

COMPATIBLE-SCALE INFILL HOUSING
(R-2 ZONES) PROJECT

EXHIBIT A, APPENDIX A-2

MARCH 4, 2019

PUBLIC HEARING DRAFT

R-2 ZONES SITE TESTING

Executive Summary:

In the course of the R-2 Zones Amendment Project, builders asked the Planning Department to test the effects of the proposed code amendments on the potential for development. Builders expressed concerns that the new standards would limit the size, shape, and types of structures beyond what was economically feasible to build or competitive in the housing market. The results of this test address these concerns, and demonstrate that the proposed changes will not limit development.

Builders suggested a four-unit multifamily structure on an urban lot be used as the test subject. The test would illustrate: 1) building sizes allowed under the proposed amended code versus those commonly built today; 2) the changes, if any, the proposals would make to unit sizes and arrangements; and 3) the difficulty, or ease, of compliance with the proposed standards with regards to current standards. After completing a test on several such model buildings, the tests revealed the following key findings:

1. Existing code standards appeared to have greater impacts on building design, layout, and area, than any of the proposed standards. Floor Area Ratio (FAR) did not decrease the size of model buildings in regards to recent trends.
2. Applying proposed standards was easier, or equal in difficulty, than current code standards.
3. Proposed standards did not limit model building size or number of units any more than current code standards or market trends. Model buildings provided the desired types and sizes of development while addressing concerns for life safety, quality of life, and neighborhood character.
4. Proposed FAR limits allowed for the size and configuration of the model development to meet even the upper end of unit sizes currently in demand.
5. Solar access step-back had no impact on unit or model building size, and allowed model buildings to have three stories. It did affect the locations of the model buildings on the lots. The proposed standard was not the controlling factor on the location or height of rooftop access enclosures. The test illustrated the necessity of the proposed standard, making new, taller development more attractive, respectful, and responsive to neighbors.
6. Existing articulation requirements and other affects from building orientation and location made compliance with proposed articulation requirements easy. Such things as building modulation and elevations free of garage doors were very easy to meet, and multiple materials or entrance articulation created handsome elevations instead of blank walls. Designs achieved transparency requirements and articulation menu items. The test illustrated the necessity of the proposed articulation, making new, taller development more attractive, respectful, and responsive to neighbors, and nicer spaces for residents.
7. Building length and entry stair height limitations were not issues for these model developments.
8. Staff should make some language edits to the proposed amendment to clarify standards, explained on page 35 of Exhibit A of this project.
9. Neither pedestrian access nor private open space requirements resulted in decreased model building size or vehicle access.

Although this test modelled only one development type, a multifamily four unit townhouse-style building on an urban lot, its findings provide justification for the ordinance amendment. The testing shows that the amendment does not limit the ability to develop sites to meet market demands, and achieves a balance between neighborhood concerns around scale of infill development and the community demands for more housing.

R-2 ZONES SITE TESTING – REPORT

Introduction:

The Planning Department conducted this test at the request of the development community to illustrate how the proposed R-2 Districts Amendment might impact housing projects. The proposed FAR limit and the solar access step-back were of primary concern. The initial questions were:

1. What building configuration and building size (e.g. height, stories, gross floor area, etc.) can be built under the draft R-2 amendment as compared to current code?
2. What size of individual dwelling unit in living space and also gross floor area including garage, and what basic height, width, and configuration of unit, can be built?
3. What is the level of difficulty or constraint presented by each of the draft standards individually or in combination with other standards?

The test illustrated that while the proposed changes presented a different means of designing a building, the resulting construction was similar in size and layout to buildings developed under existing code.

Test Parameters:

- Illustrate how current Title 21, as amended by the R-2 public hearing draft, would affect a model multifamily four-unit townhouse development scenario on an urban infill lot, when compared to a similar model development under current code.
- Illustrate the combined effect of all Title 21 regulations on the model development scenario. Assume compliance with building or engineering codes, including for vehicle access, fire, and drainage and water treatment.
- Create three-dimensional visuals and a checklist table to document how the model developments respond and fare under both current zoning code and the proposed amended code.
- Use three different styles for the four-unit townhouse model development scenarios: two-story gable roofed buildings, two-and-one-half story gable roofed buildings, and flat-roofed buildings.
- For each model development style scenario, provide a model development design under current code and at least one model development design under the proposed amendment project. Create eight total test model buildings.
- The code compliance checklist table summarizes the regulatory requirement and documents how the model development complies with that requirement. These appear in the same order as the applicable chapters of Title 21.

Model Development Site and Program Assumptions:

After consultation with Anchorage Homebuilders representatives, a four-unit multifamily model development on a small urban infill/redevelopment site was selected with the following assumptions:

1. An interior lot with dimensions 140 feet x 80 feet, oriented with the 140-foot dimension east-west.
2. An urban block with improved alleys and local streets running north-south on each end of the lot.
3. The local streets have developed sidewalks.
4. The lot is flat, with dry soils.
5. Zoning of the site and adjoining lots is R-2M.

6. Each model building is a four-unit multifamily townhouse-style structure with attached garages. There are no accessory structures.
7. Each unit is addressed to the public street, not the driveway.
8. The driveway does not need to support a fire apparatus as a hose lay would reach all parts of the model building from the street.
9. No model development seeks Alternative Equivalent Compliance, Minor Modifications, Variances, or other discretionary administrative exceptions.
10. The code compliance checklist table outlines other development assumptions.

Test Procedure:

Staff used Sketchup 6 to model two blocks of six lots each. The local streets and alleys had 60-foot and 20-foot Right-of-Way respectively. The first lot illustrated the lot coverage, and the next lot showed the allowed building envelope, based on story numbers, building height, solar access step-back, and set-backs. Staff elected to test three styles: two-story gabled (“Project C” and “Project D”), two-and-one-half-story gabled (“Project E” and “Project F”), and three-story flat-roofed (“Project G”, “Project H”, “Project I”, and “Project J”). The model buildings regulated under current code were colored gray to differentiate them, and they were on the outermost streets. The model developments along the center street reflected proposed standards.

The model buildings included entrances, windows, wall modulations and changes in siding, and parapets. Additionally, staff modelled the required landscaping, driveways, snow storage, and solar access step-back planes. Model buildings also included the edges of garages, levels, and stair towers.

To test the three-story model buildings, staff modified the design of Park Strip Lofts at 800 West 10th Avenue to illustrate compliance with current Title 21 (“Project G”). For the proposed standards on three-story buildings, staff modeled two versions differing in the side of the model building on which the pedestrian connection occurs (“Project H” and “Project I”). A final iteration mimicked the design of Park Strip Lofts, as it had a daylight basement (“Project J”).

Staff took two-dimensional images from the Sketchup model and developed an InDesign file. This supported an Excel spreadsheet that outlined each applicable code standard, and how each model development complied. Land Use Reviewers used both the images and spreadsheet to ensure the model developments accurately complied with both current Title 21 and proposed standards. The testing team consulted with other review agencies and with homebuilders regarding certain standards, such as driveway widths or storm water engineering. After an initial review, staff adjusted the model developments to better reflect common construction methods, and remedy any outstanding nonconformities. Title 21 Land Use Review staff conducted final reviews for compliance.

Staff Findings:

IN BRIEF:

1. The proposed standards accommodated the full number of units permitted by the district on the lot, at unit sizes in demand on the market. Row 20 in the checklist table shows housing unit sizes in square feet.
2. Applying proposed standards was easier, or equal in difficulty, than current code standards.
3. Proposed standards were not the singular limit on model building size beyond current code standards.
4. Proposed FAR did not cause the size or configuration of model development for these scenarios to be outside of market demand or recent construction trends.

5. Solar access step-back had no impact on unit or model building size, and allowed model buildings to have three stories. It did affect the locations of the model buildings on the lots. The proposed standard was not the controlling factor on the location or height of rooftop access enclosures. The test illustrated the necessity of the proposed standard, making new, taller development more attractive, respectful, and responsive to neighbors.
6. Proposed articulation requirements had very limited impacts on model buildings, and the articulation menu items chosen to meet current code requirements were also effective in meeting the additional standards.
7. Proposed building length and entry stair height limitations did not affect the model developments.
8. Existing standards such as setbacks, lot coverage, vehicle access and parking, and height limits, appeared to have greater impacts on model building design, layout, and area, than any of the proposed standards. Proposed FAR limits did not shrink the size of model building or number of bedrooms below recent market trends.
9. Testing identified three language edits to the proposed amendment (found elsewhere in the staff report).
10. Neither existing pedestrian access nor private open space requirements subtracted area from the model building or vehicle access.

FAR AND SOLAR ACCESS TESTING OBSERVATIONS:

Testing revealed that the new FAR and solar-access step-back did not negatively impact development for the parameters given. Model buildings had essentially equal floor area to those built under existing code. Staff used the proposed FAR limit of 0.80 for each model development because the value represents the upper limit of most recent multifamily buildings in R-2M (see Section 6.1 Recommendation of Exhibit A for more information). Another variable of the test was that each unit should have two bedrooms, although the designs would work for three. Through code research, staff identified that four two-car garages and one shared guest space could accommodate the required parking, for either two- or three-bedroom units. Each model building met the market target of 1,600 sf of living space (not including garage). This also corresponds with the 85th percentile of recently constructed multifamily buildings, identified in the data research.

FAR:

FAR had one noted effect on the model developments: as the stories increased, the model building footprint reduced. The two-story model buildings (“Project C” and “Project D”) had a lot area coverage of 40%, whereas the three-story model buildings (“Project H”, “Project I”, and “Project J”) had coverages of 27%. These latter model buildings had the smallest living space areas, as nearly the entire ground floor contained the garage. Some model buildings included daylight basements (“Project G” and “Project J”). Although these add living space exempted from FAR, the two-car garages cause these spaces to be narrow and difficult to parse into multiple rooms. Additionally, the required excavation would add costs to the development, when compared with three identical floor plates. FAR did limit the size of the model buildings, but the living spaces were no smaller than the market target of recently constructed multifamily buildings, nor the 85th percentile size of recent construction.

Solar Access:

The solar access step-back similarly had limited effects to the model development scenarios tested. Although the solar access step-back did indirectly affect the story heights, it had greater

effect on the placement of a model building on the lot. The two-story model buildings (“Project C” and “Project D”) fit below the step-back with floor heights of 11 feet and 10 feet 8 inches.

The two-and-one-half-story model buildings (“Project E” and “Project F”) also fit below the step back, even though it had an additional 3 feet of wall height. This is because some of the floor area was in the half-story, so the footprint reduced 25%. As a result, the model buildings could move away from the north side setback and avoid the step-back. With the driveway on the north of the lot, the three-story model buildings (“Project H” and “Project I”) fit as well, with the top of the parapet at 33 feet above grade (the proposed maximum height) touching the sloping step-back but not exceeding it. Even with the driveway on the south (“Project J”), the necessary step-back of the upper level benefited the model building in meeting the building articulation menu. Although the step-back had effects on the heights of model buildings, it predominately changed only the model building’s placement on a lot. However, this proposed standard shared the burden of building placement with an existing standard: site access.

Vehicle Access and Landscaping:

Notwithstanding a proposed amendment to AMCR 21.90, the site access requirement for these model developments involved the most assumptions. Based on code, the model development would require a private street 30 feet wide accessing the alley. Traffic Engineering informed staff that they would allow a dead-end driveway with 24-foot width. The limits on development this requirement presents was most apparent for the model two-story building. Instead of any of the proposed standards limiting development, the existing code requirements for vehicular access produced greater limitation. The 24 feet between the building and edge of pavement, which after the five feet of landscaping separation becomes 25 feet, and the opposite side setback of 10 feet, notwithstanding any other code standards, constrain the building dimensions more than solar access step-backs or FAR values.

Code Test Observations:

Below is an analysis of the applicable Title 21 sections and their impact on the modelled developments. (see table for code section numbers):

1. **Building Length:** Because of the lot dimensions, no model building elevation was greater than 150 feet or 180 feet, nor were more than four units permitted.
2. **Building Articulation:** The two- and two-and-one-half-story model buildings (“Project F”) did not require additional elevation articulation than is already required. The three-story model buildings (“Project H”, “Project I”, and “Project J”) easily met the additional requirements because of their layouts and designs. The testing identified a need to edit the language in this provision 21.04.020F.2.c., to clarify and limit the applicability to tall side walls. This will be provided in the R-2 staff report
3. **Exterior Stairs:** The model building developed under proposed standards with exterior stairs (“Project J”) easily met the proposed standard as its first floor above grade was only three feet above grade. This height was a factor of the overall building height limit of 30 feet.
4. **Garage Area:** In none of the model developments did the limit on garage area affect model building size or layout.
5. **Lot Coverage:** The lot coverage maximum did not limit the model buildings under current code any more than other factors.
6. **Setbacks:** Model buildings easily met setbacks.

7. **FAR:** Each model building under current code had a unit size between 2,198 sf and 2,576 sf (including garages, rooftop enclosures, and basements) reflecting market standards and the 85th percentile of recently constructed multifamily units. This corresponded with the proposed FAR standard of 0.80, so all buildings modelled fell just below that value.
8. **Number of Stories:** Building height in stories did not limit the amount of floor area in the model buildings “Project C”, “Project E”, and “Project G” compared with recent trends.
9. **Rooftop Appurtenances:** For flat roofed model buildings with rooftop appurtenances, these met the 1/3 of roof area limit. The stair towers on the buildings modelled under proposed code (“Project H” and “Project I”) met the 11-foot height exception limit. These spaces had eight- to nine-foot ceilings atop a rooftop deck at 30 feet. “Project G” had a stair enclosure built to 12 feet, below the current exempted height by over four feet.
10. **Parapet Height:** The parapet height seemed more bound to the overall building height. The parapets on the model buildings “Project H”, “Project I”, and “Project J” were three feet high. Had the roofs been lower, the parapets could have been taller, but the proposed limit seemed reasonable and realistic. “Project G” had four-foot tall parapets.
11. **Flat Roof Solar Access:** Because of the model building orientations and layouts, stair towers, built to the proposed height limits, were well below the proposed solar access step-back. Some of the parapets were close to the limit, but the model building could easily have been farther south on the lot and still have met the standard, as the three-story model building with the pedestrian connection along the driveway (“Project I”) illustrates. The solar access step-back had no effect on parapets along party walls.
12. **Dormers:** None of the dormers utilized the proposed height exception nor exceeded the overall height limit. Those that impacted the solar access step-back had widths much less than 40 feet.
13. **Gable Solar Access:** All of the model buildings with gables (“Project C”, “Project D”, “Project E”, and “Project F”) used 8:12 slopes for consistency and to match contemporary trends. In all such cases the overall building height limits constrained model buildings more than the solar access step-back.
14. **Areas not in FAR:** “Project J” had a daylight basement that met all the requirements for a story below grade. As a result, its floor area counted towards Gross Floor Area, but not FAR.
15. **Private Open Space:** Private open space standards were not difficult to meet and did not affect the model site plan configuration or model building size. Each gabled model building had only common private open space. For consistency, each model development uses the same 20-foot x 80-foot front setback area to provide the required 1,600 sf. The flat-roofed model buildings had additional individual private open space through the nature of having a roof-top deck, and several used balconies to meet articulation requirements, so those areas counted as well.
16. **High Quality Spaces:** No model development used the incentive for high quality spaces.
17. **Snow Storage:** All of the model developments easily fit the required snow storage. Although the model developments showed 200 sf overlapped with private open space, the storage could have been elsewhere on the site without much difficulty. The modelled locations seemed the most practical for snowplowing.
18. **Pedestrian Access:** Pedestrian walkways did not add any space to the model development, as they could go through the required driveway width, setbacks, and open space. They did affect the placement of the model buildings, as the code requires five feet of landscaping between the building and common vehicle circulation. Because the walkway can be within that area, the five feet begins at the edge of the walkway, meaning the building is eight feet from the drive aisle. This benefited a number of model developments by moving the model buildings away from the solar access step-back.

19. **Required Trees:** Each model development required five trees, and they could be placed anywhere on the site. There were no issues on fitting the plants on the site. However, the minimum landscaping bed between the building, driveways, and shared driveway is 4 feet x 5 feet, and may be difficult for certain species of trees to become established.
20. **Parking:** As mentioned before, the parking could accommodate four three-bedroom units as well as four two-bedroom units. Although each model development provides one guest parking space, some could have provided two. Some model developments use a parallel space to the alley, and others provide a space perpendicular to the driveway between the model building and alley. Those that have parking spaces parallel to the alley require it for maneuvering, but all other maneuvering is on-site, all the distance from any parking space perpendicular to, and accessed from, the driveway has at least 24 feet of pavement behind it.
21. **Driveway Bump-Out:** Bump-outs from the last driveway to the end of the shared driveway varied, but were all above the minimum identified as five feet. With these limits, the shared driveway never extended into the front set-back. Because of other constraints, such as whether guest parking was parallel to the alley or perpendicular to the driveway, these values could vary greatly. Only on the two-story model buildings (“Project C” and “Project D”) were the stub-out a concern, but had the guest parking spaces been parallel to the alley, the issue would disappear.
22. **Parking Dimensions:** The garage doors were all 8 feet tall, providing the necessary clearance, and the inside dimensions of the garages were all greater than 22 feet. The guest parking space was 10 feet x 24 feet in all cases.
23. **Street-Facing Windows:** Each model building easily met the Windows Facing the Street requirement. Because the model building designs did not readily have a clear “primary entrance elevation”, and “street-facing elevation”, application of this and other articulation standards was difficult.
24. **Orientation Menu:** Meeting the Building and Site Orientation Menu presented few issues, especially because two choices were given from the model building orientation alone. Because the garages did not face the street, and there was a separated path from the entries to the street, the model buildings needed only one other item. The menu did not change the form of the model buildings.
25. **Articulation Menu:** The model buildings met Building Articulation Menu, however the differentiation of the elevations based on whether they had primary entrances caused some confusion. The menu items chosen were not reliant on the proposed standards, and many model buildings met more than the minimum number. Any difficulties in meeting the menu came from the initial desire to maximize model unit size. Had the model units been smaller, there would have been much greater flexibility for the design.
26. **Entrance Treatment:** Entrance treatments frequently counted towards Articulation Menu items.
27. **Entry Landscaping:** Few front entries faced the street, but those that did had the required landscaping. The required trees counted towards the minimum of five, identified earlier in code.
28. **Landscaping:** The widths between driveways varied, but was never less than four feet. There was no difficulty meeting this standard. Additionally, the planting bed requirement did not affect the model developments other than adding a foot to the 24 feet for driveway and maneuvering. What caused some confusion and required additional research was determining how much of the landscaping could be within the 24 feet. Fitting the required number of shrubs into the beds was not ideal for plant health.
29. **Driveway Frontage:** Because the driveway does not come off of the street, the frontage limit does not apply.

