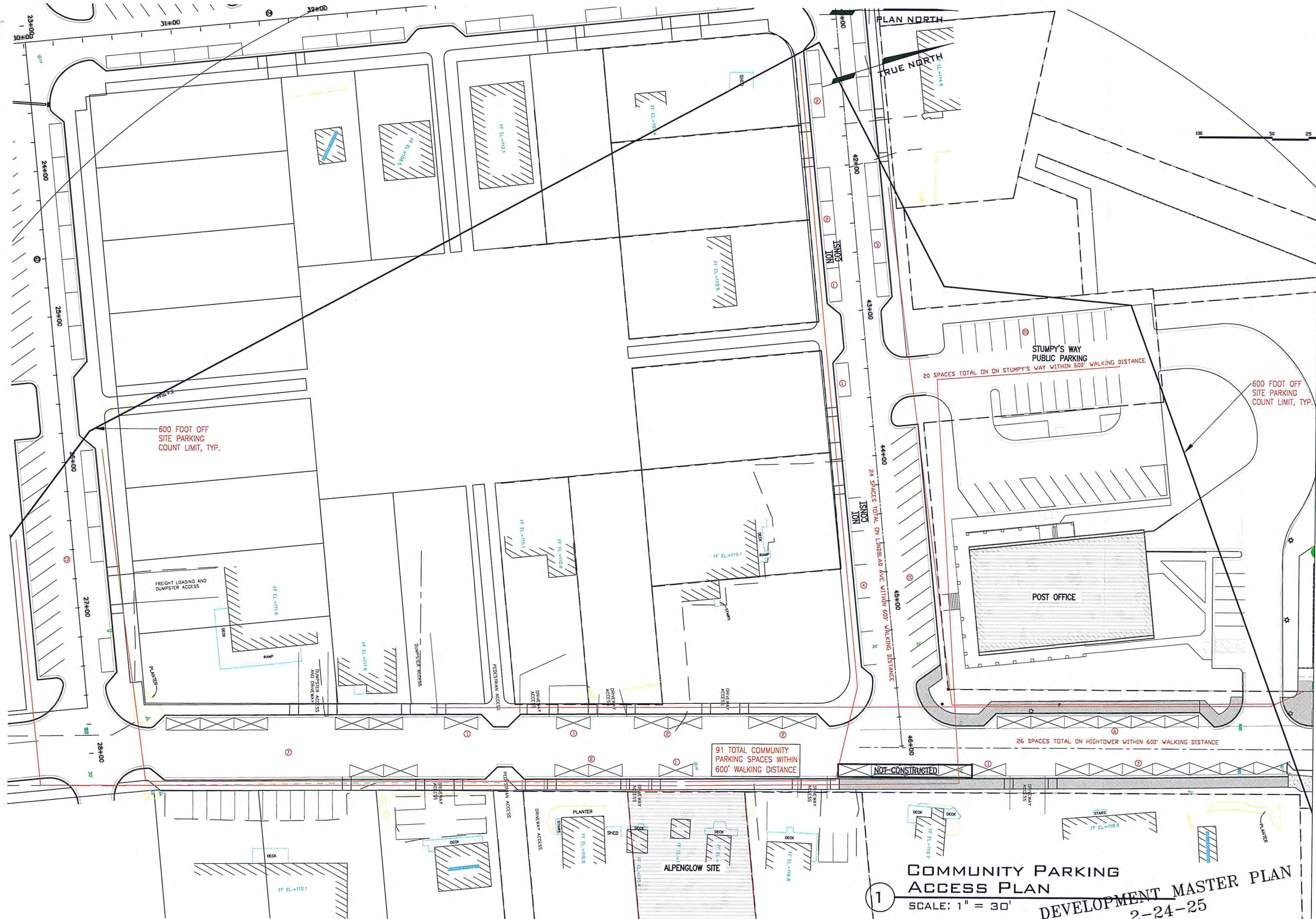
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COMMUNITY PARKING ACCESS PLAN

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1 **COMMUNITY PARKING ACCESS PLAN**
SCALE: 1" = 30'
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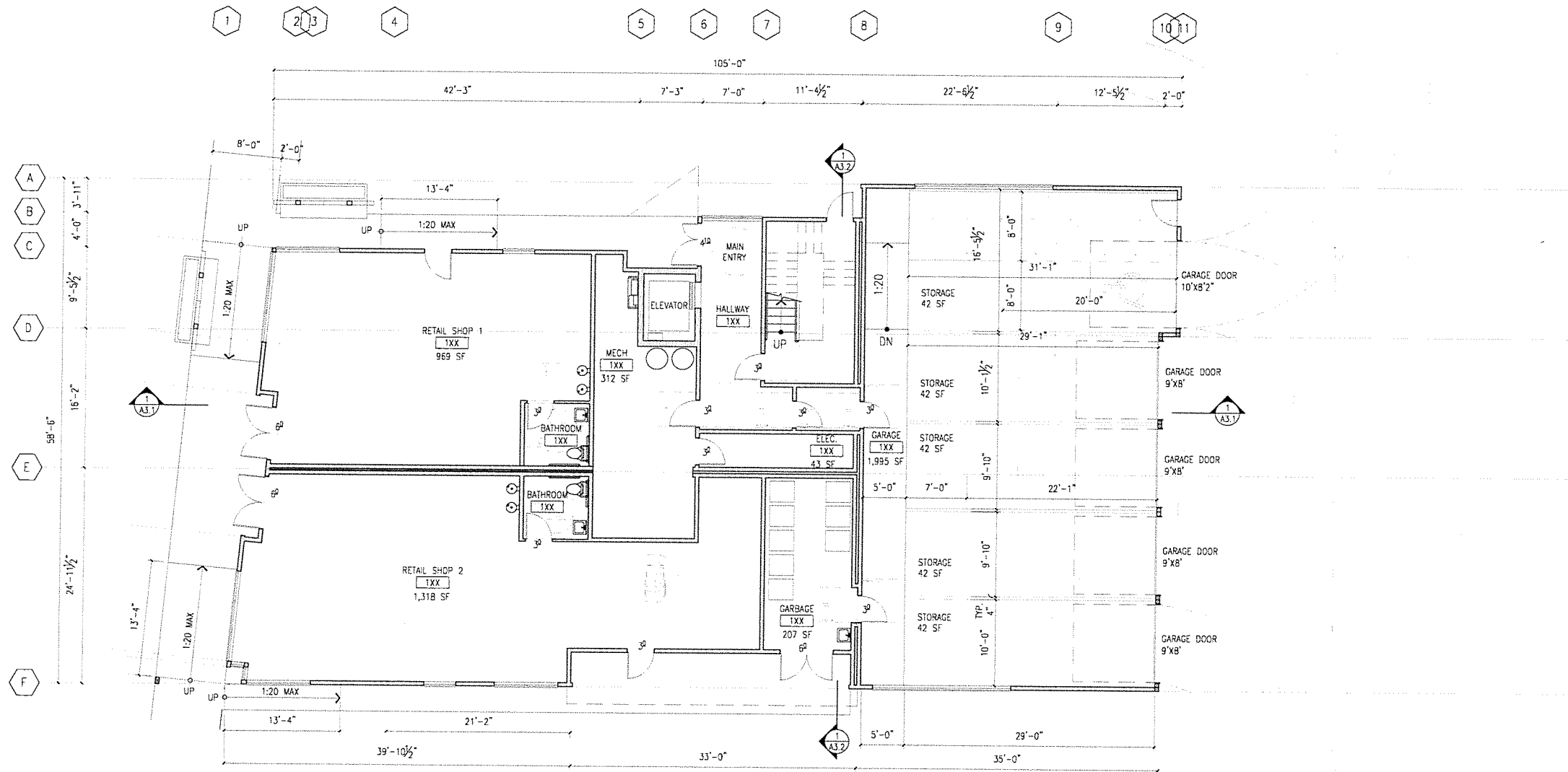
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FIRST FLOOR PLAN

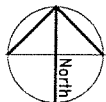
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1 FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



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SECOND FLOOR PLAN

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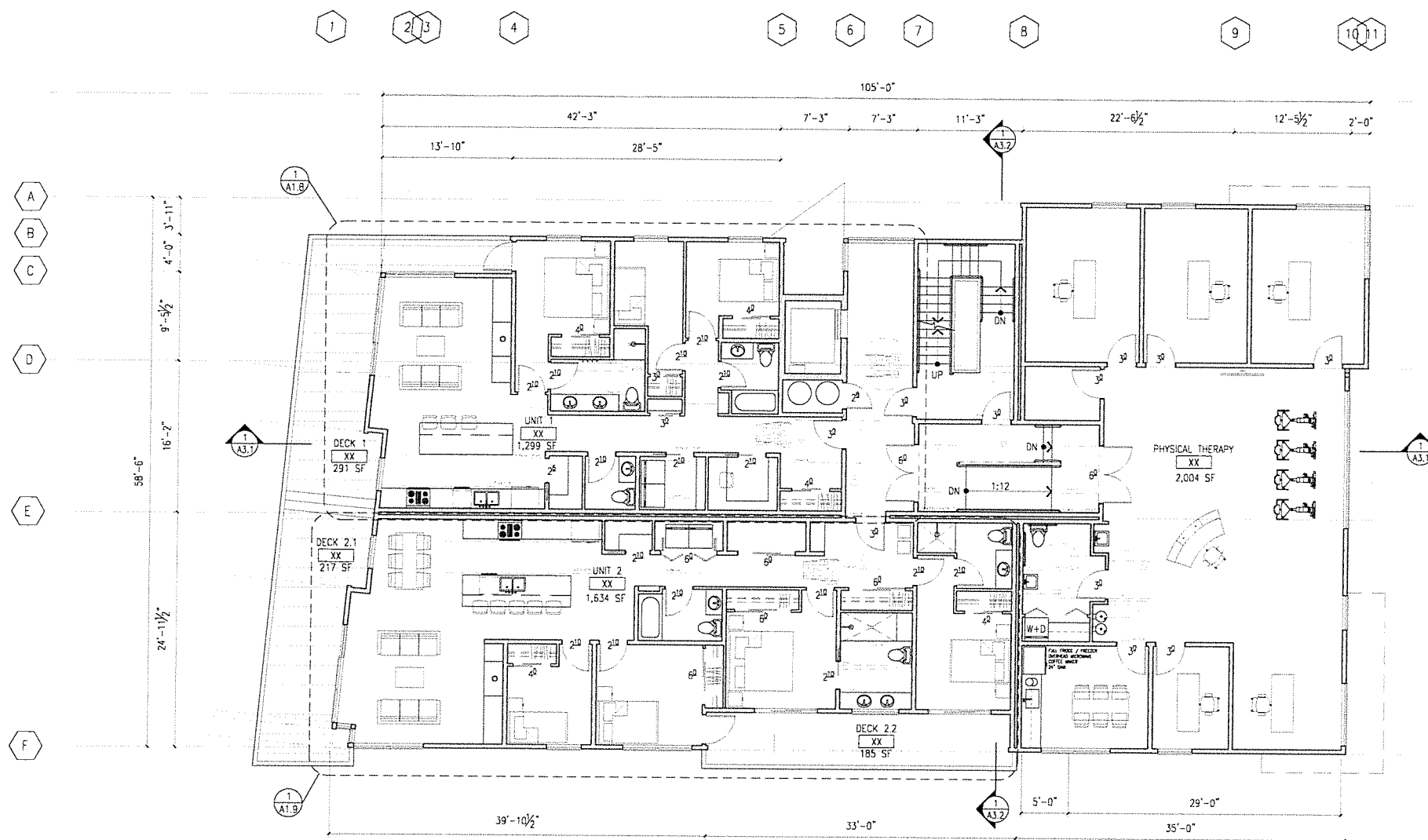
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1 SECOND FLOOR PLAN
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THIRD FLOOR PLAN

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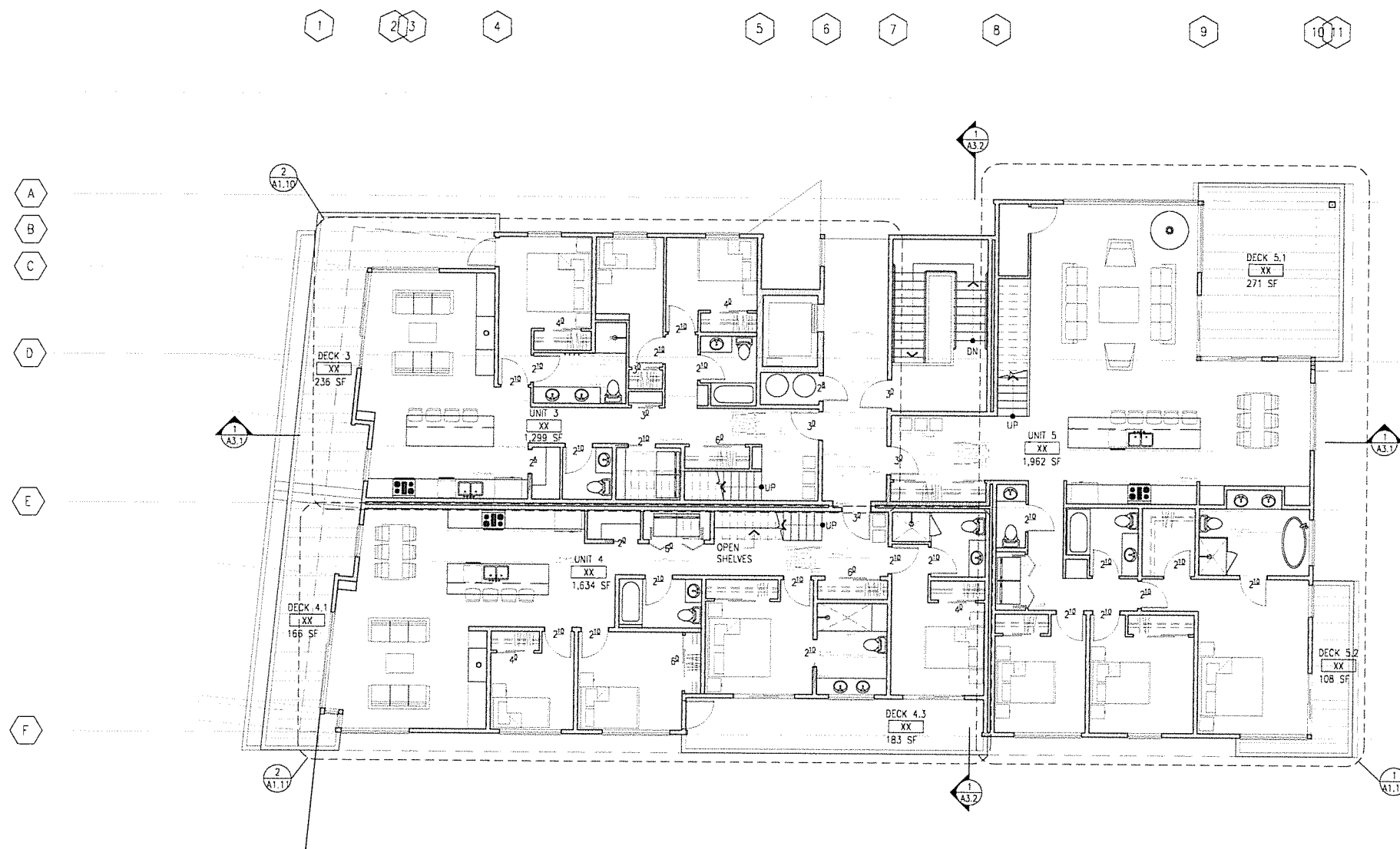
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1 THIRD FLOOR PLAN
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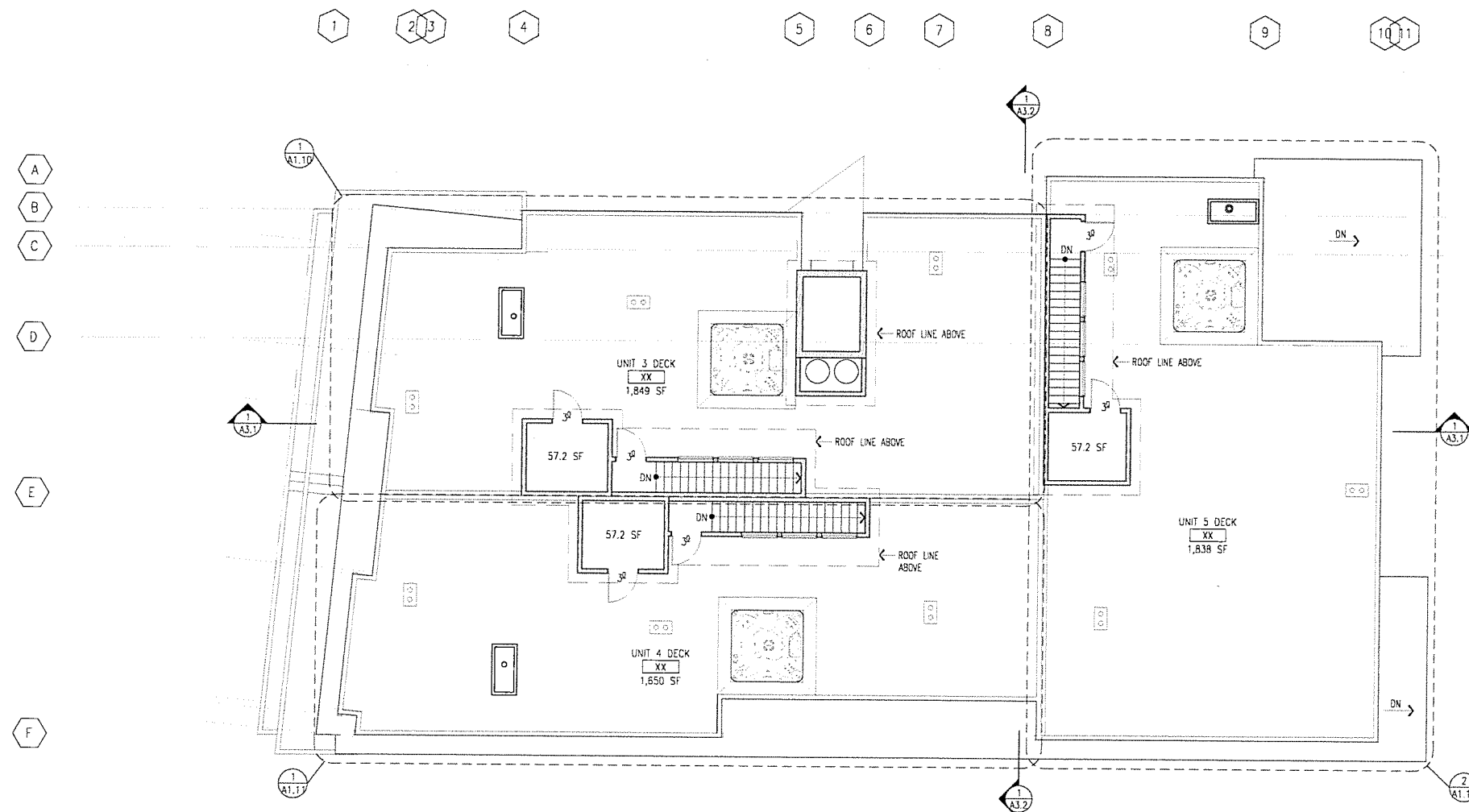
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ROOF PLAN

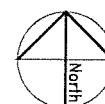
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1 ROOF PLAN
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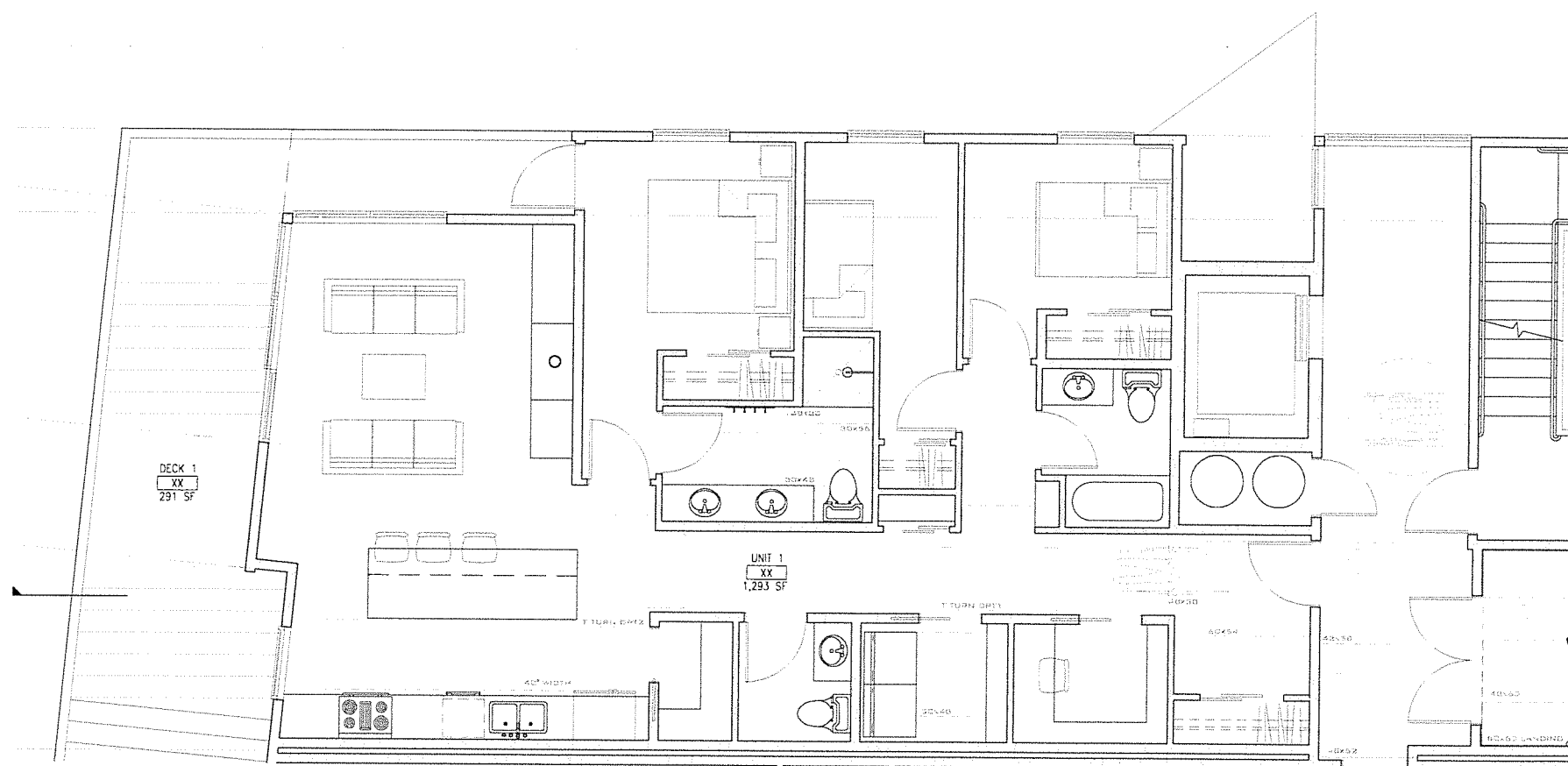
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UNIT 1 FLOOR PLAN

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1 UNIT 1 FLOOR PLAN
SCALE: 1/4" = 1'-0"



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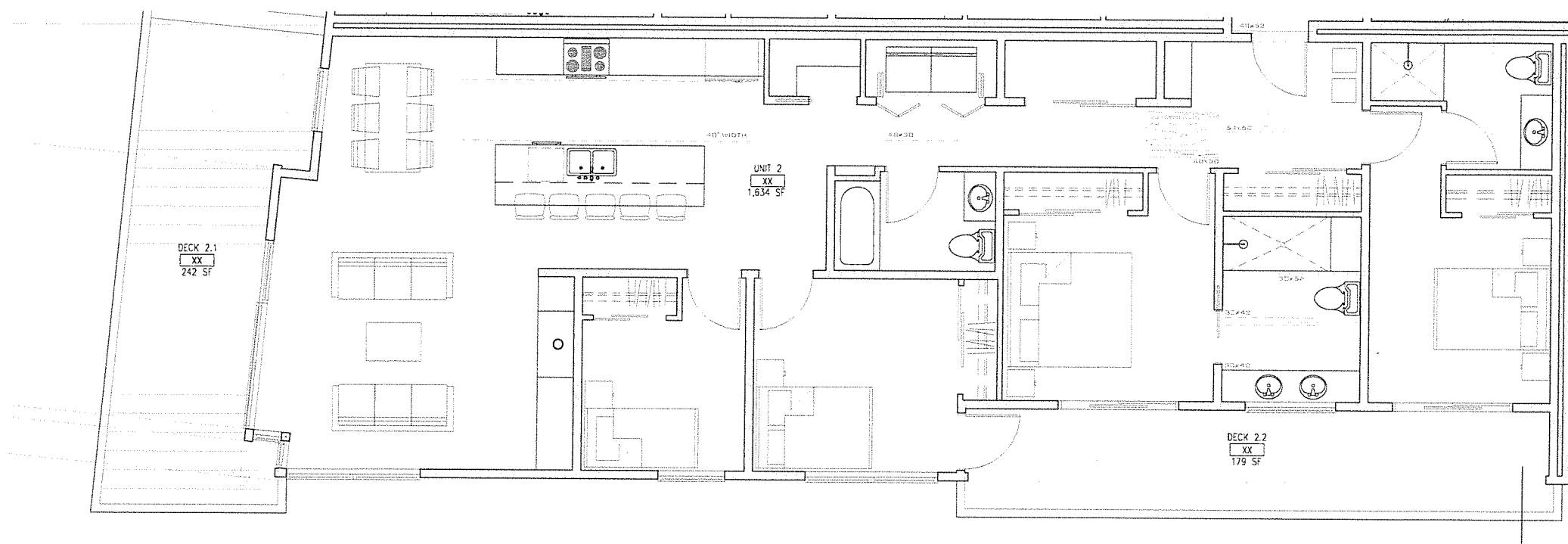
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UNIT 2 FLOOR PLAN