Conclusion:

The test shows that neither the proposed solar access step-back nor the proposed FAR standard created barriers to model development sizes and layouts currently in demand, nor to those recently constructed. Other existing code standards had equal or greater limits on the model buildings designs. This test was exceedingly illustrative to the Planning Department on the process that designers and builders must undertake to deliver housing in Anchorage. Each standard aims to preserve life, and quality of life, for current and future residents, and should not be levied or eliminated without consideration.

R-2 Amendment Site Test- Four-Unit Multifamily Townhouse-Style
Building on Small Urban Infill Site

	A	C	D	E	F	G	H	I	J
1		Code Comparison 1: Two-story Gable Roof Scenario		Code Comparison 2: Two-and-one-half Story Gable Roof Scenario		Code Comparison 3: Flat Roof Scenarios			
2		Existing Code	Proposed Amended Code	Existing Code	Proposed Amended Code	Existing Code	Proposed Amended Code	Proposed Amended Code	Proposed Amended Code
3	AMC Title 21 Section	Current Code Two-story Gable Roof Scenario	R-2 Zones Amendment Two-story Gable Roof Scenario	Current Code 2.5-story Gable Roof Scenario	R-2 Zones Amendment 2.5-story Gable Roof Scenario	Current Code Two-story with Daylight Basement Scenario	R-2 Zones Amendment (1) Three-story Flat-roof Scenario with entries opposite from garages	R-2 Zones Amendment (2) Three-story Flat-roof Scenario with entries on same side as garages	R-2 Zones Amendment (3) Three-story with Daylight Basement Scenario
4	21.03.100: Land Use Permit	Subsections A through D.: This building would be reviewed for compliance with the Title 21 land use regulations under the Land Use Permit procedure, which is the standard administrative permit for by-right development. It would be reviewed under the Title 23 definition of “commercial” occupancy as it has more than 3 units. Municipality is required to provide Land Use Permit review comments within 10 days. Complies: Development scenario underwent review by the applicable agencies in coordination with Planning Department.	No changes. Complies: Development scenario underwent review by the applicable agencies in coordination with Planning Department.	Subsections A through D.: This building would be reviewed for compliance with the Title 21 land use regulations under the Land Use Permit procedure, which is the standard administrative permit for by-right development. It would be reviewed under the Title 23 definition of “commercial” occupancy as it has more than 3 units. Municipality is required to provide Land Use Permit review comments within 10 days. Complies: Development scenario underwent review by the applicable agencies in coordination with Planning Department.	No changes. Complies: Development scenario underwent review by the applicable agencies in coordination with Planning Department.	Subsections A through D.: This building would be reviewed for compliance with the Title 21 land use regulations under the Land Use Permit procedure, which is the standard administrative permit for by-right development. It would be reviewed under the Title 23 definition of “commercial” occupancy as it has more than 3 units. Municipality is required to provide Land Use Permit review comments within 10 days. Complies: Development scenario underwent review by the applicable agencies in coordination with Planning Department.	No changes. Complies: Development scenario underwent review by the applicable agencies in coordination with Planning Department.	No changes. Complies: Development scenario underwent review by the applicable agencies in coordination with Planning Department.	No changes. Complies: Development scenario underwent review by the applicable agencies in coordination with Planning Department.
5	21.03.100E:	Subsection E: Improvements Associated with Land Use Permits. Off-site public infrastructure improvements deemed necessary to serve this development would be required. Complies: The street is assumed to be improved. Paving of the alley that is used as access may be required depending on its condition of the alley.	No changes. Complies: The street is assumed to be improved. Paving of the alley that is used as access may be required depending on its condition of the alley.	Subsection E: Improvements Associated with Land Use Permits. Off-site public infrastructure improvements deemed necessary to serve this development would be required. Complies: The street is assumed to be improved. Paving of the alley that is used as access may be required depending on its condition of the alley.	No changes. Complies: The street is assumed to be improved. Paving of the alley that is used as access may be required depending on its condition of the alley.	Subsection E: Improvements Associated with Land Use Permits. Off-site public infrastructure improvements deemed necessary to serve this development would be required. Complies: The street is assumed to be improved. Paving of the alley that is used as access may be required depending on its condition of the alley.	No changes. Complies: The street is assumed to be improved. Paving of the alley that is used as access may be required depending on its condition of the alley.	No changes. Complies: The street is assumed to be improved. Paving of the alley that is used as access may be required depending on its condition of the alley.	No changes. Complies: The street is assumed to be improved. Paving of the alley that is used as access may be required depending on its condition of the alley.
6	21.04.020F.2: R-2M District Specific Standards	Subsection a. Building must contain no more than eight dwelling units. Complies: contains 4 units.	No changes. Complies: contains 4 units.	Subsection a. Building must contain no more than eight dwelling units. Complies: contains 4 units.	No changes. Complies: contains 4 units.	Subsection a. Building must contain no more than eight dwelling units. Complies: contains 4 units.	No changes. Complies: contains 4 units.	No changes. Complies: contains 4 units.	No changes. Complies: contains 4 units.
7	21.04.020F.2b: Maximum Building Elevation	Subsection b. Length of a building elevation that is 2 stories must be no more than 180 feet. Complies: elevation is 100 feet long, building is two stories.	Subsection b. Length of elevation for a building taller than 25 feet must be no more than 150 feet. Complies: elevation is 100 feet long, building is 28' 10" tall.	Subsection b. Length of a building elevation that is 2.5 stories must be no more than 150 feet. Complies: elevation is 100 feet long, building two-and-one-half stories.	Subsection b. Length of elevation for a building taller than 25 feet must be no more than 150 feet. Complies: elevation is 100 feet long, building is 30 feet tall.	Subsection b. Length of a building elevation that is 2 stories must be no more than 180 feet. Complies: elevation is 100' 3" long, building is two stories.	Subsection b. Length of elevation for a building taller than 25 feet must be no more than 150 feet. Complies: elevation is 96 feet long, building is 30 feet tall.	Subsection b. Length of elevation for a building taller than 25 feet must be no more than 150 feet. Complies: elevation is 96 feet long, building is 30 feet tall.	Subsection b. Length of elevation for a building taller than 25 feet must be no more than 150 feet. Complies: elevation is 96 feet long, building is 30 feet tall.

R-2 Amendment Site Test- Four-Unit Multifamily Townhouse-Style
Building on Small Urban Infill Site

	A	C	D	E	F	G	H	I	J
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3	AMC Title 21 Section	Current Code Two-story Gable Roof Scenario	R-2 Zones Amendment Two-story Gable Roof Scenario	Current Code 2.5-story Gable Roof Scenario	R-2 Zones Amendment 2.5-story Gable Roof Scenario	Current Code Two-story with Daylight Basement Scenario	R-2 Zones Amendment (1) Three-story Flat-roof Scenario with entries opposite from garages	R-2 Zones Amendment (2) Three-story Flat-roof Scenario with entries on same side as garages	R-2 Zones Amendment (3) Three-story with Daylight Basement Scenario
8		(There is no subsection c. in current code.) Subsection c. For three-story building elevations: In addition to the street-facing building elevation and the front entry building elevation facing an abutting lot, the building elevation facing the other abutting lot must comply with the building articulation menu of Title 21 Section 21.07.110C.7. Complies: Building is only two stories and so not subject to c.	(There is no subsection c. in current code.) Subsection c. For three-story building elevations: In addition to the street-facing building elevation and the front entry building elevation facing an abutting lot, the building elevation facing the other abutting lot must comply with the building articulation menu of Title 21 Section 21.07.110C.7. Complies: Building has effectively three stories only on its end walls and the long elevation with primary entrances. As current Title 21 already requires articulation on these elevations (see later), proposed Subsection c. would not require an additional elevation to comply with Section 21.07.110C.7.	(There is no subsection c. in current code.) Subsection c. For three-story building elevations: In addition to the street-facing building elevation and the front entry building elevation facing an abutting lot, the building elevation facing the other abutting lot must comply with the building articulation menu of Title 21 Section 21.07.110C.7. Complies: Building has effectively three stories only on its end walls and the long elevation with primary entrances. As current Title 21 already requires articulation on these elevations (see later), proposed Subsection c. would not require an additional elevation to comply with Section 21.07.110C.7.	(There is no subsection c. in current code.) Subsection c. In addition to the street-facing building elevation and the front entry building elevation facing an abutting lot, the building elevation facing the other abutting lot must comply with the building articulation menu of Title 21 Section 21.07.110C.7. Complies: Building elevation facing north incorporates menu choices b, d, e., and I. Elevation facing south incorporates menu choices b, f, i, and j.	(There is no subsection c. in current code.) Subsection c. In addition to the street-facing building elevation and the front entry building elevation facing an abutting lot, the building elevation facing the other abutting lot must comply with the building articulation menu of Title 21 Section 21.07.110C.7. Complies: Building elevation facing north incorporates menu choices b, d, e., and I. Elevation facing south incorporates menu choices b, d, f, and I.	(There is no subsection c. in current code.) Subsection c. In addition to the street-facing building elevation and the front entry building elevation facing an abutting lot, the building elevation facing the other abutting lot must comply with the building articulation menu of Title 21 Section 21.07.110C.7. Complies: Building elevation facing north incorporates menu choices c, d, i, and j. Elevations facing south incorporates menu choices c, d, e, and I.	(There is no subsection c. in current code.) Subsection c. In addition to the street-facing building elevation and the front entry building elevation facing an abutting lot, the building elevation facing the other abutting lot must comply with the building articulation menu of Title 21 Section 21.07.110C.7. Complies: Building elevation facing north incorporates menu choices c, d, i, and j. Elevations facing south incorporates menu choices c, d, e, and I.	
9		(There is no subsection c. in current code.) Subsection c. For three-story building elevations: One of the two long elevations facing the abutting lots must include wall plane modulations in one of the menu choices from the building articulation menu of Title 21 Section 21.07.110C.7. Complies: Building is only two stories and so not subject to c.	(There is no subsection c. in current code.) Subsection c. For three-story building elevations: One of the two long elevations facing the abutting lots must include wall plane modulations in one of the menu choices from the building articulation menu of Title 21 Section 21.07.110C.7. Complies: Building has effectively three stories only on its end walls and the long elevation with primary entrances. As current Title 21 already requires articulation on these elevations (see later), proposed Subsection c. would not require an additional elevation to comply with Section 21.07.110C.7.	(There is no subsection c. in current code.) Subsection c. For three-story building elevations: One of the two long elevations facing the abutting lots must include wall plane modulations in one of the menu choices from the building articulation menu of Title 21 Section 21.07.110C.7. Complies: Building has effectively three stories only on its end walls and the long elevation with primary entrances. As current Title 21 already requires articulation on these elevations (see later), proposed Subsection c. would not require an additional elevation to comply with Section 21.07.110C.7.	(There is no subsection c. in current code.) Subsection c. One of the two long elevations facing the abutting lots must include wall plane modulations in one of the menu choices from the building articulation menu of Title 21 Section 21.07.110C.7. Complies: North- and south-facing elevations uses menu item 21.07.110C.7.b with overall building modulation.	(There is no subsection c. in current code.) Subsection c. One of the two long elevations facing the abutting lots must include wall plane modulations in one of the menu choices from the building articulation menu of Title 21 Section 21.07.110C.7. Complies: North- and south-facing elevations uses menu item 21.07.110C.7.b with overall building modulation.	(There is no subsection c. in current code.) Subsection c. One of the two long elevations facing the abutting lots must include wall plane modulations in one of the menu choices from the building articulation menu of Title 21 Section 21.07.110C.7. Complies: North- and south-facing elevations uses menu item 21.07.110C.7.c with upper story step-back.	(There is no subsection c. in current code.) Subsection c. One of the two long elevations facing the abutting lots must include wall plane modulations in one of the menu choices from the building articulation menu of Title 21 Section 21.07.110C.7. Complies: North- and south-facing elevations uses menu item 21.07.110C.7.c with upper story step-back.	
10		(There is no subsection d. in current code.) Section d. Exterior stairs providing access to a primary front entrance shall not extend higher than six feet above grade. Complies: Entry steps are 6 inches above grade. Issue: Edit the public hearing draft to clarify that “a primary front entrance” means all primary front entrances.	(There is no subsection d. in current code.) Section d. Exterior stairs providing access to a primary front entrance shall not extend higher than six feet above grade. Complies: Entry steps are 6 inches above grade. Issue: Edit the public hearing draft to clarify that “a primary front entrance” means all primary front entrances.	(There is no subsection d. in current code.) Section d. Exterior stairs providing access to a primary front entrance shall not extend higher than six feet above grade. Complies: Entry steps are 6 inches above grade. Issue: Edit the public hearing draft to clarify that “a primary front entrance” means all primary front entrances.	(There is no subsection d. in current code.) Section d. Exterior stairs providing access to a primary front entrance shall not extend higher than six feet above grade. Complies: Entry steps are 6 inches above grade. Issue: Edit the public hearing draft to clarify that “a primary front entrance” means all primary front entrances.	(There is no subsection d. in current code.) Section d. Exterior stairs providing access to a primary front entrance shall not extend higher than six feet above grade. Complies: Entry steps are 6 inches above grade. Issue: Edit the public hearing draft to clarify that “a primary front entrance” means all primary front entrances.	(There is no subsection d. in current code.) Section d. Exterior stairs providing access to a primary front entrance shall not extend higher than six feet above grade. Complies: Entry steps are 6 inches above grade. Issue: Edit the public hearing draft to clarify that “a primary front entrance” means all primary front entrances.	(There is no subsection d. in current code.) Section d. Exterior stairs providing access to a primary front entrance shall not extend higher than six feet above grade. Complies: Entry steps are 6 inches above grade. Issue: Edit the public hearing draft to clarify that “a primary front entrance” means all primary front entrances.	
11	21.05: Residential Use Definitions, Use Type	Section 21.05.030A.2., Dwelling, Multifamily: A residential building comprising three or more units on one lot. Complies: Development falls under the Multifamily Dwelling use type.	No changes. Complies: Development falls under the Multifamily Dwelling use type.	Section 21.05.030A.2., Dwelling, Multifamily: A residential building comprising three or more units on one lot. Complies: Development falls under the Multifamily Dwelling use type.	No changes. Complies: Development falls under the Multifamily Dwelling use type.	Section 21.05.030A.2., Dwelling, Multifamily: A residential building comprising three or more units on one lot. Complies: Development falls under the Multifamily Dwelling use type.	No changes. Complies: Development falls under the Multifamily Dwelling use type.	No changes. Complies: Development falls under the Multifamily Dwelling use type.	No changes. Complies: Development falls under the Multifamily Dwelling use type.

R-2 Amendment Site Test- Four-Unit Multifamily Townhouse-Style
Building on Small Urban Infill Site