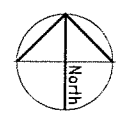
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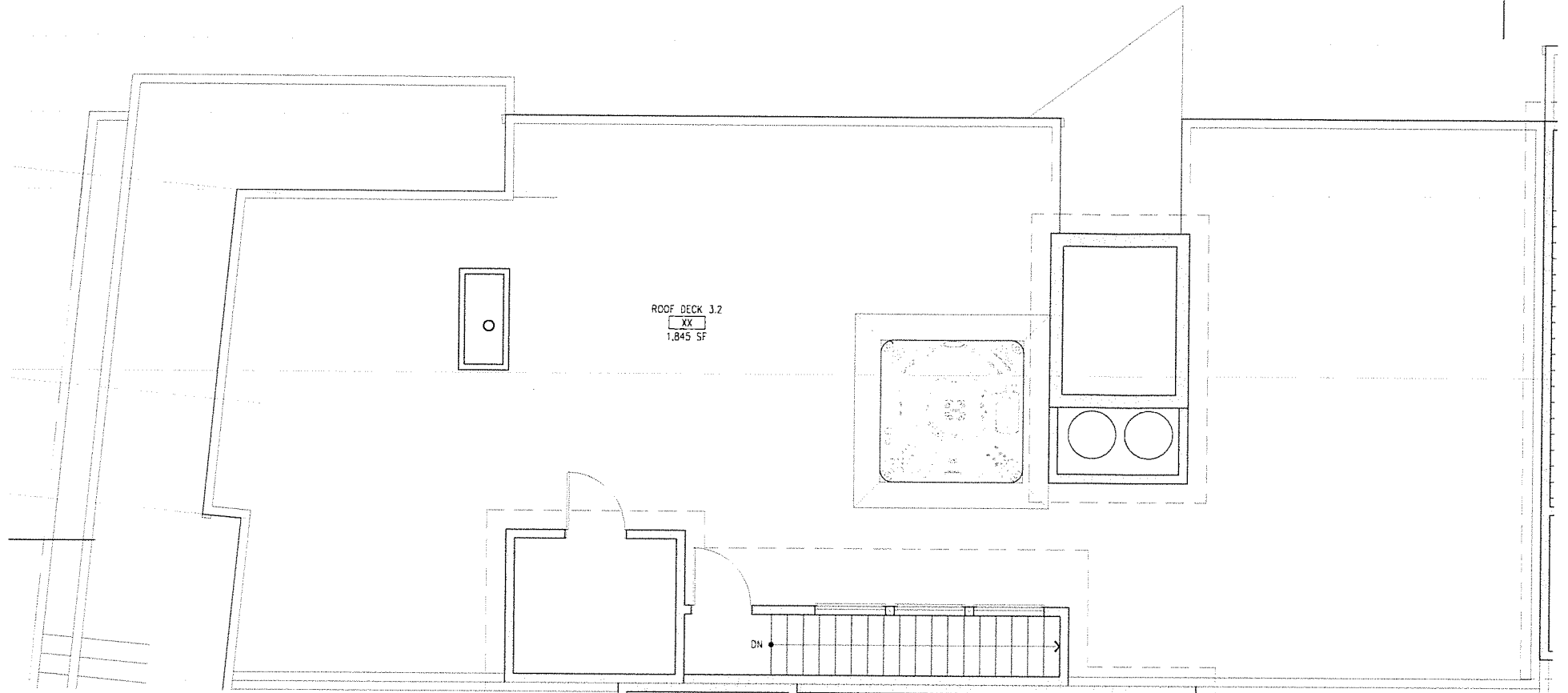
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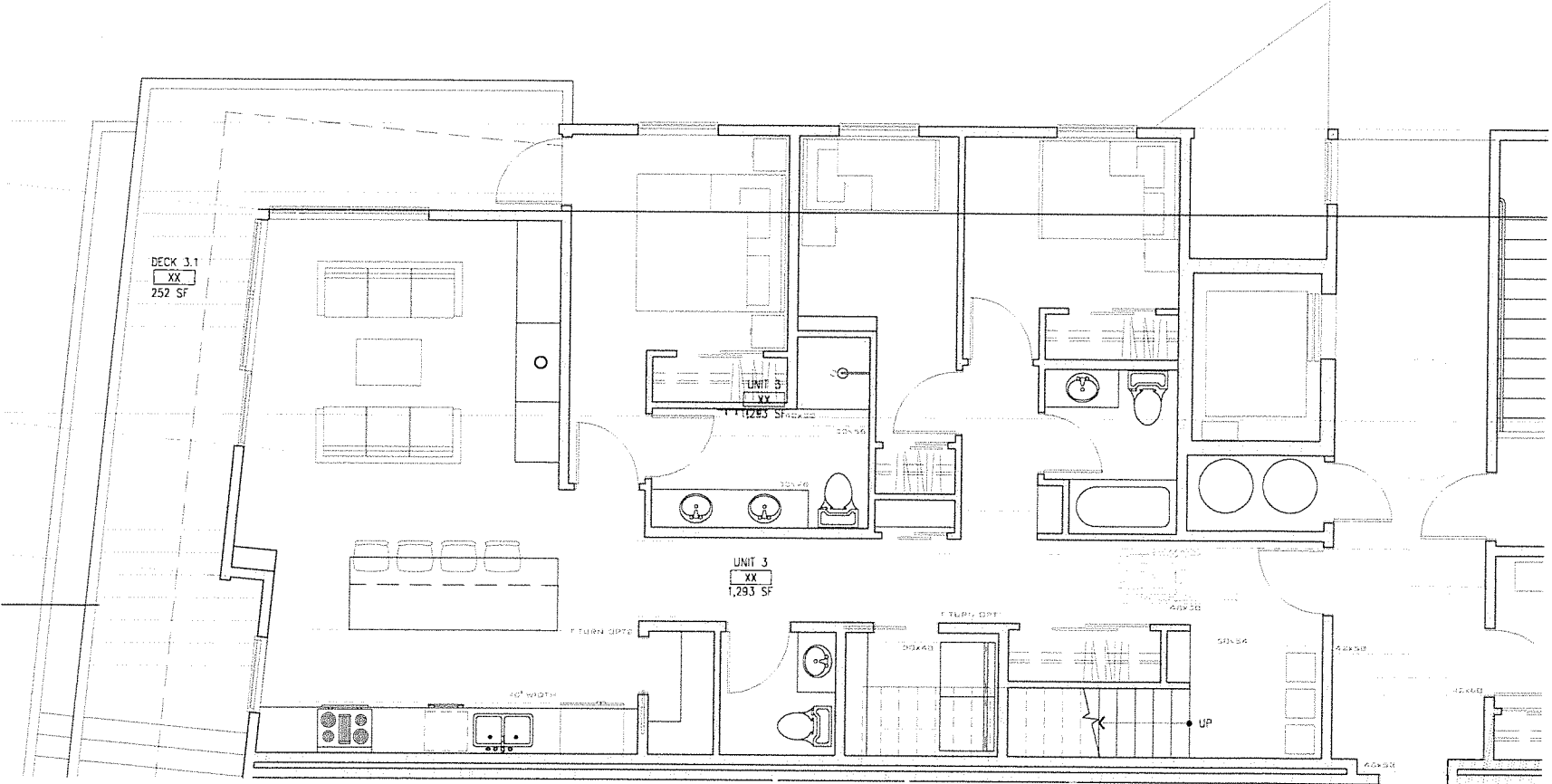
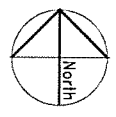
1 UNIT 2 FLOOR PLAN
SCALE: 1/4" = 1'-0"



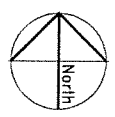
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1 UNIT 3
ROOF PLAN
SCALE: 1/4" = 1'-0"



2 UNIT 3
FLOOR PLAN
SCALE: 1/4" = 1'-0"



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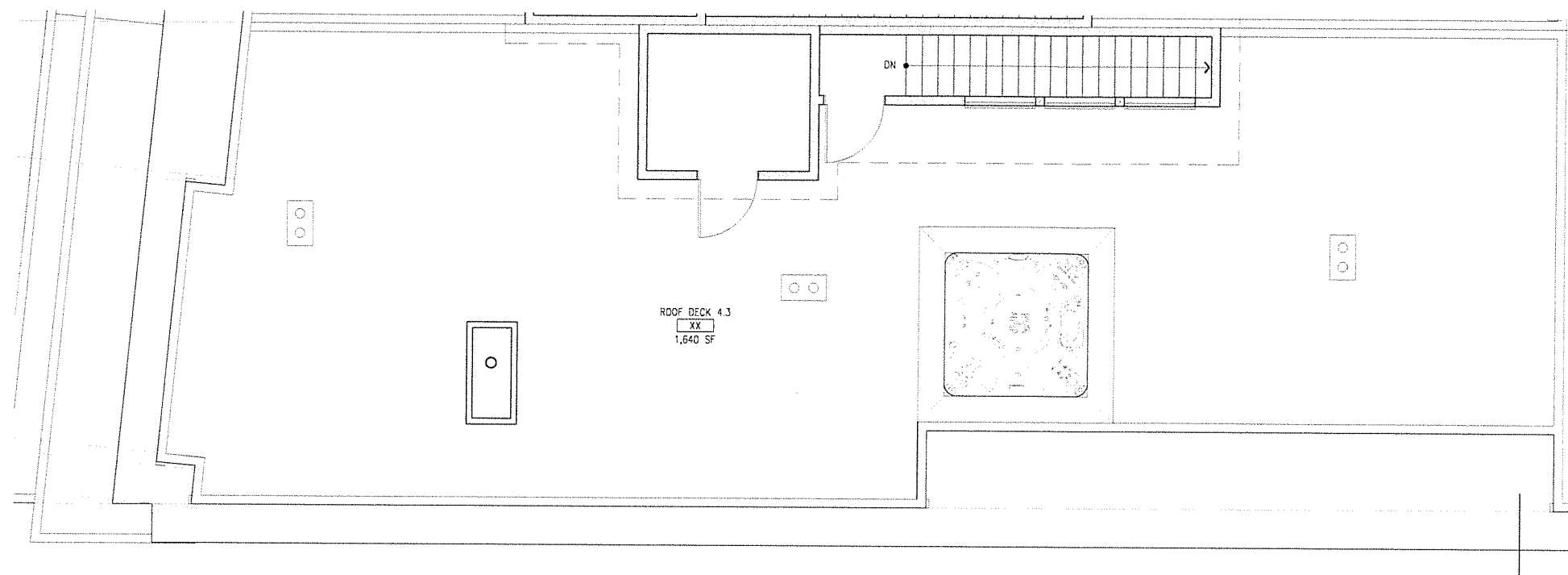
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204 HIGHTOWER ROAD, BIRCHWOOD, ALASKA
DESIGN DEVELOPMENT

THIRD & ROOF FLOOR PLAN - UNIT 4

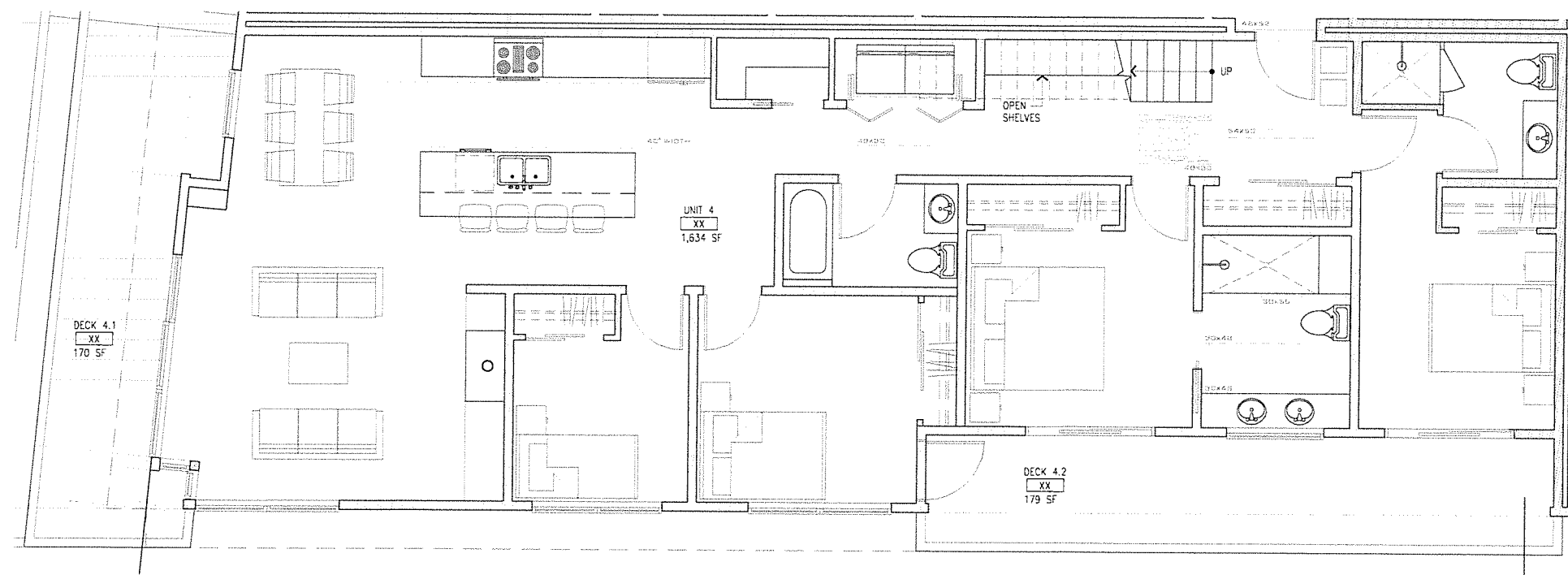
JDB NO. 25-02
SUBMITTAL: 02.24.25
DRAWN BY: IS
CHECKED BY: MAZ
REVISIONS:

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A1.11

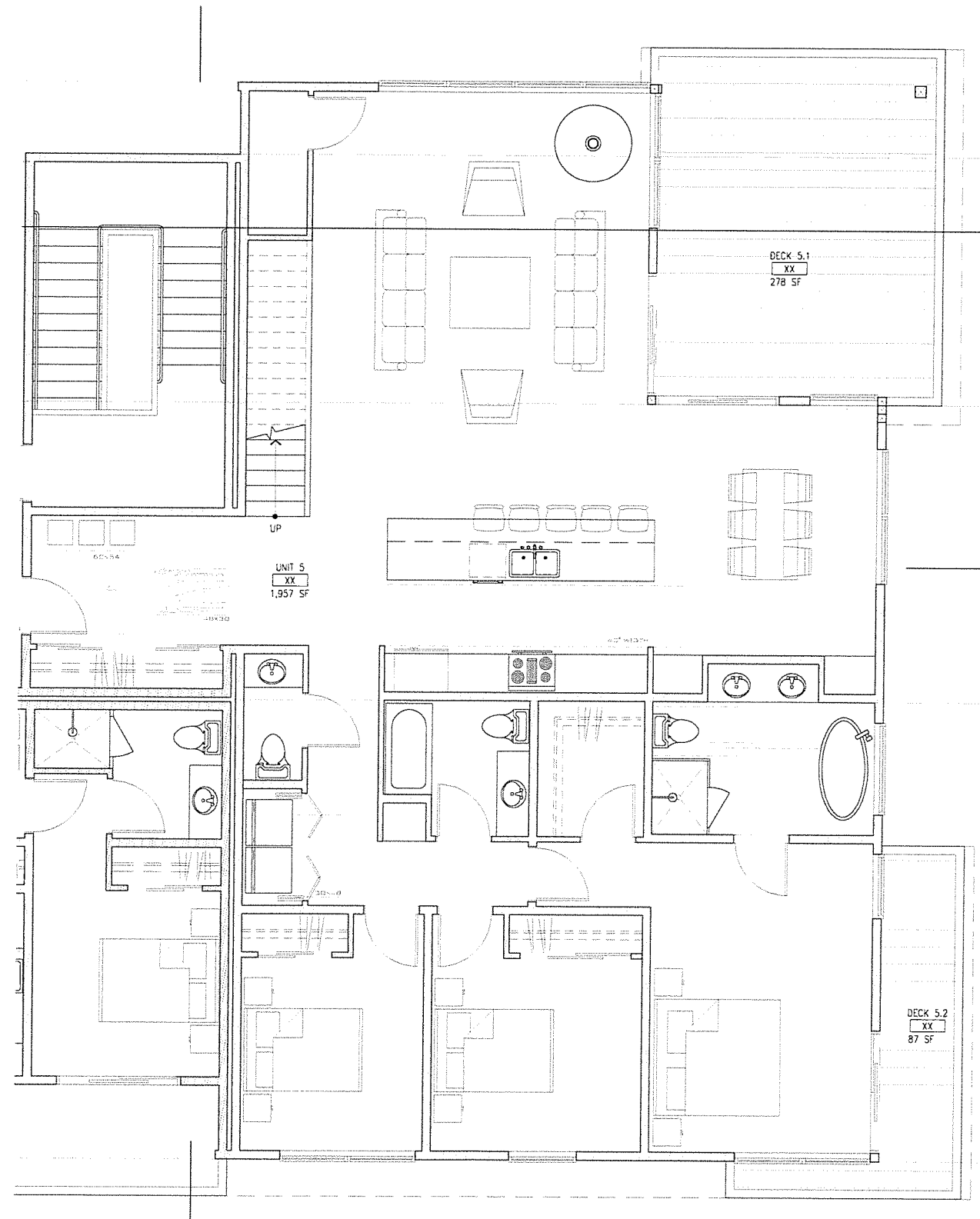


1 UNIT 5 ROOF PLAN
SCALE: 1/4" = 1'-0"

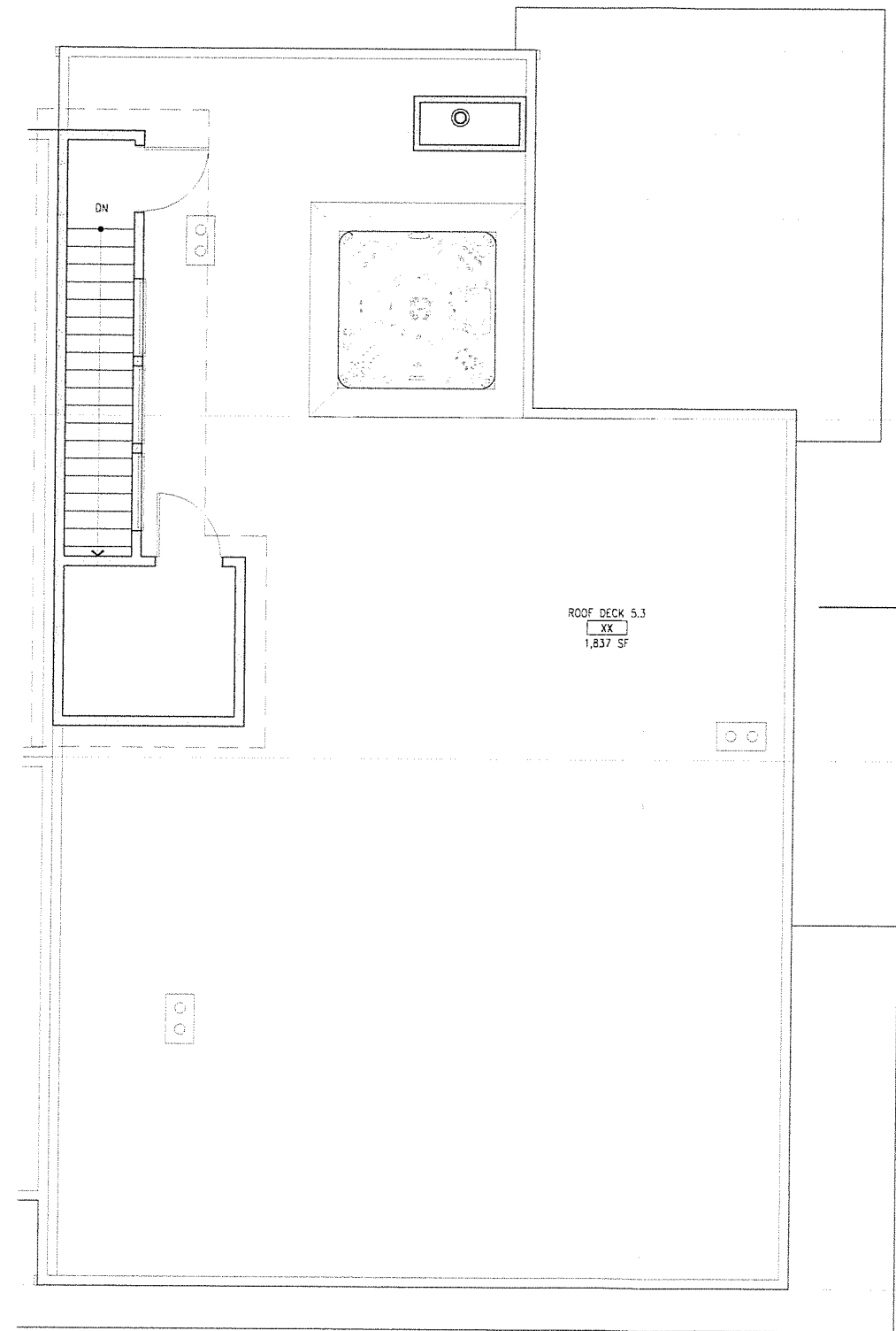


2 UNIT 5 FLOOR PLAN
SCALE: 1/4" = 1'-0"

DEVELOPMENT MASTER PLAN
2-24-25



1 UNIT 5 FLOOR PLAN
SCALE: 1/4" = 1'-0"



2 UNIT 5 ROOF PLAN
SCALE: 1/4" = 1'-0"

DEVELOPMENT MASTER PLAN
2-24-25



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commercial • planning • interiors • residential
194 OLYMPIC MOUNTAIN LOOP
GIRDWOOD AK, 99587
(907) 783-1090
LLC CORPORATE #10072843

ALPENGLOW RESIDENCES - PHASE I
204 HIGHTOWER ROAD, GIRDWOOD, ALASKA
DESIGN DEVELOPMENT
THIRD & ROOF FLOOR PLAN - UNIT 5

JOB NO. 25-02
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A1.12



1 EAST ELEVATION
SCALE: 1/8" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



3 WEST ELEVATION
SCALE: 1/8" = 1'-0"



4 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



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ALPENGLOW RESIDENCES - PHASE I
DESIGN DEVELOPMENT
204 HIGHTOWER ROAD, GIRDWOOD, ALASKA

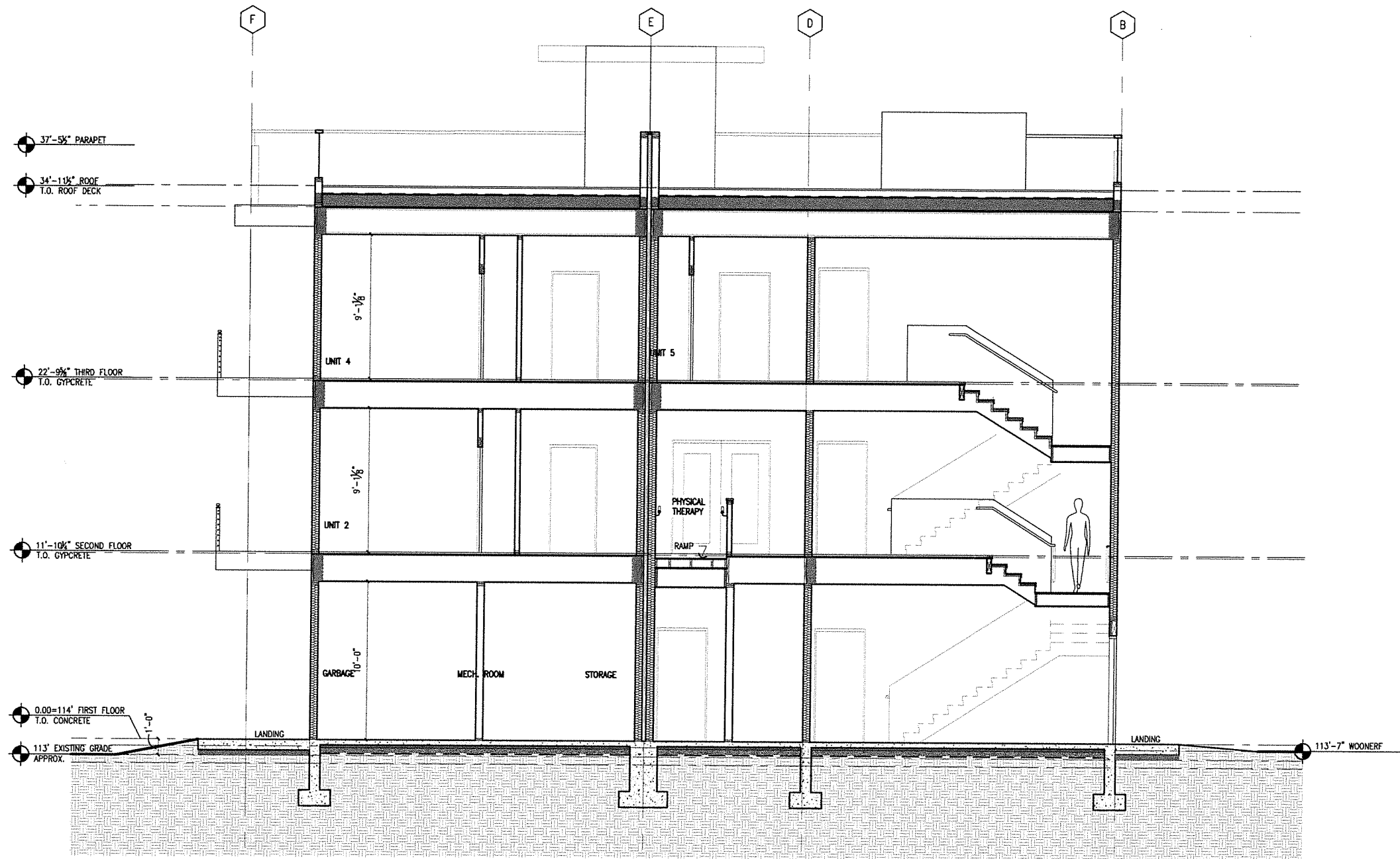
ELEVATIONS

JOB NO. 25-02
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DEVELOPMENT MASTER PLAN
2-24-25

A2.1



1 BUILDING SECTION
 SCALE: 1/4" = 1'-0"



DATE:

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 LLC CORPORATE #10072043

ALPENGLOW RESIDENCES - PHASE I
 204 HIGHTOWER ROAD, BIRCHWOOD, ALASKA
 DESIGN DEVELOPMENT

BUILDING SECTIONS

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A3.2

DEVELOPMENT MASTER PLAN
 2-24-25



Girdwood Ace Hardware & Sport

Girdwood's Community Store

Mountain town aesthetic with products tailored for the Girdwood shopper





Ulmer's Drug & Hardware

- Established 1977
- Community focused approach
- 23,000 sf retail floor
- Strength through exceptional customer service and locally focused product mix

Ace Hardware + Additional Vendors = Community Store



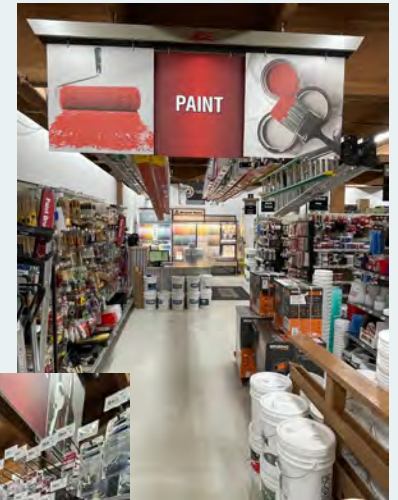
- Gold standard of community hardware stores
- Flexible product mix to fit to community needs
- Designed to compete on price and offerings with national chains like Home Depot and Lowes

- Supplemental departments make the store a community staple
- Additional departments of home goods, electronics, toys, gifts, office supplies, etc.