	A	C	D	E	F	G	H	I	J
1		Code Comparison 1: Two-story Gable Roof Scenario		Code Comparison 2: Two-and-one-half Story Gable Roof Scenario		Code Comparison 3: Flat Roof Scenarios			
2		Existing Code	Proposed Amended Code	Existing Code	Proposed Amended Code	Existing Code	Proposed Amended Code	Proposed Amended Code	Proposed Amended Code
3	AMC Title 21 Section	Current Code Two-story Gable Roof Scenario	R-2 Zones Amendment Two-story Gable Roof Scenario	Current Code 2.5-story Gable Roof Scenario	R-2 Zones Amendment 2.5-story Gable Roof Scenario	Current Code Two-story with Daylight Basement Scenario	R-2 Zones Amendment (1) Three-story Flat-roof Scenario with entries opposite from garages	R-2 Zones Amendment (2) Three-story Flat-roof Scenario with entries on same side as garages	R-2 Zones Amendment (3) Three-story with Daylight Basement Scenario
12	21.05.010: Table of Allowed Uses	Table 21.05-1., Table of Allowed Uses: Multifamily Dwelling use type is permitted by-right under some circumstances and is subject to administrative site plan review under other circumstances. Complies: The use is a permitted use.	No changes. Complies: The use is a permitted use.	Table 21.05-1., Table of Allowed Uses: Multifamily Dwelling use type is permitted by-right under some circumstances and is subject to administrative site plan review under other circumstances. Complies: The use is a permitted use.	No changes. Complies: The use is a permitted use.	Table 21.05-1., Table of Allowed Uses: Multifamily Dwelling use type is permitted by-right under some circumstances and is subject to administrative site plan review under other circumstances. Complies: The use is a permitted use.	No changes. Complies: The use is a permitted use.	No changes. Complies: The use is a permitted use.	No changes. Complies: The use is a permitted use.
13	21.05.030A.2: Use-specific Standards	Subsection iii., Multifamily uses with townhouse-style construction must comply with 21.07.110C., <i>Residential Design Standards for Multifamily and Townhouse Residential</i> , which is covered below.	No changes.	Subsection iii., Multifamily uses with townhouse-style construction must comply with 21.07.110C., <i>Residential Design Standards for Multifamily and Townhouse Residential</i> , which is covered below.	No changes.	Subsection iii., Multifamily uses with townhouse-style construction must comply with 21.07.110C., <i>Residential Design Standards for Multifamily and Townhouse Residential</i> , which is covered below.	No changes.	No changes.	No changes.
14	21.05.070: Accessory Uses and Structures, Garage or Carport	Subsection 21.05.070D.7., garages must cumulatively be no larger than 50% of the GFA of the principal structure. Complies: Garages are cumulatively 27% of the GFA of the principal structure.	No changes. Complies: Garages account for 27% of GFA.	Subsection 21.05.070D.7., garages must cumulatively be no larger than 50% of the GFA of the principal structure. Complies: Garages are cumulatively 27% of the GFA of the principal structure.	No changes. Complies: Garages account for 27 % of GFA.	Subsection 21.05.070D.7., garages must cumulatively be no larger than 50% of the GFA of the principal structure. Complies: Garages are cumulatively 23% of the GFA of the principal structure.	No changes. Complies: Garages account for 26% of GFA.	No changes. Complies: Garages account for 26% of GFA.	No changes. Complies: Garages account for 23% of GFA.
15	21.05.070D.8: Home and Garden Related Use	Subsection 21.05.070D.8., all spas and hot tubs must be set back 10 feet from property lines, and detached accessory structures must be no larger than 50% of the GFA of the principal structure. Complies: There are no spas or accessory structures.	No changes. Complies: There are no spas or hot tubs or accessory structures.	Subsection 21.05.070D.8., all spas and hot tubs must be set back 10 feet from property lines, and detached accessory structures must be no larger than 50% of the GFA of the principal structure. Complies: There are no spas or hot tubs or accessory structures.	No changes. Complies: There are no spas or hot tubs or accessory structures.	Subsection 21.05.070D.8., all spas and hot tubs must be set back 10 feet from property lines, and detached accessory structures must be no larger than 50% of the GFA of the principal structure. Complies: The rooftop decks are at least 10 feet from all property lines; no accessory structures.	No changes. Complies: The rooftop decks are at least 10 feet from all property lines; no accessory structures.	No changes. Complies: The rooftop decks are at least 10 feet from all property lines; no accessory structures.	No changes. Complies: The rooftop decks are at least 10 feet from all property lines; no accessory structures.
16	21.06.020: Table 21.06.1 Dimensional Standards, Lot size and Width	Minimum lot area for Multifamily dwelling land use with four units is 10,800 square feet. Minimum width is 50 feet. Complies. Lot is 11,200 square feet. Lot dimensions of 80' wide by 140' deep exceed minimum width of 50'.	No changes. Complies. Lot is 11,200 square feet. Lot dimensions of 80' wide by 140' deep exceed minimum width of 50'.	Minimum lot area for Multifamily dwelling land use with four units is 10,800 square feet. Minimum width is 50 feet. Complies. Lot is 11,200 square feet. Lot dimensions of 80' wide by 140' deep exceed minimum width of 50'.	No changes. Complies. Lot is 11,200 square feet. Lot dimensions of 80' wide by 140' deep exceed minimum width of 50'.	Minimum lot area for Multifamily dwelling land use with four units is 10,800 square feet. Minimum width is 50 feet. Complies. Lot is 11,200 square feet. Lot dimensions of 80' wide by 140' deep exceed minimum width of 50'.	No changes. Complies. Lot is 11,200 square feet. Lot dimensions of 80' wide by 140' deep exceed minimum width of 50'.	No changes. Complies. Lot is 11,200 square feet. Lot dimensions of 80' wide by 140' deep exceed minimum width of 50'.	No changes. Complies. Lot is 11,200 square feet. Lot dimensions of 80' wide by 140' deep exceed minimum width of 50'.
17	21.06.020: Lot Coverage	Minimum lot coverage for Multifamily dwellings is 40 percent. Complies. Lot coverage is 40%.	No changes to code. Complies. Lot coverage is 40%.	Minimum lot coverage for Multifamily dwellings is 40 percent. Complies. Lot coverage is 30%.	No changes to code. Complies. Lot coverage is 30%.	Minimum lot coverage for Multifamily dwellings is 40 percent. Complies. Lot coverage is 38%.	No changes to code. Complies. Lot coverage is 27%.	No changes to code. Complies. Lot coverage is 27%.	No changes to code. Complies. Lot coverage is 33%.
18	21.06.020: Front Setback	Minimum front setback is 20'. Complies: Building setback from street is 20 feet.	No changes to code. Complies: Building setback from street is 20 feet.	Minimum front setback is 20'. Complies: Building setback from street is 21 feet.	No changes to code. Complies: Building setback from street is 23' 6".	Minimum front setback is 20'. Complies: Building setback from street is 24' 9".	No changes to code. Complies: Building setback from street is 24 feet.	No changes to code. Complies: Building setback from street is 22 feet.	No changes to code. Complies: Building setback from street is 24 feet.
19	21.06.020: Side Setback	Minimum side setback for is 10' along both north and south side lot lines. Complies: Building is set back 10 feet from north lot line and 25 feet from south lot line. Eaves hang over no more than 2' into north setback.	Minimum side setback for is 10' along both north and south side lot lines. Complies: Building is set back 10 feet from north lot line and 25 feet from south lot line. Eaves hang over no more than 2' into north setback.	Minimum side setback for is 10' along both north and south side lot lines. Complies: Building is set back 15 feet from north lot line and 31 feet from south lot line. No eaves extend into required setback.	No changes to code. Complies: Building is set back 21 feet from north lot line and 25 feet from south lot line. No eaves extend into required setback.	Minimum side setback for is 10' along both north and south side lot lines. Complies: Building is set back 26' 6" from north lot line and 17' 6" from south lot line. No eaves.	No changes to code. Complies: Building is set back 31 feet from north lot line and 13 feet from south lot line. No eaves.	No changes to code. Complies: Building is set back 31 feet from north lot line and 13 feet from south lot line. No eaves.	No changes to code. Complies: Building is set back 17 feet from north lot line and 25 feet from south lot line. No eaves.
20	21.06.020: Rear Setback	Minimum rear setback from alley is 10'. Complies: Building setback from alley is 20 feet.	No changes to code. Complies: Building setback from alley is 20 feet.	Minimum rear setback from alley is 10'. Complies: Building setback from alley is 19 feet.	No changes to code. Complies: Building setback from alley is 16' 6".	Minimum rear setback from alley is 10'. Complies: Building setback from alley is 15 feet.	No changes to code. Complies: Building setback from alley is 20 feet.	No changes to code. Complies: Building setback from alley is 22 feet.	No changes to code. Complies: Building setback from alley is 20 feet.

R-2 Amendment Site Test- Four-Unit Multifamily Townhouse-Style
Building on Small Urban Infill Site

	A	C	D	E	F	G	H	I	J
1		Code Comparison 1: Two-story Gable Roof Scenario		Code Comparison 2: Two-and-one-half Story Gable Roof Scenario		Code Comparison 3: Flat Roof Scenarios			
2		Existing Code	Proposed Amended Code	Existing Code	Proposed Amended Code	Existing Code	Proposed Amended Code	Proposed Amended Code	Proposed Amended Code
3	AMC Title 21 Section	Current Code Two-story Gable Roof Scenario	R-2 Zones Amendment Two-story Gable Roof Scenario	Current Code 2.5-story Gable Roof Scenario	R-2 Zones Amendment 2.5-story Gable Roof Scenario	Current Code Two-story with Daylight Basement Scenario	R-2 Zones Amendment (1) Three-story Flat-roof Scenario with entries opposite from garages	R-2 Zones Amendment (2) Three-story Flat-roof Scenario with entries on same side as garages	R-2 Zones Amendment (3) Three-story with Daylight Basement Scenario
21	21.06.020: Max Floor Area Ratio (FAR)	Not applicable. There is no maximum FAR for R-2M districts in current code. Building has a GFA of 8872 sq. ft. Each of the four units includes a 600 sq. ft. 2-car garage and 1618 sq. ft. of living space.	Maximum FAR for multifamily dwelling is 0.80 FAR. Complies. Building FAR is 0.79, with the principal (only) building on site having a GFA of 8872 sq. ft. Each of the four units includes a 600 sq. ft. 2-car garage and 1618 sq. ft. of living space.	Not applicable. There is no maximum FAR for R-2M districts in current code. Building has a GFA of 8792 sq. ft. Each of the four units includes a 600 sq. ft. 2-car garage and 1598 sq. ft. of living space.	Maximum FAR for multifamily dwelling is 0.80 FAR. Complies. Building FAR is 0.79, with the principal (only) building on site having a GFA of 8792 sq. ft. Each of the four units includes a 600 sq. ft. 2-car garage and 1598 sq. ft. of living space.	Not applicable. There is no maximum FAR for R-2M districts in current code. Building has a GFA of 10008 sq. ft. Each of the four units includes a 576 sq. ft. 2-car garage and 1926 sq. ft. of living space including the stairwell access tower.	Maximum FAR for multifamily dwelling is 0.80 FAR. Complies. Building FAR is 0.80, with the principal (only) building on site having a GFA of 8960 sq. ft. Each of the four units includes a 576 sq. ft. 2-car garage and 1664 sq. ft. of living space including the stairwell access tower.	Maximum FAR for multifamily dwelling is 0.80 FAR. Complies. Building FAR is 0.80, with the principal (only) building on site having a GFA of 8960 sq. ft. Each of the four units includes a 576 sq. ft. 2-car garage and 1664 sq. ft. of living space including the stairwell access tower.	Maximum FAR for multifamily dwelling is 0.80 FAR. Complies. Building FAR is 0.80, with the principal (only) building on site having a GFA of 10304 sq. ft. Each of the four units includes a 576 sq. ft. 2-car garage and 2000 sq. ft. of living space..
22	21.06: Max number of Principal Structures per Lot	More than one principal structure may be allowed on any lot or tract in accordance with residential design standards subsection 21.07.110G.2. Complies: There is only one structure.	No changes. Complies: There is only one structure.	More than one principal structure may be allowed on any lot or tract in accordance with residential design standards subsection 21.07.110G.2. Complies: There is only one structure.	No changes. Complies: There is only one structure.	More than one principal structure may be allowed on any lot or tract in accordance with residential design standards subsection 21.07.110G.2. Complies: There is only one structure.	No changes. Complies: There is only one structure.	No changes. Complies: There is only one structure.	No changes. Complies: There is only one structure.
23	21.06.020: Building height in feet	Maximum height of structures is 30 feet. Complies: Building height is 28' 10" to the median point of the sloping roof.	No changes to code. Complies: Building height is 28' 10" to the median point of the sloping roof.	Maximum height of structures is 30 feet. Complies: Building height is 30 feet to the median point of the sloping roof.	No changes to code. Complies: Building height is 30 feet to the median point of the sloping roof.	Maximum height of structures is 30 feet. Complies: Building height is 28' 6" to the rooftop deck surface.	No changes to code. Complies: Building height is 30 feet to the rooftop deck surface.	No changes to code. Complies: Building height is 30 feet to the rooftop deck surface.	No changes to code. Complies: Building height is 30 feet to the rooftop deck surface.
24	21.06.020: Building height in stories	Structure not to exceed two and one-half stories. Complies: Structure is two stories under an uninhabited cold attic.	Not applicable. The draft code amendments remove the restriction in the number of stories. The structure is two stories under an uninhabited cold attic.	Structure not to exceed two and one-half stories. Complies: Structure has two main stories and an attic/half-story.	Not applicable. The draft code amendments remove the restriction in the number of stories. Complies: Structure has two main stories and an attic/half-story.	Structure not to exceed two and one-half stories. Complies: Structure has two main stories over a daylight basement, which does not count as a story.	Not applicable. The draft code amendments remove the restriction in the number of stories. The structure includes three main stories.	Not applicable. The draft code amendments remove the restriction in the number of stories. The structure includes three main stories.	Not applicable. The draft code amendments remove the restriction in the number of stories. Structure has three main stories over a daylight basement, which does not count as a story.
25	21.06.030B: Lot Coverage Measurement and Exceptions	Subsection 21.06.030B.2., bay windows, terraces, and landings and decks less than 30 inches above grade are not counted toward lot coverage requirements. Covered porches and entries are counted. Complies: All such features included in lot coverage above.	No changes to code. Complies: All such features included in lot coverage above.	Subsection 21.06.030B.2., bay windows, terraces, and landings and decks less than 30 inches above grade are not counted toward lot coverage requirements. Covered porches and entries are counted. Complies: All such features included in lot coverage above.	No changes to code. Complies: All such features included in lot coverage above.	Subsection 21.06.030B.2., bay windows, terraces, and landings and decks less than 30 inches above grade are not counted toward lot coverage requirements. Covered porches and entries are counted. Complies: All such features included in lot coverage above.	No changes to code. Complies: All such features included in lot coverage above.	No changes to code. Complies: All such features included in lot coverage above.	No changes to code. Complies: All such features included in lot coverage above.
26	21.06.030C: Setback Measurements and Exceptions	Subsection 21.06.030C.2., projections into required setbacks may include paved terraces, unroofed landings, decks and stairs less than 30 inches above grade. Roofs over porches, stairways, landings for building entries may encroach up to five feet into a front setback. Bay windows, eaves, and incidental architectural features may project up to two feet into any setback. Complies: The building has eaves that project two feet into side setback.	No changes to code. Complies: The building has eaves that project two feet into side setback.	Subsection 21.06.030C.2., projections into required setbacks may include paved terraces, unroofed landings, decks and stairs less than 30 inches above grade. Roofs over porches, stairways, landings for building entries may encroach up to five feet into a front setback. Bay windows, eaves, and incidental architectural features may project up to two feet into any setback. Complies: There are no projections into required setbacks.	No changes to code. Complies: There are no projections into required setbacks.	Subsection 21.06.030C.2., projections into required setbacks may include paved terraces, unroofed landings, decks and stairs less than 30 inches above grade. Roofs over porches, stairways, landings for building entries may encroach up to five feet into a front setback. Bay windows, eaves, and incidental architectural features may project up to two feet into any setback. Complies: There are no projections into required setbacks.	No changes to code. Complies: There are no projections into required setbacks.	No changes to code. Complies: There are no projections into required setbacks.	No changes to code. Complies: There are no projections into required setbacks.

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1		Code Comparison 1: Two-story Gable Roof Scenario		Code Comparison 2: Two-and-one-half Story Gable Roof Scenario		Code Comparison 3: Flat Roof Scenarios			
2		Existing Code	Proposed Amended Code	Existing Code	Proposed Amended Code	Existing Code	Proposed Amended Code	Proposed Amended Code	Proposed Amended Code
3	AMC Title 21 Section	Current Code Two-story Gable Roof Scenario	R-2 Zones Amendment Two-story Gable Roof Scenario	Current Code 2.5-story Gable Roof Scenario	R-2 Zones Amendment 2.5-story Gable Roof Scenario	Current Code Two-story with Daylight Basement Scenario	R-2 Zones Amendment (1) Three-story Flat-roof Scenario with entries opposite from garages	R-2 Zones Amendment (2) Three-story Flat-roof Scenario with entries on same side as garages	R-2 Zones Amendment (3) Three-story with Daylight Basement Scenario
27	21.06.030D.6: Height Measurements and Exceptions	Subsection 21.06.030D.6.c.ii. height exceptions: Appurtenances must cumulatively cover no more than one-third of the roof area of the building. Complies: The building has no appurtenances.	No changes. Complies: The building has no appurtenances.	Subsection 21.06.030D.6.c.ii. height exceptions: Appurtenances must cumulatively cover no more than one-third of the roof area of the building. Complies: The building has no appurtenances.	No changes. Complies: The building has no appurtenances.	Subsection 21.06.030D.6.c.ii. height exceptions: Appurtenances must cumulatively cover no more than one-third of the roof area of the building. Complies: Appurtenances cover 14% of the roof area.	Subsection 21.06.030D.6., height exceptions: Enclosed appurtenances such as stairwells, elevators, mechanical enclosures, and skylights must cumulatively cover no more than one-third of the roof area of the building. Complies: Enclosed appurtenances cover 18% of the roof area.	Subsection 21.06.030D.6., height exceptions: Enclosed appurtenances such as stairwells, elevators, mechanical enclosures, and skylights must cumulatively cover no more than one-third of the roof area of the building. Complies: Enclosed appurtenances cover 18% of the roof area.	Subsection 21.06.030D.6., height exceptions: Enclosed appurtenances such as stairwells, elevators, mechanical enclosures, and skylights must cumulatively cover no more than one-third of the roof area of the building. Complies: The building has no appurtenances.
28	21.06.030D.6.c.iii: Height Exceptions	Subsection 21.06.030D.6.c.iii. height exceptions: The exempted appurtenances must not be usable space or storage, except for a storage room of 60 sq. ft. or less and combined with a stairwell or elevator enclosure, and directly related to a rooftop use. Complies: No rooftop enclosure is proposed.	No changes. Complies: No rooftop enclosure is proposed.	Subsection 21.06.030D.6.c.iii. height exceptions: The exempted appurtenances must not be usable space or storage, except for a storage room of 60 sq. ft. or less and combined with a stairwell or elevator enclosure, and directly related to a rooftop use. Complies: No rooftop enclosure is proposed.	No changes. Complies: No rooftop enclosure is proposed.	Subsection 21.06.030D.6.c.iii. height exceptions: The exempted appurtenances must not be usable space or storage, except for a storage room of 60 sq. ft. or less and combined with a stairwell or elevator enclosure, and directly related to a rooftop use. Complies: No storage or usable area is proposed in rooftop stairwells.	No changes to code. Complies: No storage or usable area is proposed in rooftop stairwells.	No changes to code. Complies: No storage or usable area is proposed in rooftop stairwells.	No changes to code. Complies: No rooftop enclosure is proposed.
29	21.06.030D.6.c.iv: Height Exceptions, Rooftop Stairwells	Subsection 21.06.030D.6.c.iv. height exceptions: rooftop stairwells must not exceed the height limit by more than 15 feet. Complies: No rooftop stairwell.	No changes. Complies: No rooftop stairwell.	Subsection 21.06.030D.6.c.iv. height exceptions: rooftop stairwells must not exceed the height limit by more than 15 feet. Complies: No rooftop stairwell.	No changes. Complies: No rooftop stairwell.	Subsection 21.06.030D.6.c.iv. height exceptions: rooftop stairwells must not exceed the height limit by more than 15 feet. Complies: Rooftop stairwells exceed 30-foot height limit by 10' 6".	Subsection 21.06.030D.6.c.iv. height exceptions: rooftop stairwells must not exceed the height limit by more than 11 feet. Complies: Rooftop stairwells are 11 feet.	Subsection 21.06.030D.6.c.iv. height exceptions: rooftop stairwells must not exceed the height limit by more than 11 feet. Complies: Rooftop stairwells are 11 feet.	Subsection 21.06.030D.6.c.iv. height exceptions: rooftop stairwells must not exceed the height limit by more than 11 feet. Complies: No rooftop stairwell.
30	21.06.030D.6.c.iv: Height Exceptions, Parapets and Skylights	Subsection 21.06.030D.6.c.iv.(E) height exceptions: Parapets and skylights may exceed by up to four feet. Complies: No parapets or skylights.	Subsection 21.06.030D.6.c.iv.(E) height exceptions: Parapets and skylights may exceed by up to <u>three feet</u> . Complies: No parapets or skylights.	Subsection 21.06.030D.6.c.iv.(E) height exceptions: Parapets and skylights may exceed by up to four feet. Complies: No parapets or skylights.	Subsection 21.06.030D.6.c.iv.(E) height exceptions: Parapets and skylights may exceed by up to <u>three feet</u> . Complies: No parapets or skylights.	Subsection 21.06.030D.6.c.iv.(E) height exceptions: Parapets and skylights may exceed by up to four feet. Complies: Parapets exceed by 2' 6".	Subsection 21.06.030D.6.c.iv.(E) height exceptions: Parapets and skylights may exceed by up to <u>three feet</u> . Complies: Parapets exceed by 3 feet.	Subsection 21.06.030D.6.c.iv.(E) height exceptions: Parapets and skylights may exceed by up to <u>three feet</u> . Complies: Parapets exceed by 3 feet.	Subsection 21.06.030D.6.c.iv.(E) height exceptions: Parapets and skylights may exceed by up to <u>three feet</u> . Complies: Parapets exceed by 3 feet.
31		There is no subsection 21.06.030D.6.c.iv.(F) in current code. Implies that railings may exceed by up to 15 feet.	Subsection 21.06.030D.6.c.iv.(F), any portion of a railing that exceeds the height limit by more than three feet shall be an open or transparent railing as defined in section 21.14.040. Complies: No rooftop railing.	There is no subsection 21.06.030D.6.c.iv.(F) in current code. Implies that railings may exceed by up to 15 feet.	Subsection 21.06.030D.6.c.iv.(F), any portion of a railing that exceeds the height limit by more than three feet shall be an open or transparent railing as defined in section 21.14.040. Complies: No rooftop railing.	There is no subsection 21.06.030D.6.c.iv.(F) in current code. Implies that railings may exceed by up to 15 feet.	Subsection 21.06.030D.6.c.iv.(F), any portion of a railing that exceeds the height limit by more than three feet shall be an open or transparent railing as defined in section 21.14.040. Complies: The portion of the rooftop railing that extends above the 3' parapet is 90% open.	Subsection 21.06.030D.6.c.iv.(F), any portion of a railing that exceeds the height limit by more than three feet shall be an open or transparent railing as defined in section 21.14.040. Complies: The portion of the rooftop railing that extends above the 3' parapet is 90% open.	Subsection 21.06.030D.6.c.iv.(F), any portion of a railing that exceeds the height limit by more than three feet shall be an open or transparent railing as defined in section 21.14.040. Complies: The portion of the rooftop railing that extends above the 3' parapet is 90% open.
32		There is no subsection 21.06.030D.6.c.iv.(G) in current code.	Subsection 21.06.030D.6.c.iv.(G), parapets and rooftop access enclosures are subject to the solar access step-back in 21.06.030D.7. Complies: No rooftop parapet or inclosures. Chimneys, etc. exempt.	There is no subsection 21.06.030D.6.c.iv.(G) in current code.	Subsection 21.06.030D.6.c.iv.(G), parapets and rooftop access enclosures are subject to the solar access step-back in 21.06.030D.7. Complies: No rooftop parapet or inclosures. Chimneys, etc. exempt.	There is no subsection 21.06.030D.6.c.iv.(G) in current code.	Subsection 21.06.030D.6.c.iv.(G), parapets and rooftop access enclosures are subject to the solar access step-back in 21.06.030D.7. Complies: Parapets and stairwell tower fall below the solar access step-back. Distance from closest height exception to step-back is 0 feet.	Subsection 21.06.030D.6.c.iv.(G), parapets and rooftop access enclosures are subject to the solar access step-back in 21.06.030D.7. Complies: Parapets and stairwell tower fall below the solar access step-back. Distance from closest height exception to step-back is 3 feet.	Subsection 21.06.030D.6.c.iv.(G), parapets and rooftop access enclosures are subject to the solar access step-back in 21.06.030D.7. Complies: Parapets and stairwell tower fall below the solar access step-back. Distance from closest height exception to step-back is 2' 8".

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	A	C	D	E	F	G	H	I	J
1		Code Comparison 1: Two-story Gable Roof Scenario		Code Comparison 2: Two-and-one-half Story Gable Roof Scenario		Code Comparison 3: Flat Roof Scenarios			
2		Existing Code	Proposed Amended Code	Existing Code	Proposed Amended Code	Existing Code	Proposed Amended Code	Proposed Amended Code	Proposed Amended Code
3	AMC Title 21 Section	Current Code Two-story Gable Roof Scenario	R-2 Zones Amendment Two-story Gable Roof Scenario	Current Code 2.5-story Gable Roof Scenario	R-2 Zones Amendment 2.5-story Gable Roof Scenario	Current Code Two-story with Daylight Basement Scenario	R-2 Zones Amendment (1) Three-story Flat-roof Scenario with entries opposite from garages	R-2 Zones Amendment (2) Three-story Flat-roof Scenario with entries on same side as garages	R-2 Zones Amendment (3) Three-story with Daylight Basement Scenario
33		There is no subsection 21.06.030D.6.e. in current code. All dormers are subject to the 30-foot height limit. Complies: No dormers.	Subsection 21.06.030D.6.e.: Dormers below the given dimensions may extend above the height limit. Complies: No dormers.	There is no subsection 21.06.030D.6.e. in current code. All dormers are subject to the 30-foot height limit. Complies: Dormer roofs are below 30 feet.	Subsection 21.06.030D.6.e.: Dormers below the given dimensions may extend above the height limit. Complies: Dormer roofs are below 30 feet.	There is no subsection 21.06.030D.6.e. in current code. All dormers are subject to the 30-foot height limit. Complies: No dormers.	Subsection 21.06.030D.6.e.: Dormers below the given dimensions may extend above the height limit. Complies: No dormers.	Subsection 21.06.030D.6.e.: Dormers below the given dimensions may extend above the height limit. Complies: No dormers.	Subsection 21.06.030D.6.e.: Dormers below the given dimensions may extend above the height limit. Complies: No dormers.
34	Subsection 21.06.030D.7: Solar Access-Stepback	There is no solar access step-back requirement for R-2M development in current code.	Subsection 21.06.030D.7., solar access step-back: adhere to a step-back that begins 22 feet above grade plane at the side setback along north lot line, and inclines at an 8:12 rise-to-run incline. NOTE: the 8:12 incline is a technical correction to the public hearing draft. Parapets and stairwells are subject. Gable roof forms no wider than 40' are exempt. Issue: Make tech correction to replace the word "ridge". Complies: The wall height to the roof surface is 22 feet, and its roof pitch is 8:12. Its wall is 0 feet below the max allowed step-back height.	There is no solar access step-back requirement for R-2M development in current code.	Subsection 21.06.030D.7., solar access step-back: adhere to a step-back that begins 22 feet above grade plane at the side setback along north lot line, and inclines at an 8:12 rise-to-run incline. NOTE: the 8:12 incline is a technical correction to the public hearing draft. Parapets and stairwells are subject. Gable roof forms no wider than 40' are exempt. Issue: Make tech correction to replace the word "ridge". Complies: The wall height to the roof surface is 24' 4", and its roof pitch is 8:12. Its wall is 5 feet below the max allowed step-back height. The impacted gable end of each dormer is 9' 7" wide.	There is no solar access step-back requirement for R-2M development in current code.	Subsection 21.06.030D.7., solar access step-back: adhere to a step-back that begins 22 feet above grade plane at the side setback along north lot line, and inclines at an 8:12 rise-to-run incline. NOTE: the 8:12 incline is a technical correction to the public hearing draft. Parapets and stairwells are subject. Gable roof forms no wider than 40' are exempt. Issue: Make tech correction to replace the word "ridge". Complies: The wall/parapet height is 33 feet. It is 0 feet below the max allowed step-back plane. The tallest point is 7' 8" below the step-back plane.	Subsection 21.06.030D.7., solar access step-back: adhere to a step-back that begins 22 feet above grade plane at the side setback along north lot line, and inclines at an 8:12 rise-to-run incline. NOTE: the 8:12 incline is a technical correction to the public hearing draft. Parapets and stairwells are subject. Gable roof forms no wider than 40' are exempt. Issue: Make tech correction to replace the word "ridge". Complies: The wall/parapet height is 33 feet. Its tallest point is 3 feet below the max allowed step-back plane. The tallest point is 10' 9" below the step-back plane.	Subsection 21.06.030D.7., solar access step-back: adhere to a step-back that begins 22 feet above grade plane at the side setback along north lot line, and inclines at an 8:12 rise-to-run incline. NOTE: the 8:12 incline is a technical correction to the public hearing draft. Parapets and stairwells are subject. Gable roof forms no wider than 40' are exempt. Issue: Make tech correction to replace the word "ridge". Complies: The wall/parapet height is 33 feet. It is 2' 8" below the max allowed step-back plane. The tallest point is 3 feet below the step-back plane.
35	21.06.030E.2: Areas not Counted in FAR	Subsections a. and b. (current code): FAR is not applicable to R-2M zone in current code. If it were, space in an attic under a roof slope of between 8:12 and 12:12 would not be counted. Complies: Does not have floor area in attic. Building not subject to FAR in current code.	Subsection a. (of draft changes): Portions of an attic or half story where the ceiling height is ninety inches or less are not counted. Complies: Does not have floor area in attic, so attic not counted toward FAR.	Subsection a. and b. (current code): FAR is not applicable to R-2M zone in current code. If it were, space in an attic under a roof slope of between 8:12 and 12:12 would not be counted. Complies: Does not have floor area in attic. Building not subject to FAR in current code. Does have a half-story which complies to current code standard.	Subsection a. (of draft changes): Portions of an attic or half story where the ceiling height is ninety inches or less are not counted. Complies: Half-story/attic includes 2125 sq. ft., including 2125 sq. ft. where ceiling height is 90 inches or less, so only 2125 sq. ft. in half-story counts toward FAR.	Subsection a. and b. (current code): FAR is not applicable to R-2M zone in current code. If it were, space in an attic under a roof slope of between 8:12 and 12:12 is not counted. Complies: Does not have an attic. Building not subject to FAR in current code.	Subsection a. (of draft changes): Portions of an attic or half story where the ceiling height is ninety inches or less are not counted. Complies: No attic or half story.	Subsection a. (of draft changes): Portions of an attic or half story where the ceiling height is ninety inches or less are not counted. Complies: No attic or half story.	Subsection a. (of draft changes): Portions of an attic or half story where the ceiling height is ninety inches or less are not counted. Complies: No attic or half story.
36		Subsection d. (current code): FAR is not applicable to R-2M zone in current code. If it were, floor area in a story below grade plane would not be counted. Complies: Building has no story below grade.	Subsection b. (of draft changes): Floor area in a story below grade plane is not counted. Complies: Building is two stories starting from grade, no story below grade plane.	Subsection d. (current code): FAR is not applicable to R-2M zone in current code. If it were, floor area in a story below grade plane would not be counted. Complies: Building has no story below grade.	Subsection b. (of draft changes): Floor area in a story below grade plane is not counted. Complies: Building has no story below grade.	Subsection d. (current code): FAR is not applicable to R-2M zone in current code. If it were, floor area in a story below grade plane would not be counted. Complies: Building has a story below grade which adds to GFA but does not factor into FAR as that is not a currently applicable standard.	Subsection b. (of draft changes): Floor area in a story below grade plane is not counted. Complies: Building is three stories starting from grade, no story below grade plane.	Subsection b. (of draft changes): Floor area in a story below grade plane is not counted. Complies: Building is three stories starting from grade, no story below grade plane.	Subsection b. (of draft changes): Floor area in a story below grade plane is not counted. Complies: Building has a story below grade which adds to GFA but does not factor into FAR.
37		Subsection e. (current code): FAR is not applicable to R-2M zone in current code. If it were, detached accessory structures would not be counted. Complies: No accessory structure.	Subsection c. (of draft changes): Detached accessory structures, up to a combined 0.15 FAR for all accessory structures on the lot, are not counted. Complies: No accessory structure.	Subsection e. (current code): FAR is not applicable to R-2M zone in current code. If it were, detached accessory structures would not be counted. Complies: No accessory structure.	Subsection c. (of draft changes): Detached accessory structures, up to a combined 0.15 FAR for all accessory structures on the lot, are not counted. Complies: No accessory structure.	Subsection e. (current code): FAR is not applicable to R-2M zone in current code. If it were, detached accessory structures would not be counted. Complies: No accessory structure.	Subsection c. (of draft changes): Detached accessory structures, up to a combined 0.15 FAR for all accessory structures on the lot, are not counted. Complies: No accessory structure.	Subsection c. (of draft changes): Detached accessory structures, up to a combined 0.15 FAR for all accessory structures on the lot, are not counted. Complies: No accessory structure.	Subsection c. (of draft changes): Detached accessory structures, up to a combined 0.15 FAR for all accessory structures on the lot, are not counted. Complies: No accessory structure.

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	A	C	D	E	F	G	H	I	J
1		Code Comparison 1: Two-story Gable Roof Scenario		Code Comparison 2: Two-and-one-half Story Gable Roof Scenario		Code Comparison 3: Flat Roof Scenarios			
2		Existing Code	Proposed Amended Code	Existing Code	Proposed Amended Code	Existing Code	Proposed Amended Code	Proposed Amended Code	Proposed Amended Code
3	AMC Title 21 Section	Current Code Two-story Gable Roof Scenario	R-2 Zones Amendment Two-story Gable Roof Scenario	Current Code 2.5-story Gable Roof Scenario	R-2 Zones Amendment 2.5-story Gable Roof Scenario	Current Code Two-story with Daylight Basement Scenario	R-2 Zones Amendment (1) Three-story Flat-roof Scenario with entries opposite from garages	R-2 Zones Amendment (2) Three-story Flat-roof Scenario with entries on same side as garages	R-2 Zones Amendment (3) Three-story with Daylight Basement Scenario
38	21.07.010B: Constructed Access	Lot must abut a constructed public street with principal access to such street. Complies: Lot abuts a public street and an improved alley accessing a public street. Building uses alley for vehicle access, and public street for pedestrian access to primary entries.	No changes. Complies: Lot abuts a public street and an improved alley accessing a public street. Building uses alley for vehicle access, and public street for pedestrian access to primary entries.	Lot must abut a constructed public street with principal access to such street. Complies: Lot abuts a public street and an improved alley accessing a public street. Building uses alley for vehicle access, and public street for pedestrian access to primary entries.	No changes. Complies: Lot abuts a public street and an improved alley accessing a public street. Building uses alley for vehicle access, and public street for pedestrian access to primary entries.	Lot must abut a constructed public street with principal access to such street. Complies: Lot abuts a public street and an improved alley accessing a public street. Building uses alley for vehicle access, and public street for pedestrian access to primary entries.	Lot must abut a constructed public street with principal access to such street. Complies: Lot abuts a public street and an improved alley accessing a public street. Building uses alley for vehicle access, and public street for pedestrian access to primary entries.	Lot must abut a constructed public street with principal access to such street. Complies: Lot abuts a public street and an improved alley accessing a public street. Building uses alley for vehicle access, and public street for pedestrian access to primary entries.	Lot must abut a constructed public street with principal access to such street. Complies: Lot abuts a public street and an improved alley accessing a public street. Building uses alley for vehicle access, and public street for pedestrian access to primary entries.
39	21.07.010C: Addressing	Property must have street address numbers affixed to the building or structure nearer to the street, to be plainly visible and legible. Sub-addresses must also be visible. Complies: The buildings are addressed to the public street, each with own number, and visible from street.	No changes. Complies: The buildings are addressed to the public street, each with own number, and visible from street.	Property must have street address numbers affixed to the building or structure nearer to the street, to be plainly visible and legible. Sub-addresses must also be visible. Complies: The buildings are addressed to the public street, each with own number, and visible from street.	No changes. Complies: The buildings are addressed to the public street, each with own number, and visible from street.	Property must have street address numbers affixed to the building or structure nearer to the street, to be plainly visible and legible. Sub-addresses must also be visible. Complies: The buildings are addressed to the public street, each with own number, and visible from street.	No changes. Complies: The buildings are addressed to the public street, each with own number, and visible from street.	No changes. Complies: The buildings are addressed to the public street, each with own number, and visible from street.	No changes. Complies: The buildings are addressed to the public street, each with own number, and visible from street.
40	21.07.010D: Alternative Equivalent Compliance	This project scenario does not use AEC.	No changes.	This project scenario does not use AEC.	No changes.	This project scenario does not use AEC.	No changes.	No changes.	No changes.
41	21.07.020: Natural Resource Protection	Not applicable.	No changes.	Not applicable.	No changes.	Not applicable.	No changes.	No changes.	No changes.
42	21.07.030B: Open Space Requirement	Subsection B.2.: 400 square feet of private open space per dwelling. See reduction incentive in subsection D.3. reducing this to 300 square feet. Complies: 1600 square feet provided. See below for dimensional and development requirements, and relationship to other site requirements.	No changes to code. Complies: 1600 square feet provided. See below for dimensional and development requirements, and relationship to other site requirements.	Subsection B.2.: 400 square feet of private open space per dwelling. See reduction incentive in subsection D.3. reducing this to 300 square feet. Complies: 1600 square feet provided. See below for dimensional and development requirements, and relationship to other site requirements.	No changes to code. Complies: 1600 square feet provided. See below for dimensional and development requirements, and relationship to other site requirements.	Subsection B.2.: 400 square feet of private open space per dwelling. See reduction incentive in subsection D.3. reducing this to 300 square feet. Complies: For common private open space, 1600 square feet provided. For individual private open space 2816 square feet is provided in rooftop decks and balconies. See below for dimensional and development requirements, and relationship to other site requirements.	No changes to code. Complies: For common private open space, 1600 square feet provided. For individual private open space 2816 square feet is provided in rooftop decks and balconies. See below for dimensional and development requirements, and relationship to other site requirements.	No changes to code. Complies: For common private open space, 1600 square feet provided. For individual private open space 2816 square feet is provided in rooftop decks and balconies. See below for dimensional and development requirements, and relationship to other site requirements.	No changes to code. Complies: For common private open space, 1600 square feet provided. For individual private open space 2368 square feet is provided in rooftop decks porches. See below for dimensional and development requirements, and relationship to other site requirements.
43	21.07.030D: Areas Not Credited toward Private Open Space	Subsection D.1. Areas not credited include: Setbacks with slopes over 10 percent; Swales with slopes over 10 percent; Required site or parking perimeter landscaping; Parking and driveways. Complies: Private open space does not include these areas.	No changes. Complies: Private open space does not include these areas.	Subsection D.1. Areas not credited include: Setbacks with slopes over 10 percent; Swales with slopes over 10 percent; Required site or parking perimeter landscaping; Parking and driveways. Complies: Private open space does not include these areas.	No changes. Complies: Private open space does not include these areas.	Subsection D.1. Areas not credited include: Setbacks with slopes over 10 percent; Swales with slopes over 10 percent; Required site or parking perimeter landscaping; Parking and driveways. Complies: Private open space does not include these areas.	No changes. Complies: Private open space does not include these areas.	No changes. Complies: Private open space does not include these areas.	No changes. Complies: Private open space does not include these areas.