Departments & Offerings for Everyone

Traditional Tools & Hardware

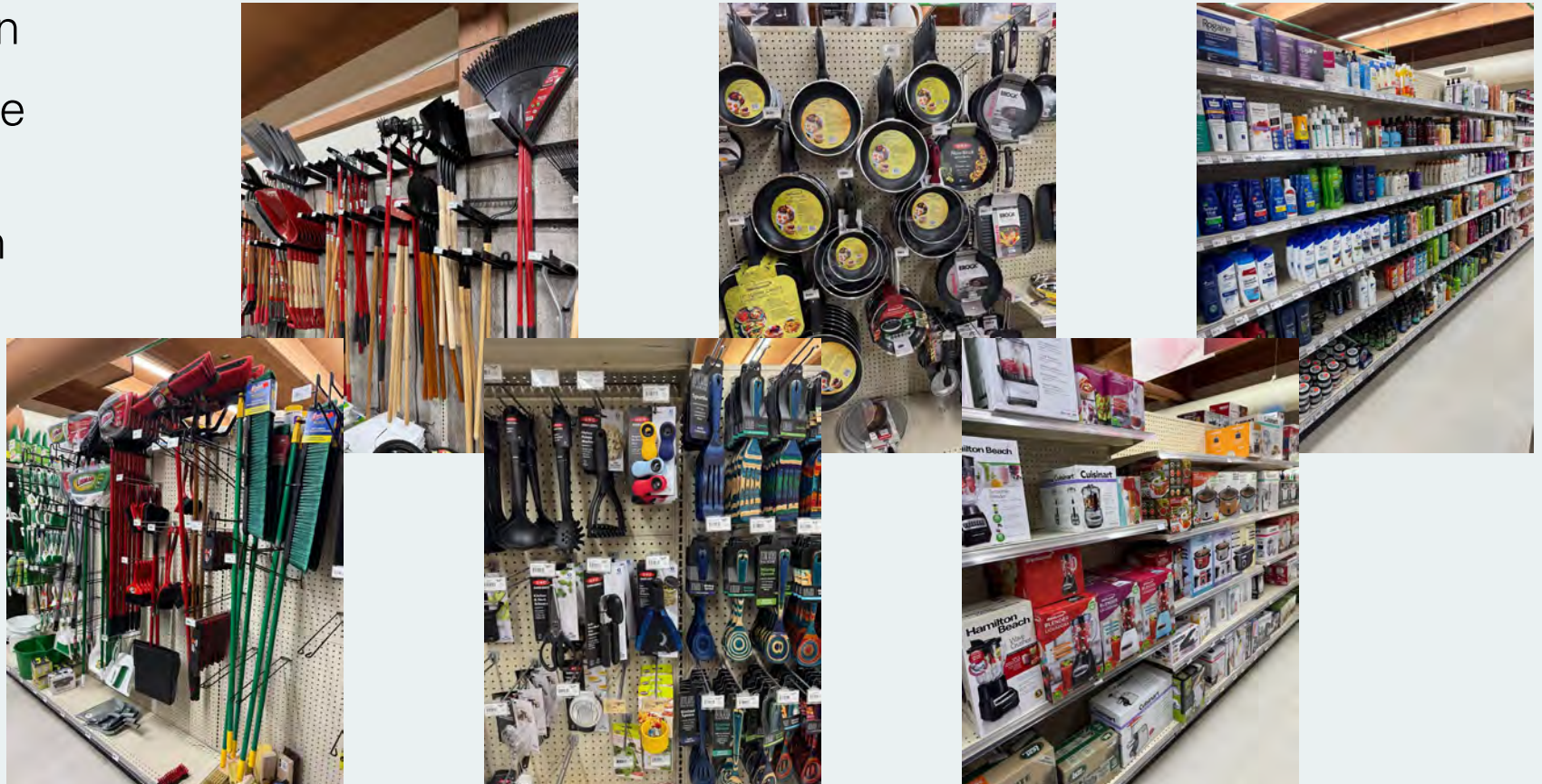
- Paint & Stains
- Tools
- Hardware & Fasteners
- Electrical
- Plumbing
- Automotive



Departments & Offerings for Everyone

Home Goods

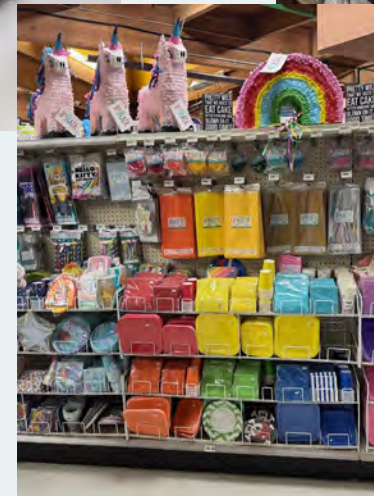
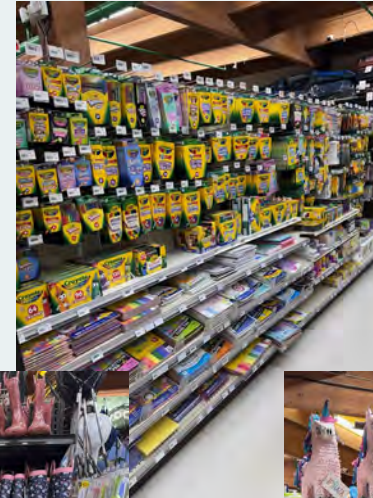
- Lawn & Garden
- BBQ & Propane Exchange
- Kitchen & Bath
- Appliances
- Linens
- Personal Care
- Winter Goods
- Key Making
- Photo Printing



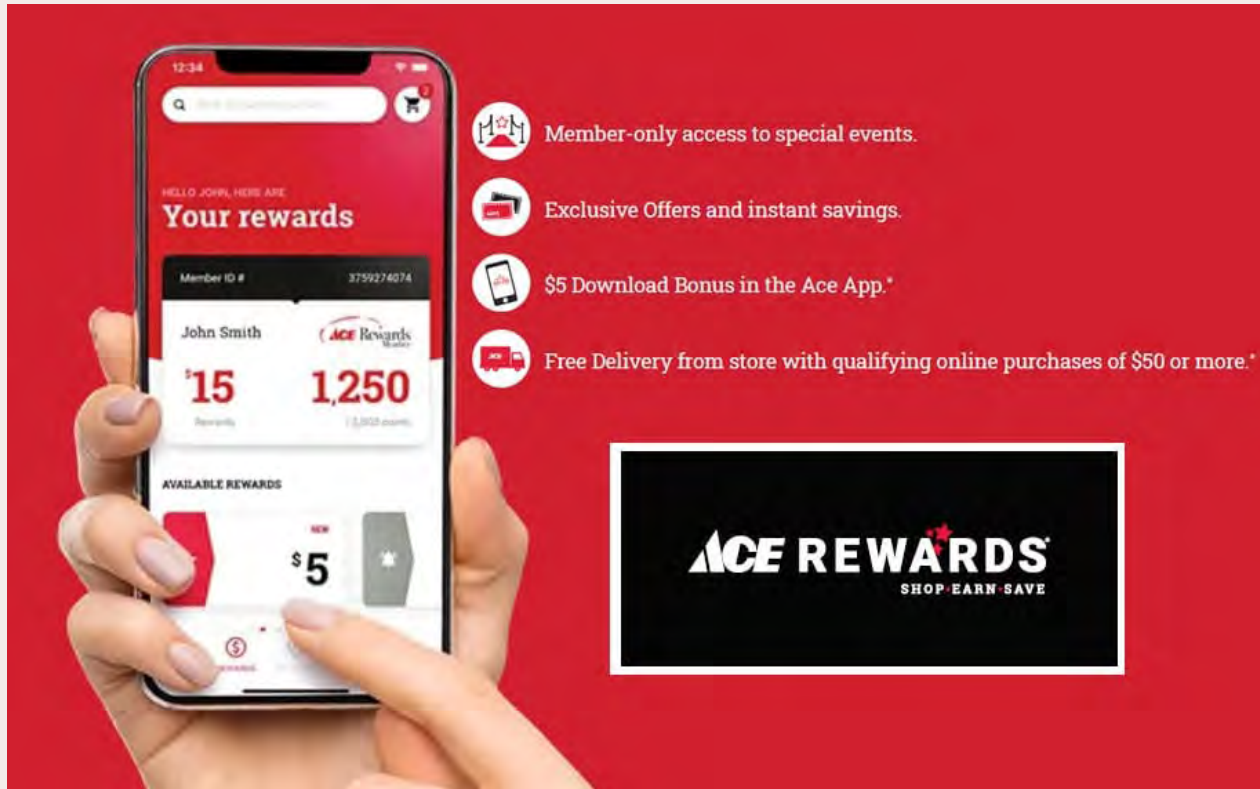
Departments & Offerings for Everyone

Families, friends & guests

- Sports Equipment
- Holiday Supplies
- Pet Department
- Toys & Games
- Electronics
- Clothing
- Gifts & Cards
- Alaska Gifts
- Party Supplies



Ace Rewards Customer Loyalty Program



- No hassle rewards program for locals
- Coupons, shopping incentives pushed to phone app or mailed
- Managed by Ace Hardware
- Customer insights and custom shopping deals sent based on purchase history

Community Events & Sponsorships

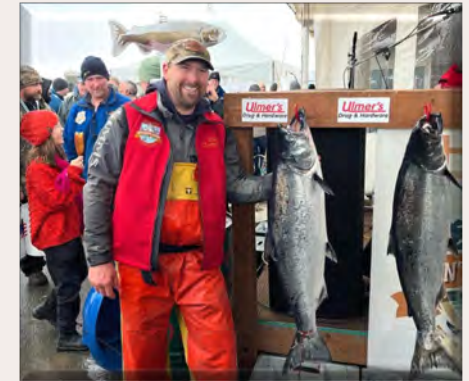
- Ulmer's donates or sponsors with over 50 local Kenai Peninsula organizations
- Commitment to kids' activities and general welfare organizations
- Host of frequent bake sales, Santa visits, and a variety of community enriching activities
- Supporting over 30 children's sports, music, and art groups



Homer High School
Athletics & Art



Annual Santa in the store



Winter King Tournament

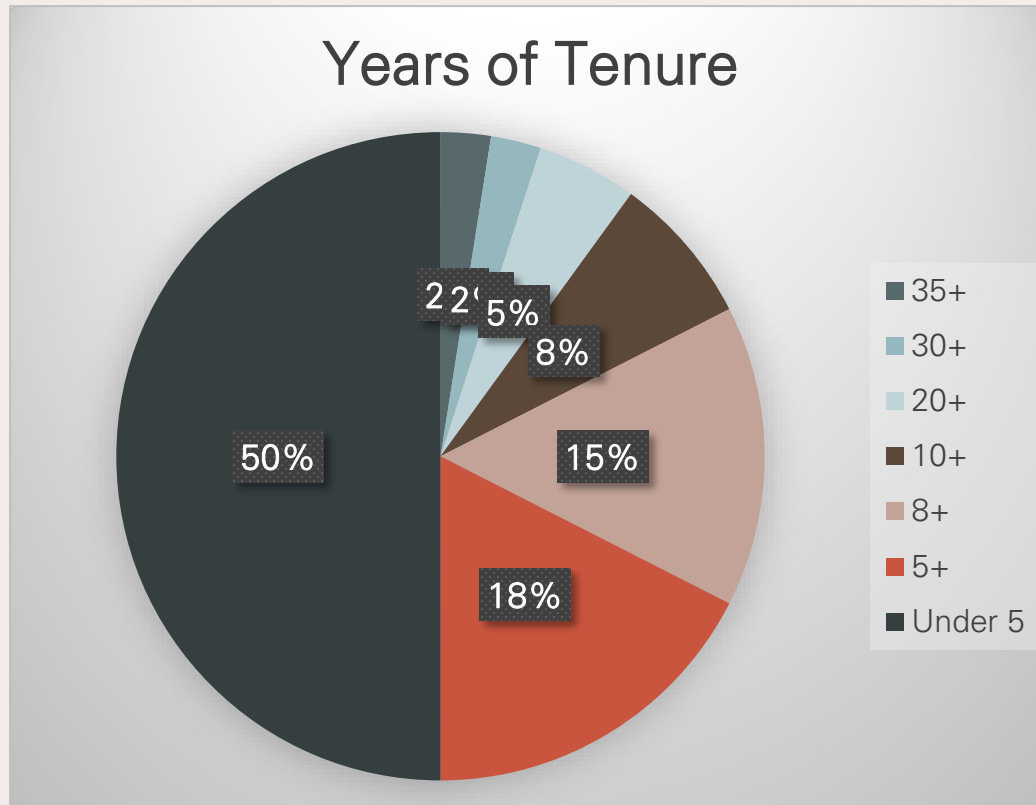
Employees Drive the Store

Effective and motivated employees are the key differentiator versus other stores

- High touch customer service
- Create a friendly, community focused shopping experience
- First and last impression of the store
- Knowledge experts on products and the local community