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1		Code Comparison 1: Two-story Gable Roof Scenario		Code Comparison 2: Two-and-one-half Story Gable Roof Scenario		Code Comparison 3: Flat Roof Scenarios			
2		Existing Code	Proposed Amended Code	Existing Code	Proposed Amended Code	Existing Code	Proposed Amended Code	Proposed Amended Code	Proposed Amended Code
3	AMC Title 21 Section	Current Code Two-story Gable Roof Scenario	R-2 Zones Amendment Two-story Gable Roof Scenario	Current Code 2.5-story Gable Roof Scenario	R-2 Zones Amendment 2.5-story Gable Roof Scenario	Current Code Two-story with Daylight Basement Scenario	R-2 Zones Amendment (1) Three-story Flat-roof Scenario with entries opposite from garages	R-2 Zones Amendment (2) Three-story Flat-roof Scenario with entries on same side as garages	R-2 Zones Amendment (3) Three-story with Daylight Basement Scenario
44	21.07.030D.2.a: Individual Private Open Space Areas	Subsection D.2.a. Individual private open space counted toward the private open space requirement shall have a minimum dimension of 15-feet for ground level spaces, 4-feet for balconies, and 60 sq. ft. for stoops, porches, or decks at least 24" above grade. Complies: There is no individual private open space.	No changes to code. Complies: There is no individual private open space.	Subsection D.2.a. Individual private open space counted toward the private open space requirement shall have a minimum dimension of 15-feet for ground level spaces, 4-feet for balconies, and 60 sq. ft. for stoops, porches, or decks at least 24" above grade. Complies: There is no individual private open space.	No changes to code. Complies: There is no individual private open space.	Subsection D.2.a. Individual private open space counted toward the private open space requirement shall have a minimum dimension of 15-feet for ground level spaces, 4-feet for balconies, and 60 sq. ft. for stoops, porches, or decks at least 24" above grade. Complies: Each unit has a rooftop terrace and balcony 838 square feet of individual private open space, for a total of 3354 sq. ft. The balconies are 6' by 7'. Each rooftop provides 797 sq. ft. of space, with a minimum dimension of 23 feet.	No changes to code. Complies: Each unit has a rooftop terrace, and two balconies that provide 704 square feet of individual private open space, for a total of 2816 sq. ft. The balconies are 8' by 8'. Each rooftop provides 576 sq. ft. of space, with a minimum dimension of 24 feet.	No changes to code. Complies: Each unit has a rooftop terrace, and two balconies that provide 704 square feet of individual private open space, for a total of 2816 sq. ft. The balconies are 8' by 8'. Each rooftop provides 576 sq. ft. of space, with a minimum dimension of 24 feet.	No changes to code. Complies: Each unit has a rooftop terrace and porch that provide 928 square feet of individual private open space, for a total of 3712 sq. ft. The porches are 8' by 8'. Each rooftop provides 864 sq. ft. of space, with a minimum dimension of 24 feet.
45	21.07.030D.2.b: Common Private Open Space	Subsection D.2.b. Common Private Open Space counted toward the private open space requirement shall have a minimum dimension of 18 feet. It shall be at least 50% contiguous. Complies: Dimensions of common private open space are 20' by 80'. The area is 100% contiguous.	No changes to code. Complies: Dimensions of common private open space are 20' by 80'. The area is 100% contiguous.	Subsection D.2.b. Common Private Open Space counted toward the private open space requirement shall have a minimum dimension of 18 feet. It shall be at least 50% contiguous. Complies: Dimensions of common private open space are 20' by 80'. The area is 100% contiguous.	No changes to code. Complies: Dimensions of common private open space are 20' by 80'. The area is 100% contiguous.	Subsection D.2.b. Common Private Open Space counted toward the private open space requirement shall have a minimum dimension of 18 feet. It shall be at least 50% contiguous. Complies: Dimensions of common private open space are 20' by 80'. The area is 100% contiguous.	No changes to code. Complies: Dimensions of common private open space are 20' by 80'. The area is 100% contiguous.	No changes to code. Complies: Dimensions of common private open space are 20' by 80'. The area is 100% contiguous.	No changes to code. Complies: Dimensions of common private open space are 20' by 80'. The area is 100% contiguous.
46	21.07.030D.4: Incentive for High Quality Spaces	Subsection D.4. The open space area requirement is reduced to 300 feet per dwelling if the largest common open space area has a minimum dimension of 23 feet and it receives sunlight access on majority of its area for 4 hours on March/Sept. 21. Complies: Not applied.	No changes to code. Complies: Not applied.	Subsection D.4. The open space area requirement is reduced to 300 feet per dwelling if the largest common open space area has a minimum dimension of 23 feet and it receives sunlight access on majority of its area for 4 hours on March/Sept. 21. Complies: Not applied.	No changes to code. Complies: Not applied.	Subsection D.4. The open space area requirement is reduced to 300 feet per dwelling if the largest common open space area has a minimum dimension of 23 feet and it receives sunlight access on majority of its area for 4 hours on March/Sept. 21. Complies: Not applied.	No changes to code. Complies: Not applied.	No changes to code. Complies: Not applied.	No changes to code. Complies: Not applied.
47	21.07.040D: Drainage	Subsection D.4. Drainage plans shall comply with the municipal code and the DCM. Net increases of water volumes shall be mitigated and/or directed to an adjacent drainage system. This test uses the pending DCM provisions to require a chamber drainage system to be installed under the paved parking and access areas and tie into a nearby storm drain off-site. Chamber system cannot be closer than 1:1 + 2' from a building foundation or property line. Bottom of chamber is below frost line or insulated, so must be set back from foundations and property lines. Complies: Chamber system assumed to comply.	No changes Complies: Chamber system assumed to comply.	Subsection D.4. Drainage plans shall comply with the municipal code and the DCM. Net increases of water volumes shall be mitigated and/or directed to an adjacent drainage system. This test uses the pending DCM provisions to require a chamber drainage system to be installed under the paved parking and access areas and tie into a nearby storm drain off-site. Chamber system cannot be closer than 1:1 + 2' from a building foundation or property line. Bottom of chamber is below frost line or insulated, so must be set back from foundations and property lines. Complies: Chamber system assumed to comply.	No changes Complies: Chamber system assumed to comply.	Subsection D.4. Drainage plans shall comply with the municipal code and the DCM. Net increases of water volumes shall be mitigated and/or directed to an adjacent drainage system. This test uses the pending DCM provisions to require a chamber drainage system to be installed under the paved parking and access areas and tie into a nearby storm drain off-site. Chamber system cannot be closer than 1:1 + 2' from a building foundation or property line. Bottom of chamber is below frost line or insulated, so must be set back from foundations and property lines. Complies: Chamber system assumed to comply.	No changes Complies: Chamber system assumed to comply.	No changes Complies: Chamber system assumed to comply.	No changes Complies: Chamber system assumed to comply.

R-2 Amendment Site Test- Four-Unit Multifamily Townhouse-Style
Building on Small Urban Infill Site

	A	C	D	E	F	G	H	I	J
1		Code Comparison 1: Two-story Gable Roof Scenario		Code Comparison 2: Two-and-one-half Story Gable Roof Scenario		Code Comparison 3: Flat Roof Scenarios			
2		Existing Code	Proposed Amended Code	Existing Code	Proposed Amended Code	Existing Code	Proposed Amended Code	Proposed Amended Code	Proposed Amended Code
3	AMC Title 21 Section	Current Code Two-story Gable Roof Scenario	R-2 Zones Amendment Two-story Gable Roof Scenario	Current Code 2.5-story Gable Roof Scenario	R-2 Zones Amendment 2.5-story Gable Roof Scenario	Current Code Two-story with Daylight Basement Scenario	R-2 Zones Amendment (1) Three-story Flat-roof Scenario with entries opposite from garages	R-2 Zones Amendment (2) Three-story Flat-roof Scenario with entries on same side as garages	R-2 Zones Amendment (3) Three-story with Daylight Basement Scenario
48	21.07.040E: Stormwater Treatment and Disposal	<p>Subsection E.5. Requires a storm water treatment plan following the Storm Water Treatment Plan Review Guidance Manual.</p> <p>Complies: Site scenario assumes that soils, flat site, and area available are adequate for a storm water treatment option that does not compete in area extent with other site needs.</p> <p>Issue: Current code subsection E.5. reference to Storm Water Treatment Plan Review Guidance Manual is not up to date. Current requirement is to comply with the BMPs established in the Stormwater Pollution Prevention Plan manual.</p>	No changes.	<p>Subsection E.5. Requires a storm water treatment plan following the Storm Water Treatment Plan Review Guidance Manual.</p> <p>Complies: Site scenario assumes that soils, flat site, and area available are adequate for a storm water treatment option that does not compete in area extent with other site needs.</p> <p>Issue: Current code subsection E.5. reference to Storm Water Treatment Plan Review Guidance Manual is not up to date. Current requirement is to comply with the BMPs established in the Stormwater Pollution Prevention Plan manual.</p>	No changes.	<p>Subsection E.5. Requires a storm water treatment plan following the Storm Water Treatment Plan Review Guidance Manual.</p> <p>Complies: Site scenario assumes that soils, flat site, and area available are adequate for a storm water treatment option that does not compete in area extent with other site needs.</p> <p>Issue: Current code subsection E.5. reference to Storm Water Treatment Plan Review Guidance Manual is not up to date. Current requirement is to comply with the BMPs established in the Stormwater Pollution Prevention Plan manual.</p>	No changes.	No changes.	No changes.
49	21.07.040F: Snow Storage and Disposal	<p>Subsection F.4. For multifamily structures with four units or more on the same lot, a snow storage area shall be provided that is equal in size to at least 10 percent of the paved area on-site for parking and vehicle access. The snow storage area(s) shall about the surface area to be plowed and shall have a minimum dimension of 8'. Snow storage areas may overlap with site enhancement landscaping and required private open space by-right. Snow storage areas must be either planted with ground-cover or paved.</p> <p>Complies: A snow storage area with minimum 10' dimensions and having 380 square feet in area (equal to 12% of paved vehicle areas) is provided. Overlaps with landscaping and 200 sq. ft. of required private open space.</p>	<p>No changes to code.</p> <p>Complies: A snow storage area with minimum 10' dimensions and having 340 square feet in area (equal to 10% of paved vehicle areas) is provided. Overlaps with landscaping and 200 sq. ft. of required private open space.</p>	<p>Subsection F.4. For multifamily structures with four units or more on the same lot, a snow storage area shall be provided that is equal in size to at least 10 percent of the paved area on-site for parking and vehicle access. The snow storage area(s) shall about the surface area to be plowed and shall have a minimum dimension of 8'. Snow storage areas may overlap with site enhancement landscaping and required private open space by-right. Snow storage areas must be either planted with ground-cover or paved.</p> <p>Complies: A snow storage area with minimum 10' dimensions and having 380 square feet in area (equal to 10% of paved vehicle areas) is provided. Overlaps with landscaping and 200 sq. ft. of required private open space.</p>	<p>No changes to code.</p> <p>Complies: A snow storage area with minimum 10' dimensions and having 380 square feet in area (equal to 10% of paved vehicle areas) is provided. Overlaps with landscaping and 200 sq. ft. of required private open space.</p>	<p>Subsection F.4. For multifamily structures with four units or more on the same lot, a snow storage area shall be provided that is equal in size to at least 10 percent of the paved area on-site for parking and vehicle access. The snow storage area(s) shall about the surface area to be plowed and shall have a minimum dimension of 8'. Snow storage areas may overlap with site enhancement landscaping and required private open space by-right. Snow storage areas must be either planted with ground-cover or paved.</p> <p>Complies: A snow storage area with minimum 10' dimensions and having 380 square feet in area (equal to 11% of paved vehicle areas) is provided. Overlaps with landscaping and 200 sq. ft. of required private open space.</p>	<p>No changes to code.</p> <p>Complies: Two snow storage areas with minimum 10' dimensions and having a total of 380 square feet in area (equal to 10% of paved vehicle areas) are provided. One overlaps with site enhancement landscaping and 200 sq. ft. of required private open space.</p>	<p>No changes to code.</p> <p>Complies: Two snow storage areas with minimum 10' dimensions and having a total of 380 square feet in area (equal to 10% of paved vehicle areas) are provided. One overlaps with site enhancement landscaping and 200 sq. ft. of required private open space.</p>	<p>No changes to code.</p> <p>Complies: Two snow storage areas with minimum 10' dimensions and having a total of 380 square feet in area (equal to 10% of paved vehicle areas) are provided. One overlaps with site enhancement landscaping and 200 sq. ft. of required private open space.</p>
50	21.07.060E: Pedestrian Facilities-On-Site Pedestrian Walkways	<p>Subsection 4. 3'-wide continuous pedestrian walkway with marked driveway crossings must connect from the individual units' primary entrances to the public street. The walkway must be physically separated from the common drive aisle by an upright curb or bollards, and a change in paving color, texture, or striping. Individual private driveways may serve as walkway to individual unit entries. Walkways may be credited toward adjacent private open space areas.</p> <p>Complies: A separated pedestrian walkway of 3' 6" width connects each entrance to the public street. No driveway crossings. Walkway passes through common private open space.</p>	<p>No changes to code.</p> <p>Complies: A separated pedestrian walkway of 3' 6" width connects each entrance to the public street. No driveway crossings. Walkway passes through common private open space.</p>	<p>Subsection 4. 3'-wide continuous pedestrian walkway with marked driveway crossings must connect from the individual units' primary entrances to the public street. The walkway must be physically separated from the common drive aisle by an upright curb or bollards, and a change in paving color, texture, or striping. Individual private driveways may serve as walkway to individual unit entries. Walkways may be credited toward adjacent private open space areas.</p> <p>Complies: A separated pedestrian walkway of 3 feet width connects each entrance to the public street. Marked crossings provided at each driveway. Walkway passes through common private open space.</p>	<p>No changes to code.</p> <p>Complies: A separated pedestrian walkway of 3' 6" width connects each entrance to the public street. No driveway crossings. Walkway passes through common private open space.</p>	<p>Subsection 4. 3'-wide continuous pedestrian walkway with marked driveway crossings must connect from the individual units' primary entrances to the public street. The walkway must be physically separated from the common drive aisle by an upright curb or bollards, and a change in paving color, texture, or striping. Individual private driveways may serve as walkway to individual unit entries. Walkways may be credited toward adjacent private open space areas.</p> <p>Complies: A separated pedestrian walkway of 3' 6" width connects each entrance to the public street. No driveway crossings. Walkway passes through common private open space.</p>	<p>No changes to code.</p> <p>Complies: A separated pedestrian walkway of 3 feet width connects each entrance to the public street. Marked crossings provided at each driveway. Walkway passes through common private open space.</p>	<p>No changes to code.</p> <p>Complies: A separated pedestrian walkway of 3 feet width connects each entrance to the public street. Marked crossings provided at each driveway. Walkway passes through common private open space.</p>	<p>No changes to code.</p> <p>Complies: A separated pedestrian walkway of 3' 6" width connects each entrance to the public street. No driveway crossings. Walkway passes through common private open space.</p>
51	21.07.080C: Landscaping Plan	A Landscaping plan stamped by a licensed landscape architect is not required for four units or less.	No changes.	A Landscaping plan stamped by a licensed landscape architect is not required for four units or less.	No changes.	A Landscaping plan stamped by a licensed landscape architect is not required for four units or less.	No changes.	No changes.	No changes.

R-2 Amendment Site Test- Four-Unit Multifamily Townhouse-Style
Building on Small Urban Infill Site

	A	C	D	E	F	G	H	I	J
1		Code Comparison 1: Two-story Gable Roof Scenario		Code Comparison 2: Two-and-one-half Story Gable Roof Scenario		Code Comparison 3: Flat Roof Scenarios			
2		Existing Code	Proposed Amended Code	Existing Code	Proposed Amended Code	Existing Code	Proposed Amended Code	Proposed Amended Code	Proposed Amended Code
3	AMC Title 21 Section	Current Code Two-story Gable Roof Scenario	R-2 Zones Amendment Two-story Gable Roof Scenario	Current Code 2.5-story Gable Roof Scenario	R-2 Zones Amendment 2.5-story Gable Roof Scenario	Current Code Two-story with Daylight Basement Scenario	R-2 Zones Amendment (1) Three-story Flat-roof Scenario with entries opposite from garages	R-2 Zones Amendment (2) Three-story Flat-roof Scenario with entries on same side as garages	R-2 Zones Amendment (3) Three-story with Daylight Basement Scenario
52	21.07.080E.1.: Site Perimeter Landscaping	Not generally applicable to development on R-2M zoned lots abutting other R-2M zoned lots and local streets. Not applicable along alleys.	No changes.	Not generally applicable to development on R-2M zoned lots abutting other R-2M zoned lots and local streets. Not applicable along alleys.	No changes.	Not generally applicable to development on R-2M zoned lots abutting other R-2M zoned lots and local streets. Not applicable along alleys.	No changes.	No changes.	No changes.
53	21.07.080E.2.b: Parking Lot Perimeter Landscaping	Not applicable to parking areas with fewer than 10 parking spaces serving a multifamily use.	No changes.	Not applicable to parking areas with fewer than 10 parking spaces serving a multifamily use.	No changes.	Not applicable to parking areas with fewer than 10 parking spaces serving a multifamily use.	No changes.	No changes.	No changes.
54	21.07.080E.2.c: Parking Lot Interior Landscaping	Not applicable to fewer than 40 parking spaces.	No changes.	Not applicable to fewer than 40 parking spaces.	No changes.	Not applicable to fewer than 40 parking spaces.	No changes.	No changes.	No changes.
55	21.07.080E.3: Site Enhancement Landscaping	Table 21.07, Provide on all areas of the site not occupied by buildings, driveways, or other paved areas or installations a covering of living ground cover, turf, or planting beds with trees or shrubs. Complies: All areas planted with Kentucky Bluegrass.	No changes. Complies: All areas planted with Kentucky Bluegrass.	Table 21.07, Provide on all areas of the site not occupied by buildings, driveways, or other paved areas or installations a covering of living ground cover, turf, or planting beds with trees or shrubs. Complies: All areas planted with Kentucky Bluegrass.	No changes. Complies: All areas planted with Kentucky Bluegrass.	Table 21.07, Provide on all areas of the site not occupied by buildings, driveways, or other paved areas or installations a covering of living ground cover, turf, or planting beds with trees or shrubs. Complies: All areas planted with Kentucky Bluegrass.	No changes. Complies: All areas planted with Kentucky Bluegrass.	No changes. Complies: All areas planted with Kentucky Bluegrass.	No changes. Complies: All areas planted with Kentucky Bluegrass.
56	21.07.080E.4: Trees for Residential Development	A minimum of 20 trees per acre, and no less than one tree, is required. Complies: The lot is 0.257 acres and therefore 5 trees are required. The site design provides 5 trees.	No changes. Complies: The lot is 0.257 acres and therefore 5 trees are required. The site design provides 5 trees.	A minimum of 20 trees per acre, and no less than one tree, is required. Complies: The lot is 0.257 acres and therefore 5 trees are required. The site design provides 5 trees.	No changes. Complies: The lot is 0.257 acres and therefore 5 trees are required. The site design provides 5 trees.	A minimum of 20 trees per acre, and no less than one tree, is required. Complies: The lot is 0.257 acres and therefore 5 trees are required. The site design provides 5 trees.	No changes. Complies: The lot is 0.257 acres and therefore 5 trees are required. The site design provides 5 trees.	No changes. Complies: The lot is 0.257 acres and therefore 5 trees are required. The site design provides 5 trees.	No changes. Complies: The lot is 0.257 acres and therefore 5 trees are required. The site design provides 5 trees.
57	21.07.080F.3: Protection of Landscaping	Subsection a. Concrete curbs or alternate barrier at least 6" is required between paved vehicle areas and required landscaping areas. Complies: Curb stops or barrier provided at dead-end and end of guest space.	No changes. Complies: Curb stops provided at dead-end and end of guest space.	Subsection a. Concrete curbs or alternate barrier at least 6" is required between paved vehicle areas and required landscaping areas. Complies: Curb stops provided at dead-end and along driveways.	No changes. Complies: Curb stops provided at dead-end.	Subsection a. Concrete curbs or alternate barrier at least 6" is required between paved vehicle areas and required landscaping areas. Complies: Curb stops provided at dead-end.	No changes. Complies: Curb stops provided at dead-end and end of guest space.	No changes. Complies: Curb stops provided along driveways and at dead-end.	No changes. Complies: Curb stops provided at dead-end.
58	21.07.080G2: Screening and Refuse Collection	Subsection 2. Refuse collection screening requirements do not apply to receptacles stored indoors. Complies: Household sized refuse containers stored in garages.	No changes. Complies: Household sized refuse containers stored in garages.	Subsection 2. Refuse collection screening requirements do not apply to receptacles stored indoors. Complies: Household sized refuse containers stored in garages.	No changes. Complies: Household sized refuse containers stored in garages.	Subsection 2. Refuse collection screening requirements do not apply to receptacles stored indoors. Complies: Household sized refuse containers stored in garages.	No changes. Complies: Household sized refuse containers stored in garages.	No changes. Complies: Household sized refuse containers stored in garages.	No changes. Complies: Household sized refuse containers stored in garages.
59	21.07.090G3: Off-Street Loading	Subsection 3. Not applicable.	No changes.	Subsection 3. Not applicable.	No changes.	Subsection 3. Not applicable.	No changes.	No changes.	No changes.
60	21.07.090E: Off-street Parking Requirements	Table 21.07-4, parking space for multifamily dwelling with townhouse-style development is 1.5 spaces per two-bedroom unit or 2.0 spaces per three-bedroom unit. Additionally, 0.15 guest spaces per multifamily unit with townhouse-style construction. So a total of 6 to 8 spaces depending on unit size (2 vs. 3 bedrooms) plus one shared guest space. NOTE: This test does not apply the overflow parking requirement in AMCR 21.90. Complies: Provides two spaces in each garage plus one shared (guest) parking space on-site.	No changes. Complies: Provides two spaces in each garage plus one shared (guest) parking space on-site.	Table 21.07-4, parking space for multifamily dwelling with townhouse-style development is 1.5 spaces per two-bedroom unit or 2.0 spaces per three-bedroom unit, plus 0.15 spaces for each multifamily unit with townhouse-style construction. So a total of 6 to 8 spaces depending on unit size (2 vs. 3 bedrooms) plus one guest space. NOTE: This test does not apply the overflow parking requirement in AMCR 21.90. Complies: Provides two spaces in each garage plus one shared (guest) parking space on-site.	No changes. Complies: Provides two spaces in each garage plus one shared (guest) parking space on-site.	Table 21.07-4, parking space for multifamily dwelling with townhouse-style development is 1.5 spaces per two-bedroom unit or 2.0 spaces per three-bedroom unit, plus 0.15 spaces for each multifamily unit with townhouse-style construction. So a total of 6 to 8 spaces depending on unit size (2 vs. 3 bedrooms) plus one guest space. NOTE: This test does not apply the overflow parking requirement in AMCR 21.90. Complies: Provides two spaces in each garage plus one shared (guest) parking space on-site.	No changes. Complies: Provides two spaces in each garage plus one shared (guest) parking space on-site.	No changes. Complies: Provides two spaces in each garage plus one shared (guest) parking space on-site.	No changes. Complies: Provides two spaces in each garage plus one shared (guest) parking space on-site.

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2		Existing Code	Proposed Amended Code	Existing Code	Proposed Amended Code	Existing Code	Proposed Amended Code	Proposed Amended Code	Proposed Amended Code
3	AMC Title 21 Section	Current Code Two-story Gable Roof Scenario	R-2 Zones Amendment Two-story Gable Roof Scenario	Current Code 2.5-story Gable Roof Scenario	R-2 Zones Amendment 2.5-story Gable Roof Scenario	Current Code Two-story with Daylight Basement Scenario	R-2 Zones Amendment (1) Three-story Flat-roof Scenario with entries opposite from garages	R-2 Zones Amendment (2) Three-story Flat-roof Scenario with entries on same side as garages	R-2 Zones Amendment (3) Three-story with Daylight Basement Scenario
61	21.07.090F: Parking Reductions and Alternatives	There are pending code changes that would make some parking reductions by-right, such as 25 percent reductions in neighborhoods north of 15th Avenue. This would reduce the base, by-right parking requirements. Guest parking may be approved on-street. In such a case the parking could be reduced to five front-in spaces from the alley, using the rear 28' of the lot. Complies: This test assumes the builder chooses to not pursue parking reductions or on-street guest parking.	No changes. Complies: This test assumes the builder chooses to not pursue parking reductions or on-street guest parking.	There are pending code changes that would make some parking reductions by-right, such as 25 percent reductions in neighborhoods north of 15th Avenue. This would reduce the base, by-right parking requirements. Guest parking may be approved on-street. In such a case the parking could be reduced to five front-in spaces from the alley, using the rear 28' of the lot. Complies: This test assumes the builder chooses to not pursue parking reductions or on-street guest parking.	No changes. Complies: This test assumes the builder chooses to not pursue parking reductions or on-street guest parking.	There are pending code changes that would make some parking reductions by-right, such as 25 percent reductions in neighborhoods north of 15th Avenue. This would reduce the base, by-right parking requirements. Guest parking may be approved on-street. In such a case the parking could be reduced to five front-in spaces from the alley, using the rear 28' of the lot. Complies: This test assumes the builder chooses to not pursue parking reductions or on-street guest parking.	No changes. Complies: This test assumes the builder chooses to not pursue parking reductions or on-street guest parking.	No changes. Complies: This test assumes the builder chooses to not pursue parking reductions or on-street guest parking.	No changes. Complies: This test assumes the builder chooses to not pursue parking reductions or on-street guest parking.
62	21.07.090G: Off-street Loading Requirements	Not applicable to multifamily developments with less than 50 dwellings.	No changes.	Not applicable to multifamily developments with less than 50 dwellings.	No changes.	Not applicable to multifamily developments with less than 50 dwellings.	No changes.	No changes.	No changes.
63	21.07.090H: Parking Facility and Design Standards	Subsection 6. No vehicle overhang allowance area within the 20' parking space depth may extend into the required minimum width of required walkways or private open space. Complies: Guest space complies with front 2' being back of vertical barrier curb.	No changes. Complies: Guest space complies with front 2' being back of vertical barrier curb.	Subsection 6. No vehicle overhang allowance area within the 20' parking space depth may extend into the required minimum width of required walkways or private open space. Complies: Guest space complies.	No changes. Complies: Guest space complies.	Subsection 6. No vehicle overhang allowance area within the 20' parking space depth may extend into the required minimum width of required walkways or private open space. Complies: Guest space complies.	No changes. Complies: guest space complies with front 2' being back of vertical barrier curb.	No changes. Complies: Guest space complies.	No changes. Complies: Guest space complies.
64	21.07.090H.8: Vehicle Access and Circulation	Subsection d. Driveways to parking shall conform at the Municipal Driveway Standards and to 21.07.110F.3., Driveway Width. Driveway throat width from the alley would most likely be required to be 20 feet wide. Complies: Driveway is 20' wide between the alley and the garages. Driveway throat at alley is 20' wide.	No changes. Complies: Driveway is 20' wide between the alley and the garages. Driveway throat at alley is 20' wide.	Subsection d. Driveways to parking shall conform at the Municipal Driveway Standards and to 21.07.110F.3., Driveway Width. Driveway throat width from the alley would most likely be required to be 20 feet wide. Complies: Driveway is 20' wide between the alley and the garages. Driveway throat at alley is 20' wide.	No changes. Complies: Driveway is 20' wide between the alley and the garages. Driveway throat at alley is 20' wide.	Subsection d. Driveways to parking shall conform at the Municipal Driveway Standards and to 21.07.110F.3., Driveway Width. Driveway throat width from the alley would most likely be required to be 20 feet wide. Complies: Driveway is 20' wide between the alley and the garages. Driveway throat at alley is 20' wide.	No changes. Complies: Driveway is 20' wide between the alley and the garages. Driveway throat at alley is 20' wide.	No changes. Complies: Driveway is 20' wide between the alley and the garages. Driveway throat at alley is 20' wide.	No changes. Complies: Driveway is 20' wide between the alley and the garages. Driveway throat at alley is 20' wide.
65	21.07.090.H.8e: Parking and Maneuvering	Subsection e.: All parking circulation aisles, parking spaces, and maneuvering areas shall be located entirely on-site except as specifically provided otherwise. Complies: All parking and maneuvering is entirely on site, as explained below.	No changes. Complies: All parking and maneuvering is entirely on site, as explained below.	Subsection e.: All parking circulation aisles, parking spaces, and maneuvering areas shall be located entirely on-site except as specifically provided otherwise. Complies: Parking and maneuvering is both on-site and employs the alley, as explained below.	No changes. Complies: Parking and maneuvering is both on-site and employs the alley, as explained below.	Subsection e.: All parking circulation aisles, parking spaces, and maneuvering areas shall be located entirely on-site except as specifically provided otherwise. Complies: Parking and maneuvering is both on-site and employs the alley, as explained below.	No changes. Complies: Parking and maneuvering is on-site as explained below.	No changes. Complies: Parking and maneuvering is both on-site and employs the alley, as explained below.	No changes. Complies: Parking and maneuvering is both on-site and employs the alley, as explained below.
66	21.07.090.H.8e.j: Access to Parking Spaces	Subsection e.i. Each off-street space opens directly on a 2-way parking aisle at least 24 feet wide. Adequate egress to each parking space shall be provided without backing more than 25 feet. Complies: Parking aisle in front of garages and guest space is 24' wide, is 2-way. (Note that the 4' of landscaping abutting the aisle counts toward the min. 24' aisle width so the drive aisle vehicle area is only 20' wide.)	No changes. Complies: Parking aisle in front of garages and guest space is 24' wide, is 2-way. (Note that the 4' of landscaping abutting the aisle counts toward the min. 24' aisle width so the drive aisle vehicle area is only 20' wide.)	Subsection e.i. Each off-street space opens directly on a 2-way parking aisle at least 24 feet wide. Adequate egress to each parking space shall be provided without backing more than 25 feet. Complies: Parking aisle in front of garages is 24' wide, is 2-way. (Note that the 3' walkway and 1' of landscaping abutting the aisle counts toward the min. 24' aisle width so the drive aisle vehicle area is only 20' wide.)	No changes. Complies: Parking aisle in front of garages is 24' wide, is 2-way. (Note that the 4' of landscaping abutting the aisle counts toward the min. 24' aisle width so the drive aisle vehicle area is only 20' wide.)	Subsection e.i. Each off-street space opens directly on a 2-way parking aisle at least 24 feet wide. Adequate egress to each parking space shall be provided without backing more than 25 feet. Complies: Parking aisle in front of garages is 24' wide, is 2-way. (Note that the 4' of landscaping abutting the aisle counts toward the min. 24' aisle width so the drive aisle vehicle area is only 20' wide.)	No changes. Complies: Parking aisle in front of garages is 20' wide, is 2-way. (Note that the 4' of landscaping abutting the aisle counts toward the min. 24' aisle width so the drive aisle vehicle area is only 20' wide.)	No changes. Complies: Parking aisle in front of garages is 24' wide, is 2-way. (Note that the 3' walkway and 1' of landscaping abutting the aisle counts toward the min. 24' aisle width so the drive aisle vehicle area is only 20' wide.)	No changes. Complies: Parking aisle in front of garages is 20' wide, is 2-way. (Note that the 4' of landscaping abutting the aisle counts toward the min. 24' aisle width so the drive aisle vehicle area is only 20' wide.)