Employee Attraction & Retention

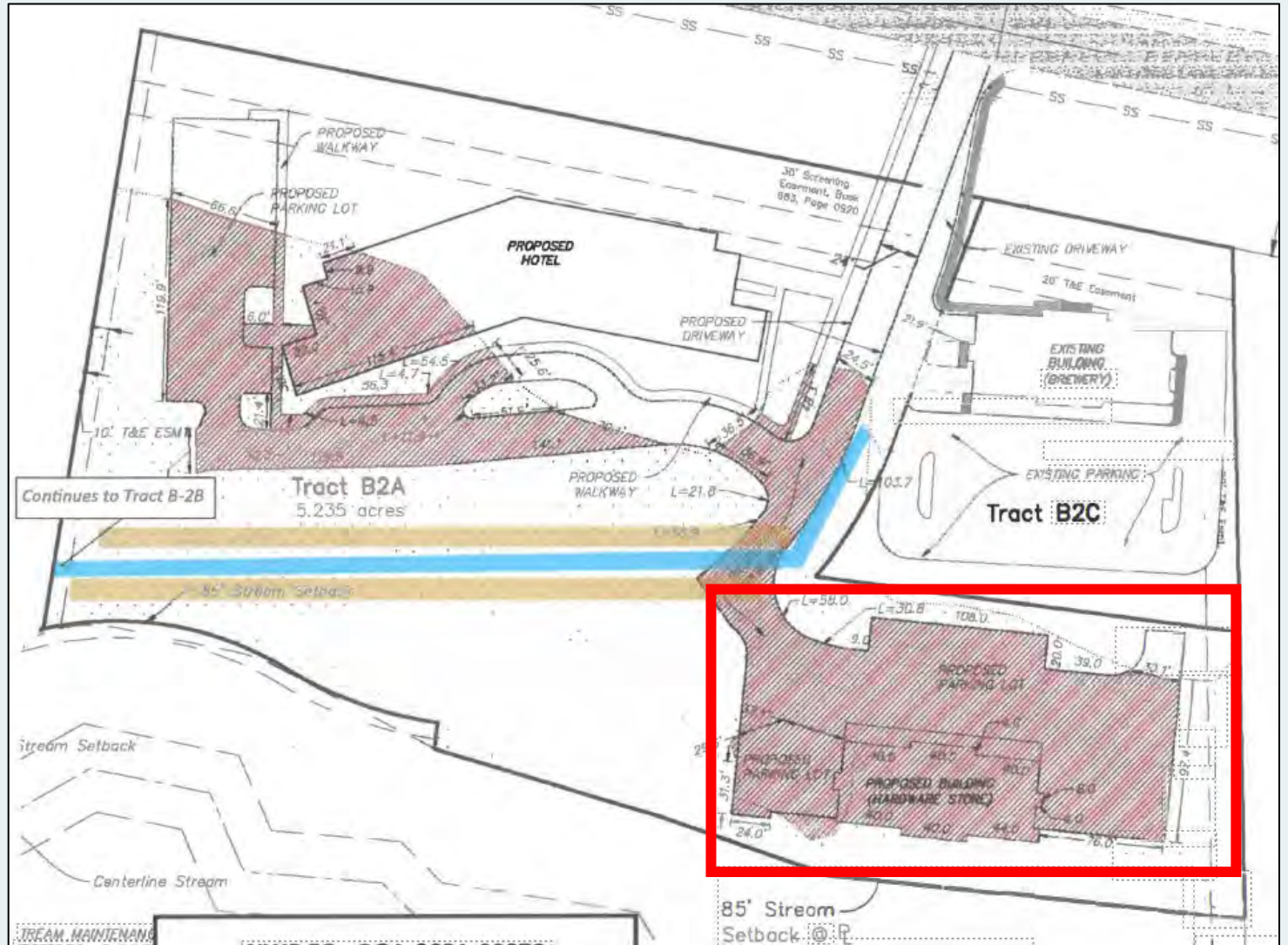


Half of Ulmer's employees have been employed for 5+ years

- Blended mix of full-time and part-time employees
- Starting wage - \$19.00/hr
- Average floor wage - \$21.50/hr
- Managers - \$25-30/hr
- 401(k) Program – Company match 100%
- Annual bonuses - \$1,000 - \$5,000+
- Employee discount – 20%-30% savings

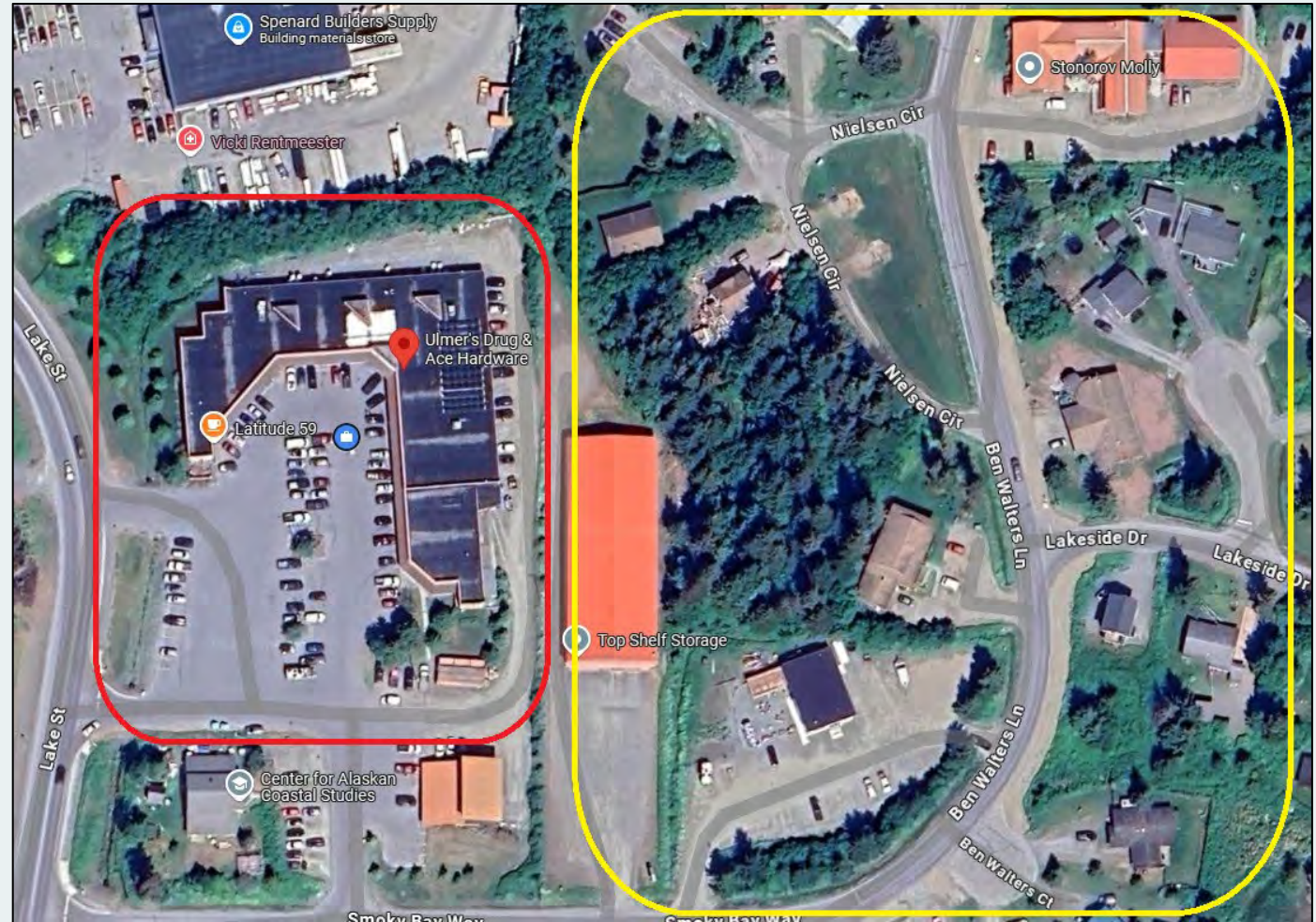
Proposed Site

- Proposed store to be located opposite the existing brewery
- Parking area will be designed to maximize possible spaces
- Combined with brewery parking spaces, will provide nearly 3x the available parking spots
- Will allow brewery customers to utilize hardware parking lot



Good Neighbors

- Ulmer's borders a neighborhood in Homer with no impact
- Minimal noise impact with 2-3 weekly deliveries
- Outside noise pollution only comes from offloading pallets
- Cardboard bailer and recycling reduces weekly waste to one 8 cu yd trash bin per week
- No outside trash or pollution makes it's way to community



Hardware Store Traffic

Transactions by Hour										
8-9	9-10	10-11	11-12	12-1	1-2	2-3	3-4	4-5	5-6	6-7
3%	6%	7%	10%	11%	12%	13%	11%	12%	9%	6%
26%				47%				27%		
8%		18%		22%		25%		21%		6%

Customers by Day						
Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday
15%	15%	15%	15%	16%	14%	10%

- Anticipated Hours - Weekdays: 9am – 7pm & Weekends: 9am – 6pm
- 75% of sales occur before 4pm
- Monday – Saturday have similar customer counts
- Sunday is slow; 50-60% of normal days
- Busiest during May – September
- Slowest during November - March

Mountain Modern Aesthetic



- Simple, clean, mountain design with low profile
- Enhance the architectural appeal of Girdwood
- Minimal light pollution; what's needed to provide safety to customers
- No intention of “standing out” with bright lights to attract eyes
- Ace Hardware does not dictate aesthetic with corporate requirements



Use Ulmer's as a Blueprint to Create Girdwood Hardware & Sport

Ulmer's is a resilient store that has adapted over time to become a leading Alaskan Ace Hardware

- Use existing store staff to support initial startup operations
- Training opportunities in a working store for managers and new hires
- Established vendor relationships
- Knowledge of small community needs



Girdwood Hardware & Sport



Monica Mede
Patrick Mede



Aaron Ulmer

Resolution of Support for a Text Amendment to Update the Use Table for gC-10 Zoning District

WHEREAS, current zoning in Girdwood was established through AO 2005-81(S) based on the Land Use Map from the 1995 Girdwood Area Plan, and

WHEREAS, the limited developable land in Girdwood Valley is currently split into five residential zones, ten separate commercial zones, two industrial and two resort zones, and several special use zones, and

WHEREAS, when originally set up, gC-10 was undeveloped land with the intent of permitting *“development of a limited range of non-retail commercial uses along with residential uses in a manner compatible with the surrounding residential land use”*, and

WHEREAS, parts of the gC-10 zone have now been developed, including a very popular brewery, and

WHEREAS, although permitted under a general manufacturing use, the brewery functionally operates in a very similar way to a general retail operation during the hours it is open to the public, and

WHEREAS, regulations for other commercial zones set out a progressive approval process for proposed buildings based on their gross floor area, with smaller structures below 2,000 sqft allowed by right, moderate sized structures up to 4,000 sqft requiring an administrative site review, larger allowed structures requiring a major site plan review, and a maximum structure size, and

WHEREAS, the newly adopted 2025 Girdwood Comprehensive Plan shows the gC-10 areas as Mixed Use category, and includes a specific economic policy to increase the opportunities for new commercial development in Girdwood, and

WHEREAS, adoption of the 2025 Girdwood Comprehensive Plan and Land Use Map will result in a rewrite of Girdwood zoning code, with a timescale for new code of at least 2-3 years, and

WHEREAS, in the meantime, GBOS will consider support for small specific changes to the Girdwood Land Use code of AMC 21.09 which are in accordance with and advance the goals of the 2025 Girdwood Comprehensive Plan, and

WHEREAS, at Girdwood Land Use Committee on April 14, 2025, by a vote of XXX ...