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	A	C	D	E	F	G	H	I	J
1		Code Comparison 1: Two-story Gable Roof Scenario		Code Comparison 2: Two-and-one-half Story Gable Roof Scenario		Code Comparison 3: Flat Roof Scenarios			
2		Existing Code	Proposed Amended Code	Existing Code	Proposed Amended Code	Existing Code	Proposed Amended Code	Proposed Amended Code	Proposed Amended Code
3	AMC Title 21 Section	Current Code Two-story Gable Roof Scenario	R-2 Zones Amendment Two-story Gable Roof Scenario	Current Code 2.5-story Gable Roof Scenario	R-2 Zones Amendment 2.5-story Gable Roof Scenario	Current Code Two-story with Daylight Basement Scenario	R-2 Zones Amendment (1) Three-story Flat-roof Scenario with entries opposite from garages	R-2 Zones Amendment (2) Three-story Flat-roof Scenario with entries on same side as garages	R-2 Zones Amendment (3) Three-story with Daylight Basement Scenario
67	21.07.090H.8f: Dead-end Parking Aisles	Subsection f. Dead-end parking aisles may be allowed only with the approval of the traffic engineer. NOTE: TE typically allows a dead-end on this size of parking with a 5' minimum (10' preferred) stub-out of the drive aisle beyond the last parking space. Complies: Dead-end parking aisle has 5-foot bump out toward the street beyond last garage door.	No changes. Complies: Dead-end parking aisle has 5-foot bump out toward the street beyond last garage door.	Subsection f. Dead-end parking aisles may be allowed only with the approval of the traffic engineer. NOTE: TE typically allows a dead-end on this size of parking with a 5' minimum (10' preferred) stub-out of the drive aisle beyond the last parking space. Complies: Dead-end parking aisle has 8-foot bump out toward the street beyond last garage door.	No changes to code. Complies: Dead-end parking aisle has 8-foot bump out toward the street beyond last garage door.	Subsection f. Dead-end parking aisles may be allowed only with the approval of the traffic engineer. NOTE: TE typically allows a dead-end on this size of parking with a 5' minimum (10' preferred) stub-out of the drive aisle beyond the last parking space. Complies: Dead-end parking aisle has 8' 3" bump out toward the street beyond last garage door.	No changes to code. Complies: Dead-end parking aisle has 8-foot bump out toward the street beyond last garage door.	No changes to code. Complies: Dead-end parking aisle has 8-foot bump out toward the street beyond last garage door.	No changes to code. Complies: Dead-end parking aisle has 8 feet bump out toward the street beyond last garage door.
68	21.07.090H.8g: Alleys	Subsection g. The usable portion of the alley may be credited as circulation or parking aisle space. Complies: This test assumes the builder chooses on-site circulation for parking space access.	No changes. Complies: This test assumes the builder chooses on-site circulation for parking space access.	Subsection g. The usable portion of the alley may be credited as circulation or parking aisle space. Complies: This test assumes the builder chooses both on-site circulation and alley circulation for parking space access.	No changes. Complies: This test assumes the builder chooses both on-site circulation and alley circulation for parking space access.	Subsection g. The usable portion of the alley may be credited as circulation or parking aisle space. Complies: This test assumes the builder chooses both on-site circulation and alley circulation for parking space access.	No changes. Complies: This test assumes the builder chooses on-site circulation for parking space access.	No changes. Complies: This test assumes the builder chooses both on-site circulation and alley circulation for parking space access.	No changes. Complies: This test assumes the builder chooses both on-site circulation and alley circulation for parking space access.
69	21.07.090H.9: Dimensions of Parking Spaces and Aisles	Minimum parking space dimensions are 9'x20', with an additional foot abutting any wall or obstruction. Minimum vertical clearance is 7'4". Complies: Garage dimensions are 24' by 23'. Garage doors have vertical clearance of 7' 6". Guest parking space is 10' by 24'.	No changes to code. Complies: Garage dimensions are 24' by 23'. Garage doors have vertical clearance of 7' 6". Guest parking space is 10' by 24'.	Minimum parking space dimensions are 9'x20', with an additional foot abutting any wall or obstruction. Minimum vertical clearance is 7'4". Complies: Garage dimensions are 24' by 23'. Garage doors have vertical clearance of 7' 6". Guest parking space is 10' by 24'.	No changes to code. Complies: Garage dimensions are 24' by 23'. Garage doors have vertical clearance of 7' 6". Guest parking space is 10' by 24'.	Minimum parking space dimensions are 9'x20', with an additional foot abutting any wall or obstruction. Minimum vertical clearance is 7'4". Complies: Garage dimensions are 24' by 22'. Garage doors have vertical clearance of 7' 6". Guest parking space is 10' by 24'.	No changes to code. Complies: Garage dimensions are 23' by 23'. Garage doors have vertical clearance of 7' 6". Guest parking space is 10' by 24'.	No changes to code. Complies: Garage dimensions are 23' by 23'. Garage doors have vertical clearance of 7' 6". Guest parking space is 10' by 24'.	No changes to code. Complies: Garage dimensions are 23' by 23'. Garage doors have vertical clearance of 7' 6". Guest parking space is 10' by 24'.
70	21.07.090I: Accessible Parking Spaces	Multifamily developments with townhouse-style structures are not subject to the accessible parking space requirement.	No changes.	Multifamily developments with townhouse-style structures are not subject to the accessible parking space requirement.	No changes.	Multifamily developments with townhouse-style structures are not subject to the accessible parking space requirement.	No changes.	No changes.	No changes.
71	21.07.090K: Bicycle Parking Spaces	Not applicable to townhouse-style developments or to multifamily developments with 40 or fewer parking spaces.	No changes.	Not applicable to townhouse-style developments or to multifamily developments with 40 or fewer parking spaces.	No changes.	Not applicable to townhouse-style developments or to multifamily developments with 40 or fewer parking spaces.	No changes.	No changes.	No changes.
72	21.07.090M: Structured Parking	Not applicable to garages for individual dwellings.	No changes.	Not applicable to garages for individual dwellings.	No changes.	Not applicable to garages for individual dwellings.	No changes.	No changes.	No changes.
73	21.07.110C. Multifamily and Townhouse Standards- Windows Facing the Street	Subsection 3.: At least 10 percent of each building elevation facing a street or that has primary entrances to dwellings shall be comprised of windows or primary entrance doors (up to a maximum of two elevations). The director may reduce the requirement on one elevation. Complies: 13 percent of the street facing elevation and 10 percent of the north entrance elevation comprises windows and entries.	No changes to code. Complies: 13 percent of the street facing elevation and 10 percent of the north entrance elevation comprises windows and entries.	Subsection 3.: At least 10 percent of each building elevation facing a street or that has primary entrances to dwellings shall be comprised of windows or primary entrance doors (up to a maximum of two elevations). The director may reduce the requirement on one elevation. Complies: 15 percent of the street facing elevation and 11 percent of the south elevation comprises windows and entries.	No changes to code. Complies: 15 percent of the street facing elevation and 11 percent of the north elevation comprises windows and entries.	Subsection 3.: At least 10 percent of each building elevation facing a street or that has primary entrances to dwellings shall be comprised of windows or primary entrance doors (up to a maximum of two elevations). The director may reduce the requirement on one elevation. Complies: 11 percent of the street facing elevation and 10 percent of the north elevation comprises windows and entries.	No changes to code. Complies: 11 percent of the street facing/primary entrance elevation comprises windows and entries.	No changes to code. Complies: 11 percent of the street facing/primary entrance elevation comprises windows and entries.	No changes to code. Complies: 11 percent of the street facing/primary entrance elevation comprises windows and entries.
74	21.07.110C.4: Building Spacing	Subsection 4.: Not applicable to a single building.	No changes.	Subsection 4.: Not applicable to a single building.	No changes.	Subsection 4.: Not applicable to a single building.	No changes.	No changes.	No changes.
75	21.07.110C.5: Pedestrian	Subsection 5. This refers to 21.07.060E. See testing above.	No changes.	Subsection 5. This refers to 21.07.060E. See testing above.	No changes.	Subsection 5. This refers to 21.07.060E. See testing above.	No changes.	No changes.	No changes.

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2		Existing Code	Proposed Amended Code	Existing Code	Proposed Amended Code	Existing Code	Proposed Amended Code	Proposed Amended Code	Proposed Amended Code
3	AMC Title 21 Section	Current Code Two-story Gable Roof Scenario	R-2 Zones Amendment Two-story Gable Roof Scenario	Current Code 2.5-story Gable Roof Scenario	R-2 Zones Amendment 2.5-story Gable Roof Scenario	Current Code Two-story with Daylight Basement Scenario	R-2 Zones Amendment (1) Three-story Flat-roof Scenario with entries opposite from garages	R-2 Zones Amendment (2) Three-story Flat-roof Scenario with entries on same side as garages	R-2 Zones Amendment (3) Three-story with Daylight Basement Scenario
76	21.07.110C.6: Building and Site Orientation Menu	Subsection 6. The building must incorporate 3 menu choices. Complies: Achieves menu choice c. as 13 percent of the street facing elevation and 10 percent of the north elevation comprises windows and entries. Achieves menu choices e and j.	No changes to code. Complies: Achieves menu choice c. as 13 percent of the street facing elevation and 10 percent of the north elevation comprises windows and entries. Achieves menu choices e and j.	Subsection 6. The building must incorporate 3 menu choices. Complies: Achieves menu choice c. as 15 percent of the street facing elevation and 11 percent of the south entrance elevation comprises windows and entries. Achieves menu choices e and j.	No changes to code. Complies: Achieves menu choice c. as 15 percent of the street facing elevation and 11 percent of the north elevation comprises windows and entries. Achieves menu choices e and j.	Subsection 6. The building must incorporate 3 menu choices. Complies: Achieves menu choice c. as 11 percent of the street facing elevation and 10 percent of the north elevation comprises windows and entries. Achieves menu choices e and j.	No changes to code. Complies: Achieves menu choice c. as 11 percent of the street facing elevation and 11 percent of the north-facing elevation comprises windows and entries. Achieves menu choices e and j.	No changes to code. Complies: Achieves menu choice c. as 11 percent of the street facing elevation and 11 percent of the north-facing elevation comprises windows and entries. Achieves menu choices e and j.	No changes to code. Complies: Achieves menu choice c. as 11 percent of the street facing elevation and 10% of the south elevation comprises windows and entries. Achieves menu choices e and j.
77	21.07.110C.7: Building Articulation Menu	Subsection 7.: Building end wall elevation facing street must provide 3 features from menu, and building side elevation with primary entries must provide 4 menu features. Complies: Street-facing end wall provides items d, i, and j from menu. North elevation provides items a, d, i, and j from menu.	No changes to code, except see also testing for subsection 21.06.020F.2.c. above for additional articulation requirement for 3-story building facades. Complies: Street-facing end wall provides items d, i, and j from menu. North elevation provides items a, d, i, and j from menu.	Subsection 7.: Building end wall elevation facing street must provide 3 features from menu, and building side elevation with primary entries must provide 4 menu features. Complies: Street-facing end wall provides items i, j, and l from menu. South elevation provides items a, c, i, and l from menu.	No changes to code, except see also testing for subsection 21.06.020F.2.c. above for additional articulation requirement for 3-story building facades. Complies: Street-facing end wall provides items i, j, and l from menu. North elevation provides items a, i, j, and l from menu.	Subsection 7.: Building end wall elevation facing street must provide 3 features from menu, and building side elevation with primary entries must provide 4 menu features. Complies: Street-facing end wall provides items a, f, and j from menu. North elevation provides items a, f, i, and j from menu.	No changes to code, except see also testing for subsection 21.06.020F.2.c. above for additional articulation requirement for 3-story building facades. Complies: Street-facing/primary entry elevation provides items a, i, and j. from menu. Building elevation facing north incorporates menu choices b, d, e., and l. Elevation facing south incorporates menu choices b, f, i, and j.	No changes to code, except see also testing for subsection 21.06.020F.2.c. above for additional articulation requirement for 3-story building facades. Complies: Street-facing end wall provides items a, f, and j. from menu. Building elevation facing north incorporates menu choices b, e, i, and l. Elevation facing south incorporates menu choices b, d, f, and l.	No changes to code, except see also testing for subsection 21.06.020F.2.c. above for additional articulation requirement for 3-story building facades. Complies: Street-facing/primary entry elevation provides items i, j, and l from menu. Building elevation facing north incorporates menu choices c, d, i, and j. Elevation facing south incorporates menu choices c, d, e, and l.
78	21.07.110C.8: Weather Protection and Sunlight Menu	Subsection 8.: Not applicable to less than eight dwelling units.	No changes.	Subsection 8.: Not applicable to less than eight dwelling units.	No changes.	Subsection 8.: Not applicable to less than eight dwelling units.	No changes.	No changes.	No changes.
79	21.07.110C.9: Entryway Treatment	Subsection 9. Primary front entrances must include a porch or landing or patio with a minimum dimension of 4 feet, and distinguished from adjacent areas and vehicle parking. Must provide a distinguishing feature from menu of options a through f. Complies: Primary front entrances have landings of 4' by 8'. Features include a and c.	No changes to code. Complies: Primary front entrances have landings of 4' by 8'. Features include a and c.	Subsection 9. Primary front entrances must include a porch or landing or patio with a minimum dimension of 4 feet, and distinguished from adjacent areas and vehicle parking. Must provide a distinguishing feature from menu of options a through f. Complies: Primary front entrances have landings of 4' by 8'. Features include a. and c.	No changes to code. Complies: Primary front entrances have landings of 4' by 8'. Features include a. and c.	Subsection 9. Primary front entrances must include a porch or landing or patio with a minimum dimension of 4 feet, and distinguished from adjacent areas and vehicle parking. Must provide a distinguishing feature from menu of options a through f. Complies: Primary front entrances have landings 6' by 7'. Features include a., c., and d.	No changes to code. Complies: Primary front entrances have landings of 8' by 8'. Features include a. and c..	No changes to code. Complies: Primary front entrances have landings of 4' by 8'. Features include a. and c.	No changes to code. Complies: Primary front entrances have landings of 8' by 8'. Features include a., c., and d..
80	21.07.110C.10a: Landscaping- Semi-private Front Transition Space	Subsection 10.a. The area between units' front entries and the street shall be planted with one tree and five shrubs for every 2 dwelling units, and vehicle areas shall not encroach into this area. Complies: One front entry faces the street and between the entry and the street, one tree and five shrubs are provided.	No changes to code. Complies: One front entry faces the street and between the entry and the street, one tree and five shrubs are provided.	Subsection 10.a. The area between units' front entries and the street shall be planted with one tree and five shrubs for every 2 dwelling units, and vehicle areas shall not encroach into this area. Complies: One front entry faces the street and between the entry and the street, one tree and five shrubs are provided.	No changes to code. Complies: One front entry faces the street and between the entry and the street, one tree and five shrubs are provided.	Subsection 10.a. The area between units' front entries and the street shall be planted with one tree and five shrubs for every 2 dwelling units, and vehicle areas shall not encroach into this area. Complies: One front entry faces the street and between the entry and the street, one tree and five shrubs are provided.	No changes to code. Complies: One front entry faces the street and between the entry and the street, one tree and five shrubs are provided.	No changes to code. Complies: One front entry faces the street and between the entry and the street, one tree and five shrubs are provided.	No changes to code. Complies: One front entry faces the street and between the entry and the street, one tree and five shrubs are provided.

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1		Code Comparison 1: Two-story Gable Roof Scenario		Code Comparison 2: Two-and-one-half Story Gable Roof Scenario		Code Comparison 3: Flat Roof Scenarios			
2		Existing Code	Proposed Amended Code	Existing Code	Proposed Amended Code	Existing Code	Proposed Amended Code	Proposed Amended Code	Proposed Amended Code
3	AMC Title 21 Section	Current Code Two-story Gable Roof Scenario	R-2 Zones Amendment Two-story Gable Roof Scenario	Current Code 2.5-story Gable Roof Scenario	R-2 Zones Amendment 2.5-story Gable Roof Scenario	Current Code Two-story with Daylight Basement Scenario	R-2 Zones Amendment (1) Three-story Flat-roof Scenario with entries opposite from garages	R-2 Zones Amendment (2) Three-story Flat-roof Scenario with entries on same side as garages	R-2 Zones Amendment (3) Three-story with Daylight Basement Scenario
81	21.07.110C.10b: Landscaping- Front Driveway Separations	Subsection 10.b. Individual garages fronting onto the street or on the same building elevation as the primary front entries to the dwellings shall be separated by a landscaping planting area that extends from the front entries landings to the shared driveway, out to no less than eight feet from the building garage facades. Driveways shall not exceed 32 feet in width between these landscaped breaks. Complies: Garages facing shared driveway separated by landscaped planting area at least 4' wide.	No changes to code. Complies: Garages facing shared driveway separated by landscaped planting area at least 4' wide.	Subsection 10.b. Individual garages fronting onto the street or on the same building elevation as the primary front entries to the dwellings shall be separated by a landscaping planting area that extends from the front entries landings to the shared driveway, out to no less than eight feet from the building garage facades. Driveways shall not exceed 32 feet in width between these landscaped breaks. Complies: Garages facing shared driveway separated by landscaped planting area at least 4' wide.	No changes to code. Complies: Garages facing shared driveway separated by landscaped planting area at least 4' wide.	Subsection 10.b. Individual garages fronting onto the street or on the same building elevation as the primary front entries to the dwellings shall be separated by a landscaping planting area that extends from the front entries landings to the shared driveway, out to no less than eight feet from the building garage facades. Driveways shall not exceed 32 feet in width between these landscaped breaks. Complies: Garages facing shared driveway separated by landscaped planting area at least 4' wide.	No changes to code. Complies: Garages facing shared driveway separated by landscaped planting area at least 4' wide.	No changes to code. Complies: Garages facing shared driveway separated by landscaped planting area at least 4' wide.	No changes to code. Complies: Garages facing shared driveway separated by landscaped planting area at least 4' wide.
82	21.07.110C.10c: Landscaping- Common Parking Facilities and Driveways	Subsection 10.c.: A foundation planting bed of at least 5' in width and planted with at least 10 shrubs per 20 linear feet of applicable building length shall separate building elevations from common parking and access facilities, including parking bays, aisles, and access driveways shared among multiple units. Test assumes shared facilities include shared guest parking space. Complies: Provides planting bed at least 5' wide with necessary shrubs between shared guest space and building and shared driveway and building.	No changes to code. Complies: Provides planting bed at least 5' wide with necessary shrubs between shared guest space and building and shared driveway and building.	Subsection 10.c.: A foundation planting bed of at least 5' in width and planted with at least 10 shrubs per 20 linear feet of applicable building length shall separate building elevations from common parking and access facilities, including parking bays, aisles, and access driveways shared among multiple units. Test assumes shared facilities include shared guest parking space. Complies: Provides planting bed at least 5' wide with necessary shrubs between shared guest space and building and shared driveway and building.	No changes to code. Complies: Provides planting bed at least 5' wide with necessary shrubs between shared guest space and building and shared driveway and building.	Subsection 10.c.: A foundation planting bed of at least 5' in width and planted with at least 10 shrubs per 20 linear feet of applicable building length shall separate building elevations from common parking and access facilities, including parking bays, aisles, and access driveways shared among multiple units. Test assumes shared facilities include shared guest parking space. Complies: Provides planting bed at least 5' wide with necessary shrubs between shared guest space and building and shared driveway and building.	No changes to code. Complies: Provides planting bed at least 5' wide with necessary shrubs between shared guest space and building and shared driveway and building.	No changes to code. Complies: Provides planting bed at least 5' wide with necessary shrubs between shared guest space and building and shared driveway and building.	No changes to code. Complies: Provides planting bed at least 5' wide with necessary shrubs between shared guest space and building and shared driveway and building.
83	21.07.110C.11: Mechanical and Electrical Equipment Screening (21.07.080G.4)	Subsection 11. Wall-mounted mechanical and electrical equipment on street-facing end walls would need to be screened by sight-obscuring shrubs or fencing. Complies: Assumed all mechanical and electrical equipment on non-street-facing walls.	No changes to code. Complies: Assumed all mechanical and electrical equipment on non-street-facing walls.	Wall-mounted mechanical and electrical equipment on street-facing end walls would need to be screened by sight-obscuring shrubs or fencing.	No changes to code. Complies: Assumed all mechanical and electrical equipment on non-street-facing walls.	Wall-mounted mechanical and electrical equipment on street-facing end walls would need to be screened by sight-obscuring shrubs or fencing. Complies: Assumed all mechanical and electrical equipment on non-street-facing walls.	No changes to code. Complies: Assumed all mechanical and electrical equipment on non-street-facing walls.	No changes to code. Complies: Assumed all mechanical and electrical equipment on non-street-facing walls.	No changes to code. Complies: Assumed all mechanical and electrical equipment on non-street-facing walls.
84	21.07.110F.2: Multiple Structures on a Lot	Subsection F.2. not applicable to a single building on a lot.	No changes.	Subsection F.2. not applicable to a single building on a lot.	No changes.	Subsection F.2. not applicable to a single building on a lot.	No changes.	No changes.	No changes.
85	21.07.110F.3: Driveway Width	Subsection b. (Repeats the test info from 21.07.090H.8 above) Driveways to parking shall conform to the Municipal Driveway Standards and to 21.07.110F.3., Driveway Width. Driveway throat width from the alley would most likely be required to be 20 feet wide. Complies: Driveway is 20' wide between the alley and the garages and has a 20'-wide throat at alley.	No changes. Complies: Driveway is 20' wide between the alley and the garages and has a 20'-wide throat at alley.	Subsection b. (Repeats the test info from 21.07.090H.8 above) Driveways to parking shall conform to the Municipal Driveway Standards and to 21.07.110F.3., Driveway Width. Driveway throat width from the alley would most likely be required to be 20 feet wide. Complies: Driveway is 20' wide between the alley and the garages and has a 20'-wide throat at alley.	No changes. Complies: Driveway is 20' wide between the alley and the garages and has a 20'-wide throat at alley.	Subsection b. (Repeats the test info from 21.07.090H.8 above) Driveways to parking shall conform to the Municipal Driveway Standards and to 21.07.110F.3., Driveway Width. Driveway throat width from the alley would most likely be required to be 20 feet wide. Complies: Driveway is 20' wide between the alley and the garages and has a 20'-wide throat at alley.	No changes. Complies: Driveway is 20' wide between the alley and the garages and has a 20'-wide throat at alley.	No changes. Complies: Driveway is 20' wide between the alley and the garages and has a 20'-wide throat at alley.	No changes. Complies: Driveway is 20' wide between the alley and the garages and has a 20'-wide throat at alley.

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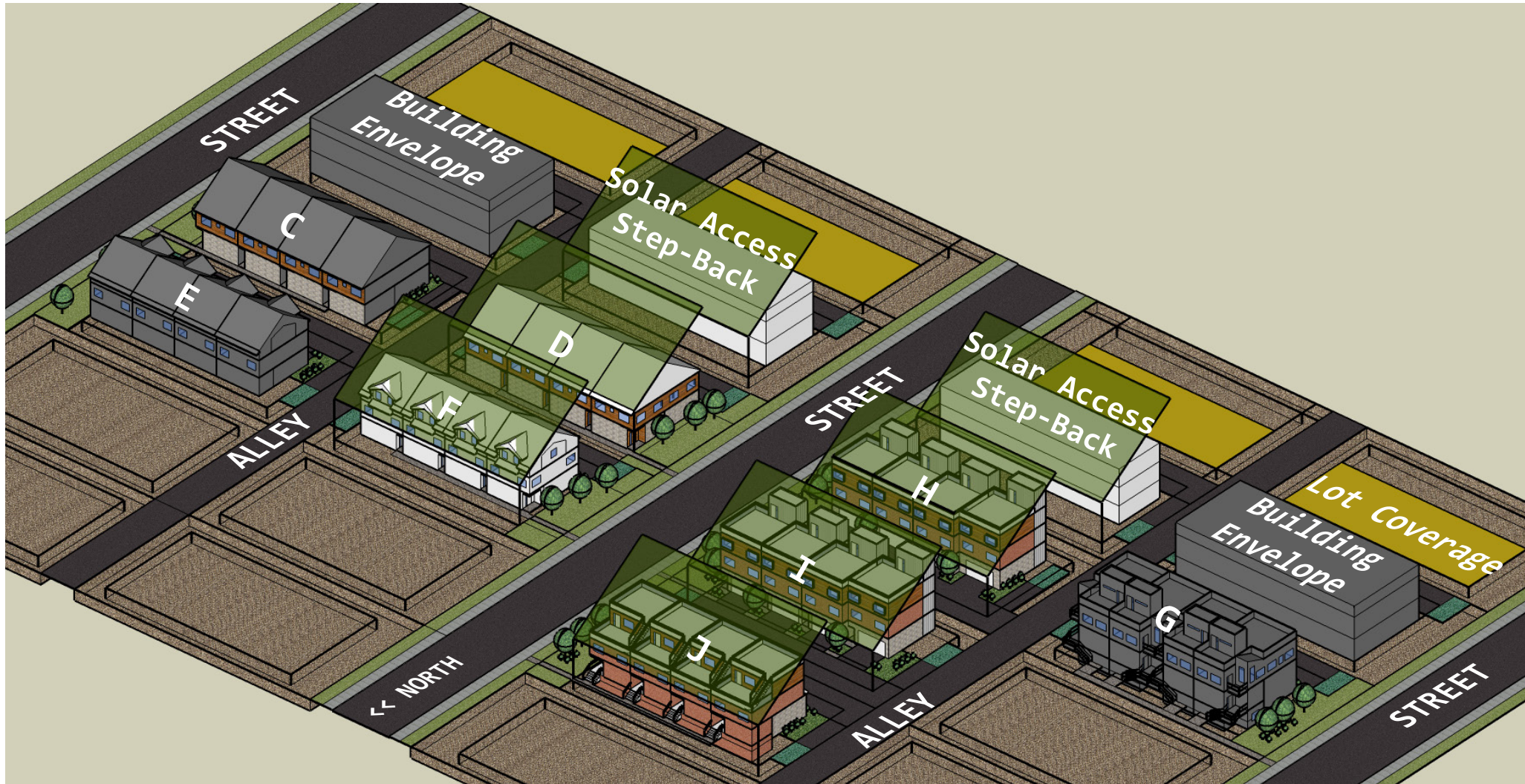
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2		Existing Code	Proposed Amended Code	Existing Code	Proposed Amended Code	Existing Code	Proposed Amended Code	Proposed Amended Code	Proposed Amended Code
3	AMC Title 21 Section	Current Code Two-story Gable Roof Scenario	R-2 Zones Amendment Two-story Gable Roof Scenario	Current Code 2.5-story Gable Roof Scenario	R-2 Zones Amendment 2.5-story Gable Roof Scenario	Current Code Two-story with Daylight Basement Scenario	R-2 Zones Amendment (1) Three-story Flat-roof Scenario with entries opposite from garages	R-2 Zones Amendment (2) Three-story Flat-roof Scenario with entries on same side as garages	R-2 Zones Amendment (3) Three-story with Daylight Basement Scenario
86	21.07.110C: Driveway as a Percent of Lot Frontage	Subsection c. Total width of driveway entrances to a residential lot shall not exceed 40% of the frontage, although a driveway for multifamily dwellings may always be at least 14' wide. Complies: Driveway comprises none of the lot frontage width as it does not access the street.	No changes to code. Complies: Driveway comprises none of the lot frontage width as it does not access the street.	Subsection c. Total width of driveway entrances to a residential lot shall not exceed 40% of the frontage, although a driveway for multifamily dwellings may always be at least 14' wide. Complies: Driveway comprises none of the lot frontage width as it does not access the street.	No changes to code. Complies: Driveway comprises none of the lot frontage width as it does not access the street.	Subsection c. Total width of driveway entrances to a residential lot shall not exceed 40% of the frontage, although a driveway for multifamily dwellings may always be at least 14' wide. Complies: Driveway comprises none of the lot frontage width as it does not access the street.	No changes to code. Complies: Driveway comprises none of the lot frontage width as it does not access the street.	No changes to code. Complies: Driveway comprises none of the lot frontage width as it does not access the street.	No changes to code. Complies: Driveway comprises none of the lot frontage width as it does not access the street.
87	21.07.110F.4: Alleys	Access to parking for residential uses shall be from the alley when the site abuts an alley, unless the alley is not improved or alley access is deemed infeasible, a traffic impact, or a hazard. Complies: Access is from the alley.	No changes. Complies: Access is from the alley.	Access to parking for residential uses shall be from the alley when the site abuts an alley, unless the alley is not improved or alley access is deemed infeasible, a traffic impact, or a hazard. Complies: Access is from the alley.	No changes. Complies: Access is from the alley.	Access to parking for residential uses shall be from the alley when the site abuts an alley, unless the alley is not improved or alley access is deemed infeasible, a traffic impact, or a hazard. Complies: Access is from the alley.	No changes. Complies: Access is from the alley.	No changes. Complies: Access is from the alley.	No changes. Complies: Access is from the alley.
88	AMCR 21.20.001: Schedule of Fees- Land Use Permits	Subsection B. Requires a fee based on total valuation be paid to receive a Land Use Permit, for grading and excavation and fill, for inspection, and for assignment of a street address. Complies: Assumes payment. Assumes no administrative site plan is needed.	No changes in fees or fee amounts. Complies: Assumes payment. Assumes no administrative site plan is needed.	Subsection B. Requires a fee based on total valuation be paid to receive a Land Use Permit, for grading and excavation and fill, and for inspection. Complies: Assumes payment. Assumes no administrative site plan is needed.	No changes in fees or fee amounts. Complies: Assumes payment. Assumes no administrative site plan is needed.	Subsection B. Requires a fee based on total valuation be paid to receive a Land Use Permit, for grading and excavation and fill, and for inspection. Complies: Assumes payment. Assumes no administrative site plan is needed.	No changes in fees or fee amounts. Complies: Assumes payment. Assumes no administrative site plan is needed.	No changes in fees or fee amounts. Complies: Assumes payment. Assumes no administrative site plan is needed.	No changes in fees or fee amounts. Complies: Assumes payment. Assumes no administrative site plan is needed.
89	AMCR 21.67: Storm Water Plan Review Fees	Requires a fee of \$300.00 for review of land area disturbance of 10,000 square feet or more, and a fee for grading based on cubic yards, as well as for inspection. Complies: Assumed paid.	No changes. Complies: Assumed paid.	Subsection A. Requires a fee of \$300.00 for review of land area disturbance of 10,000 square feet or more, and a fee for grading based on cubic yards. Complies: Paid.	No changes. Complies: Paid.	Subsection A. Requires a fee of \$300.00 for review of land area disturbance of 10,000 square feet or more, and a fee for grading based on cubic yards. Complies: Paid.	No changes. Complies: Paid.	No changes. Complies: Paid.	No changes. Complies: Paid.
90	AMCR 21.87: Street Numbering	Subsection 21.81.005. Dwelling units may be assigned individual addresses. Complies: Units assumed to have individual address numbers, numbered off of the abutting street.	No changes. Complies: Units assumed to have individual address numbers, numbered off of the abutting street.	Subsection 21.81.005. Dwelling units may be assigned individual addresses. Complies: Units assumed to have individual address numbers, numbered off of the abutting street.	No changes. Complies: Units assumed to have individual address numbers, numbered off of the abutting street.	Subsection 21.81.005. Dwelling units may be assigned individual addresses. Complies: Units assumed to have individual address numbers, numbered off of the abutting street.	No changes. Complies: Units assumed to have individual address numbers, numbered off of the abutting street.	No changes. Complies: Units assumed to have individual address numbers, numbered off of the abutting street.	No changes. Complies: Units assumed to have individual address numbers, numbered off of the abutting street.
91	AMCR 21.90: Multiple Dwelling Units on a Single Lot- Private Street	Vehicle access to a development with four units or more would be required to be designed as a private road and meet the street engineering criteria, except through a waiver. Complies: The TE would be likely to determine the access to be a driveway, in part because the access is from an alley and dead-ends. Therefore the private street criteria do not apply.	No changes. Complies: The TE would be likely to determine the access to be a driveway, in part because the access is from an alley and dead-ends. Therefore the private street criteria do not apply.	Vehicle access to a development with four units or more would be required to be designed as a private road and meet the street engineering criteria, except through a waiver. Complies: The TE would be likely to determine the access to be a driveway, in part because the access is from an alley and dead-ends. Therefore the private street criteria do not apply.	No changes. Complies: The TE would be likely to determine the access to be a driveway, in part because the access is from an alley and dead-ends. Therefore the private street criteria do not apply.	Vehicle access to a development with four units or more would be required to be designed as a private road and meet the street engineering criteria, except through a waiver. Complies: The TE would be likely to determine the access to be a driveway, in part because the access is from an alley and dead-ends. Therefore the private street criteria do not apply.	No changes. Complies: The TE would be likely to determine the access to be a driveway, in part because the access is from an alley and dead-ends. Therefore the private street criteria do not apply.	No changes. Complies: The TE would be likely to determine the access to be a driveway, in part because the access is from an alley and dead-ends. Therefore the private street criteria do not apply.	No changes. Complies: The TE would be likely to determine the access to be a driveway, in part because the access is from an alley and dead-ends. Therefore the private street criteria do not apply.
92	AMCR 21.90: Multiple Dwelling Units on a Single Lot- Emergency Access	Fire apparatus road access design criteria would need to be met if the development characteristics surpass certain thresholds. Complies: This development would not be required to provide fire apparatus access or turnarounds. The entire building perimeter is within 150' of the public street edge.	No changes. Complies: This development would not be required to provide fire apparatus access or turnarounds. The entire building perimeter is within 150' of the public street edge.	Fire apparatus road access design criteria would need to be met if the development characteristics surpass certain thresholds. Complies: This development would not be required to provide fire apparatus access or turnarounds. The entire building perimeter is within 150' of the public street edge.	No changes. Complies: This development would not be required to provide fire apparatus access or turnarounds. The entire building perimeter is within 150' of the public street edge.	Fire apparatus road access design criteria would need to be met if the development characteristics surpass certain thresholds. Complies: This development would not be required to provide fire apparatus access or turnarounds. The entire building perimeter is within 150' of the public street edge.	No changes. Complies: This development would not be required to provide fire apparatus access or turnarounds. The entire building perimeter is within 150' of the public street edge.	No changes. Complies: This development would not be required to provide fire apparatus access or turnarounds. The entire building perimeter is within 150' of the public street edge.	No changes. Complies: This development would not be required to provide fire apparatus access or turnarounds. The entire building perimeter is within 150' of the public street edge.

R-2 Amendment Site Test- Four-Unit Multifamily Townhouse-Style
Building on Small Urban Infill Site

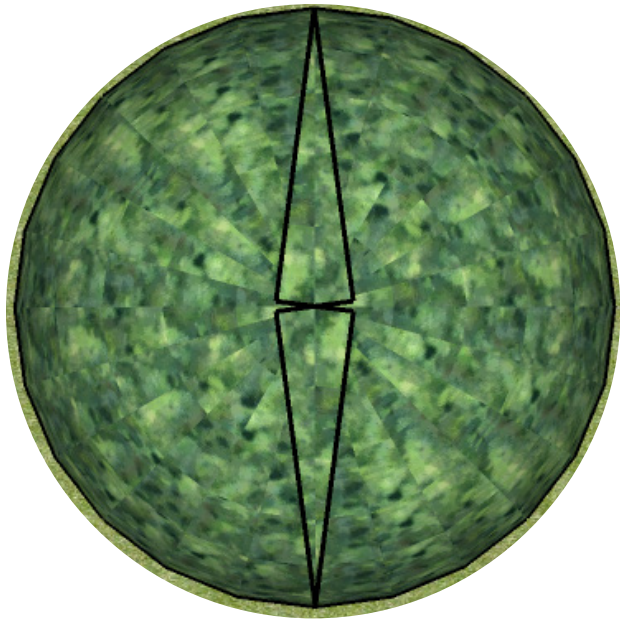
	A	C	D	E	F	G	H	I	J
1		Code Comparison 1: Two-story Gable Roof Scenario		Code Comparison 2: Two-and-one-half Story Gable Roof Scenario		Code Comparison 3: Flat Roof Scenarios			
2		Existing Code	Proposed Amended Code	Existing Code	Proposed Amended Code	Existing Code	Proposed Amended Code	Proposed Amended Code	Proposed Amended Code
3	AMC Title 21 Section	Current Code Two-story Gable Roof Scenario	R-2 Zones Amendment Two-story Gable Roof Scenario	Current Code 2.5-story Gable Roof Scenario	R-2 Zones Amendment 2.5-story Gable Roof Scenario	Current Code Two-story with Daylight Basement Scenario	R-2 Zones Amendment (1) Three-story Flat-roof Scenario with entries opposite from garages	R-2 Zones Amendment (2) Three-story Flat-roof Scenario with entries on same side as garages	R-2 Zones Amendment (3) Three-story with Daylight Basement Scenario
93	AMCR 21.90: Multiple Dwelling Units on a Single Lot- Parking	<p>Subsection 21.90.003.F.4: There is a pending amendment to delete the over-flow parking requirement from 21.90, as that is redundant to the guest space requirement of 21.07.090E., except that the following item would be added to Chapter 21.07. Subsection F.4.a.: A provision to 21.07.110F.2. to address the location of guest parking areas to minimize maneuvering in private streets and circulation aisles, and to clarify the guest spaces need to be shared locations not a part of individual units' driveways.</p> <p>Complies: Assumes that guest space backing in-out would be allowed in the circulation aisle. Guest space is shared not in individual unit's driveway.</p>	<p>No changes.</p> <p>Complies: Assumes that guest space backing in-out would be allowed in the circulation aisle. Guest space is shared not in individual unit's driveway.</p>	<p>Subsection 21.90.003.F.4: There is a pending amendment to delete the over-flow parking requirement from 21.90, as that is redundant to the guest space requirement of 21.07.090E., except that the following item would be added to Chapter 21.07. Subsection F.4.a.: A provision to 21.07.110F.2. to address the location of guest parking areas to minimize maneuvering in private streets and circulation aisles, and to clarify the guest spaces need to be shared locations not a part of individual units' driveways.</p> <p>Complies: Assumes that guest space circulation will occur in alley. Guest space is shared not in individual unit's driveway.</p>	<p>No changes.</p> <p>Complies: Assumes that guest space circulation will occur in alley. Guest space is shared not in individual unit's driveway.</p>	<p>Subsection 21.90.003.F.4: There is a pending amendment to delete the over-flow parking requirement from 21.90, as that is redundant to the guest space requirement of 21.07.090E., except that the following item would be added to Chapter 21.07. Subsection F.4.a.: A provision to 21.07.110F.2. to address the location of guest parking areas to minimize maneuvering in private streets and circulation aisles, and to clarify the guest spaces need to be shared locations not a part of individual units' driveways.</p> <p>Complies: Assumes that guest space circulation will occur in alley. Guest space is shared not in individual unit's driveway.</p>	<p>No changes.</p> <p>Complies: Assumes that guest space backing in-out would be allowed in the circulation aisle. Guest space is shared not in individual unit's driveway.</p>	<p>No changes.</p> <p>Complies: Assumes that guest space circulation will occur in alley. Guest space is shared not in individual unit's driveway.</p>	<p>No changes.</p> <p>Complies: Assumes that guest space backing in-out would be allowed in the circulation aisle. Guest space is shared not in individual unit's driveway.</p>

R-2 DISTRICTS ORDINANCE MODEL TESTING: ISOMETRIC VIEWS, SITE PLANS, AND ELEVATIONS

CORRESPONDING TO COMPARISON TABLE; EACH PROJECT LETTER REPRESENTS THE COLUMN OF
THE PROJECT IN THE TABLE



Project:	View:
KEY	ISO



Tree



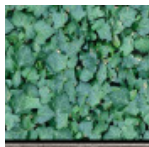
Shrub



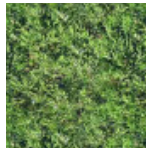
Asphalt Paving



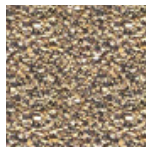
Concrete Paving



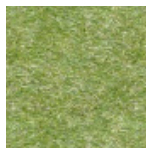
Paved Snow