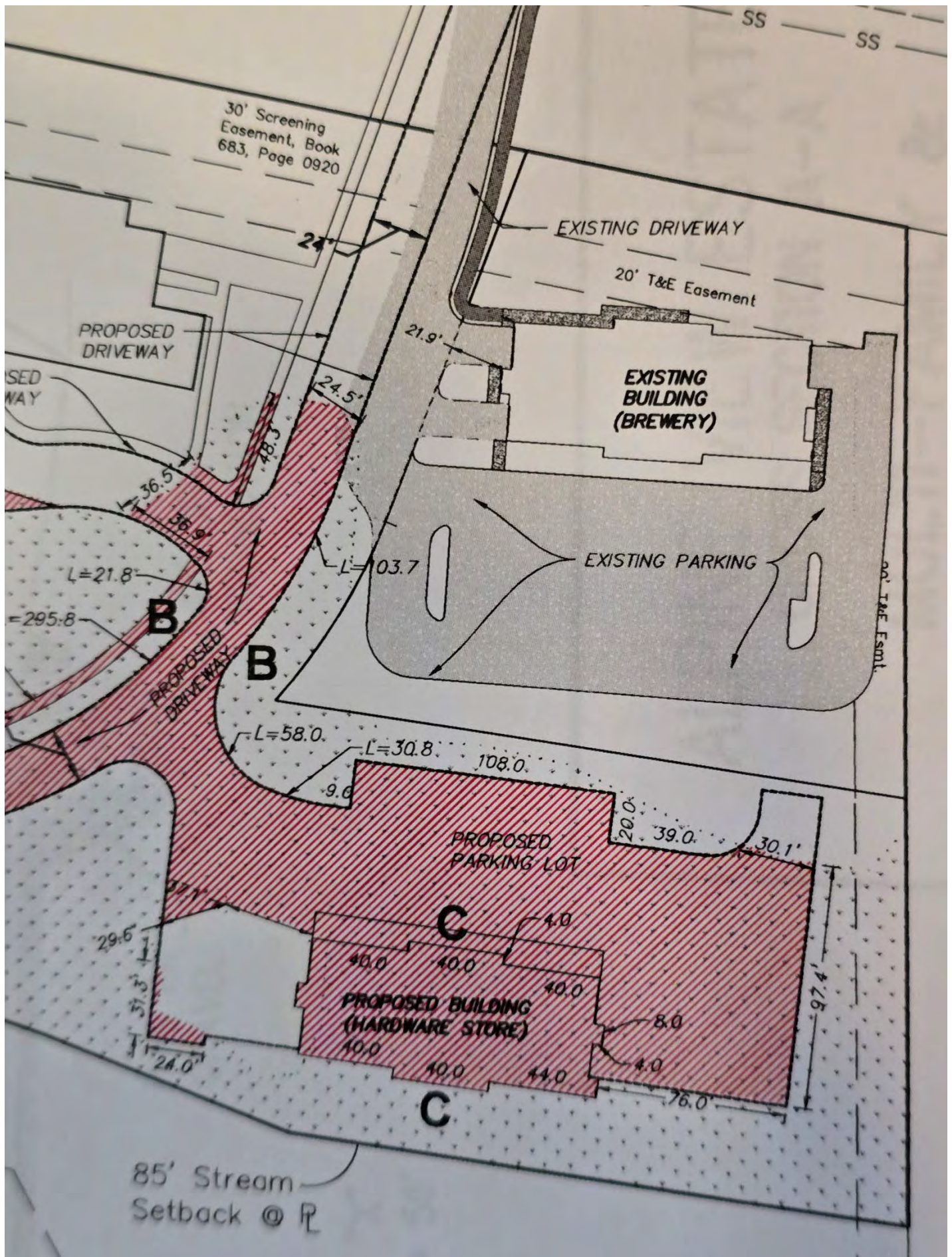
THEREFORE the Girdwood Board of Supervisors RESOLVES to recommend an update to the allowable uses for the gC-10 zone in AMC 21.09.050 to allow similar retail and office uses as other commercial zoning districts,

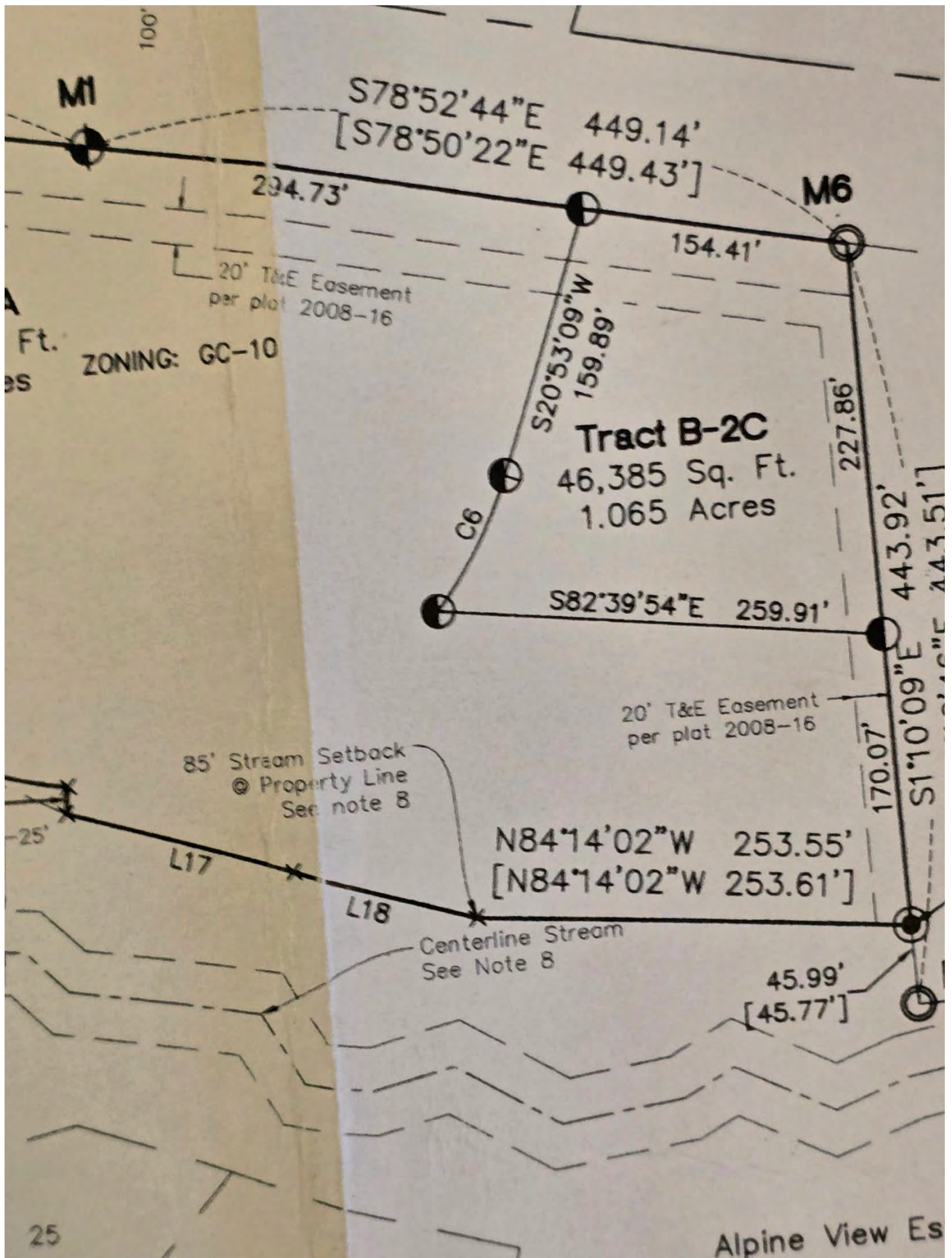
ALSO THEREFORE the allowable additional uses in gC-10 should be implemented as amendments to the gC-10 column of Table 21.09-2, Table of Allowed Uses, as follows:

- add a circled 4 (④) in all rows of the Office Use Category
- add a circled 4 (④) in all rows of the Retail (Personal Services) Use Category
- add a circled 4 (④) in all rows of the Retail (Repair and Rental) Use Category
- add a circled 4 (④) in all rows of the Retail (Sales) Use Category, except for the Use Types: Fueling Station, Meat/Seafood Processing and Nursery

PASSED ...

DRAFT





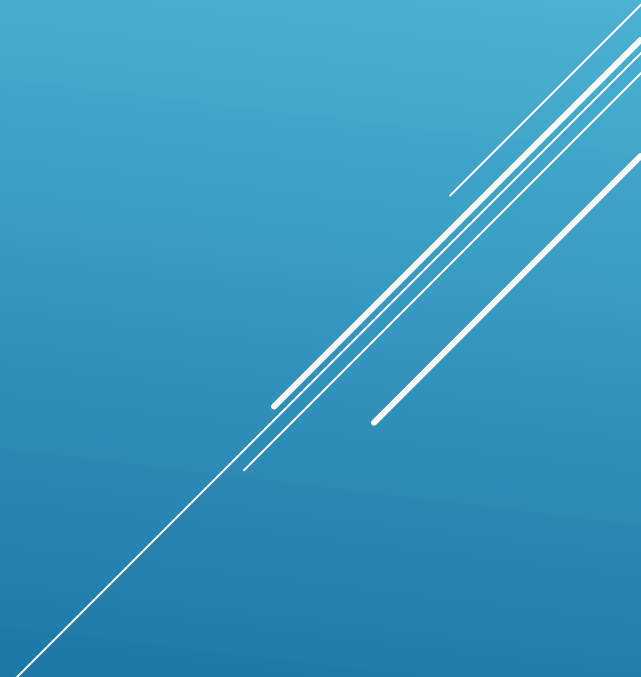
TRANSIT-SUPPORTIVE DEVELOPMENT

March 2025



WHAT IS TRANSIT-SUPPORTIVE DEVELOPMENT?

- ▶ Transit-Supportive Development is a planning and design strategy that consists in promoting urban development that is compact, mixed-use, pedestrian- and bicycle-friendly, and closely integrated with mass transit by clustering jobs, housing, services, and amenities around public transport stations



DO WE WANT IT?

- ▶ At the Federal Level (HUD): “Transit-Oriented Development is increasingly recognized as having the potential to improve the quality of life for American households, by creating vibrant, livable communities in proximity to transit.”
- ▶ At the Muni Level:
 - ▶ 2040 Land Use Plan (LUP), AO 2017-116
 - ▶ Goal 2:
 - ▶ Identify the most appropriate areas that can absorb more intensive use and compact housing
 - ▶ Ensure that infrastructure can serve identified sites, and that public amenities are available nearby; and
 - ▶ Support redevelopment and infill projects that can catalyze additional development.



Transit-supportive Development

Transit-supportive Development (TSD) identifies corridors where expanded public transit service will support a compact, walkable pattern of commercial, residential, and/or mixed-use development. Over time, compact development can create ridership demand to support more frequent bus service. It will give Anchorage’s households more choices in how to get to work and other destinations. It also provides more opportunities to live in a walkable, accessible, and affordable neighborhood environment.

WHAT DOES TSD LOOK LIKE?

2040 LUP



St. Paul, MN



Smyrna, TN



Portland, OR



Mercer Island, WA

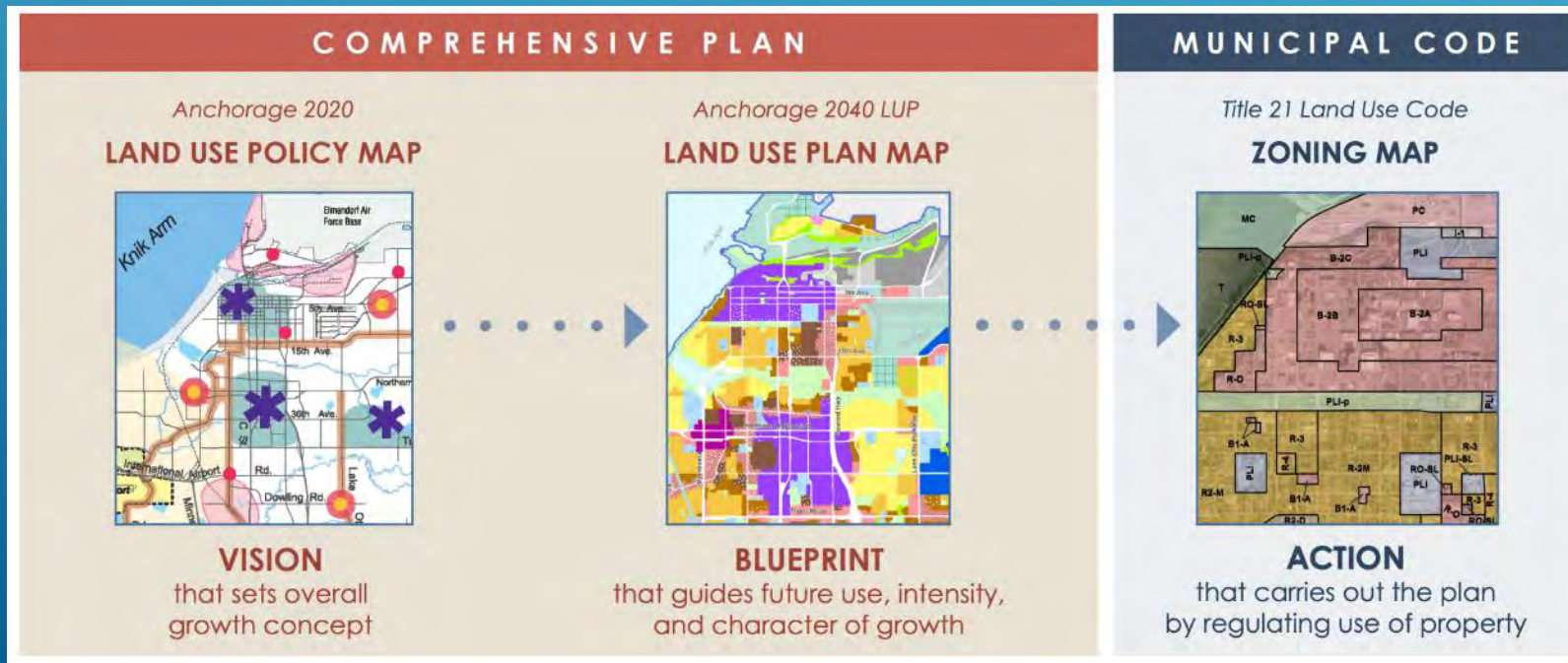


RELATIONSHIP BETWEEN PLANS AND CODE

- ▶ Plans: Vision and Strategy for the future shape of Anchorage
- ▶ Code: What can actually be built on the ground
- ▶ Transit-Supportive Development is in our plans, but was never implemented to be in code

We want this In the future

We can do this now

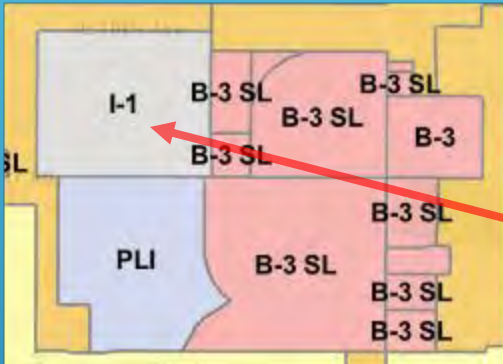
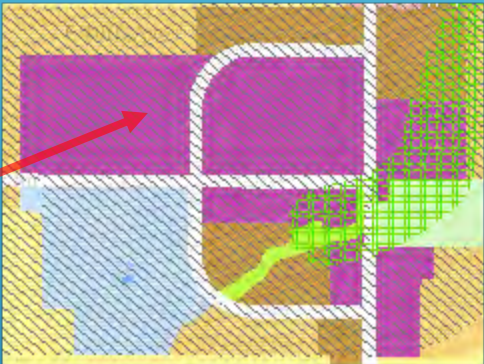


RELATIONSHIP BETWEEN PLANS AND CODE

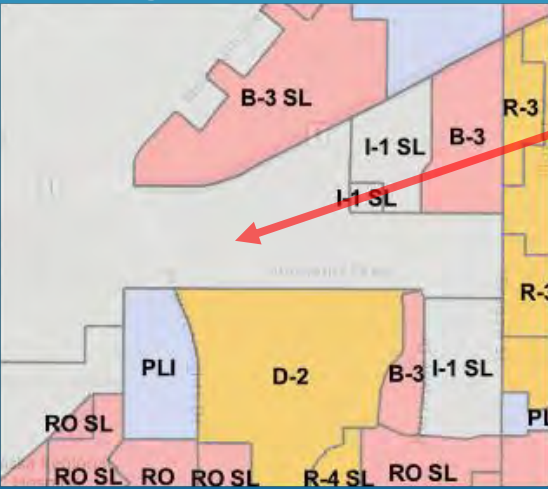
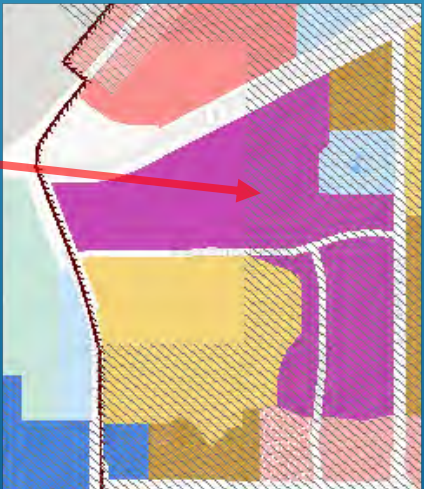
We want this In the future
(2040 LUP)

We can do this now
(Code)

Muldoon



Airport Heights



Town Centers (Purple):
Housing
Mixed-Use
Walkable

Industrial:
No Housing Allowed

WHAT OUR EXISTING CODE RESULTS IN: (MULDOON FRED MEYER AREA)

Existing land use regulations result in this:



WHAT TSD COULD RESULT IN:

Updated land use regulations could allow this:



[illegible]

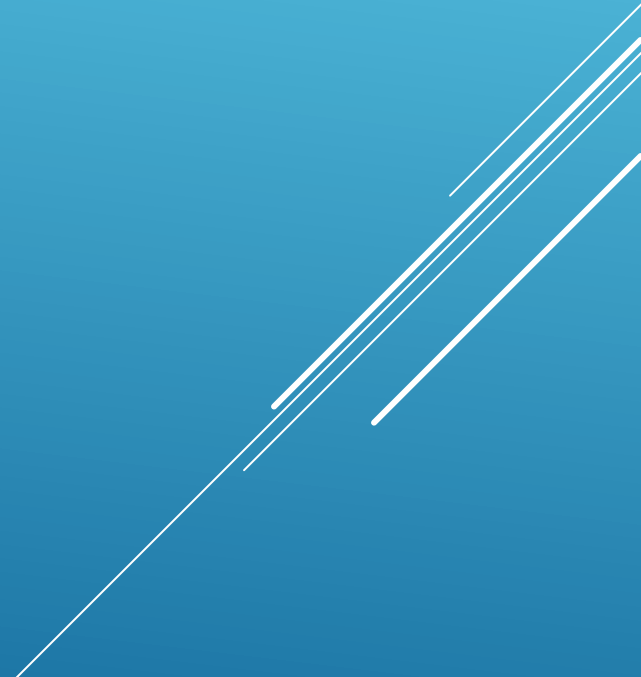
ALSO, TOWN CENTERS
ARE DARK PURPLE

WHO DOES IT HELP AND HOW?

▶ Who

- ▶ Young families and professionals
- ▶ Seniors Looking to downsize but stay in their community and maintain independence
- ▶ Entrepreneurs who want to serve their community
- ▶ Everyone who loves walking or biking to get a cup of coffee or a pastry

▶ How

- ▶ Increased availability and diversity of housing
 - ▶ Dynamic neighborhoods and corridors
 - ▶ Greater transportation flexibility and choice
 - ▶ Commercial opportunities and growth
 - ▶ Financial benefits to city and residents
- 
- A series of white diagonal lines of varying lengths and thicknesses, located in the bottom right corner of the slide, creating a modern, abstract graphic element.

BENEFITS

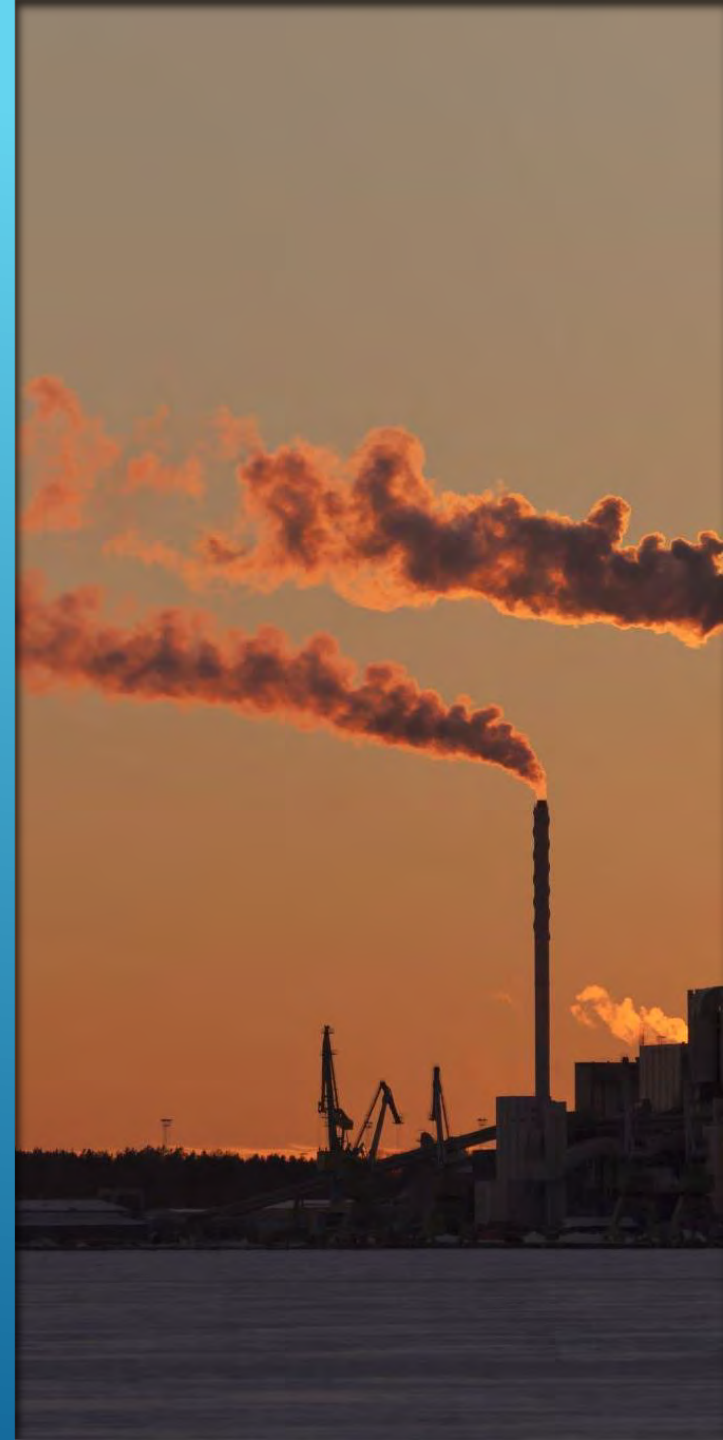
- ▶ University of Utah: Walkable neighborhoods contribute to 15% decrease in obesity and 20% decrease in diabetes
- ▶ Fiscally sound policy: more intensive land use contributes greater property taxes at same mill rates and land valuations for existing properties
- ▶ Increases development by relieving constrictions on development that contribute to high housing prices and depreciating housing stock
- ▶ Creates affordable, attainable, desirable housing at a range of income levels and in multiple areas of town
- ▶ Provides greater incentive for roads to be retrofitted for greater pedestrian and cyclist use as areas transform into mixed-uses

DOES IT WORK?

- ▶ U.S. Department of Transportation: “Homes in walkable and transit-accessible areas are extremely desirable, and insufficient supply generally leads to higher prices for these homes. Increasing the amount of development near transit enables lower housing costs and makes more convenient transit service available for residents of all incomes.”

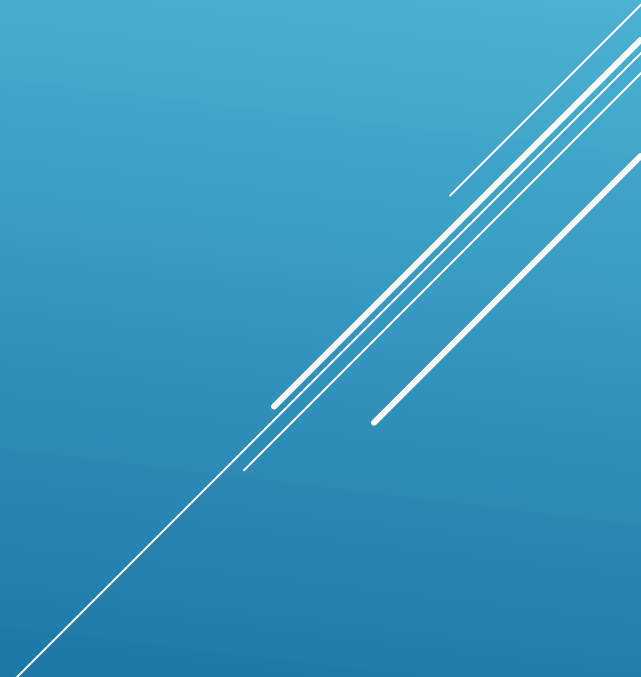
- ▶ Urban Areas
 - ▶ Significant drops in energy consumption
 - ▶ 4,000 ppl/km²
 - ▶ 10,000 ppl/km²
 - ▶ 22,000 ppl/km²
 - ▶ DU/Acre:
 - ▶ 6
 - ▶ 16
 - ▶ 35 (FTA goal for TSD is 36 du/acre)
- ▶ Per Capita Energy Consumption:
 - ▶ U.S. Average: 279 Million BTUs
 - ▶ Alaska: 987 Million BTUs (3.5x the average)

FROM A CLIMATE STANDPOINT



WHAT IS THE PATH FORWARD?

- ▶ Resolution in support of implementing Town Centers and Transit-Supportive Corridors from the 2040 LUP.
- ▶ Engage in the public process should an ordinance come forward.



BACKUP SLIDES

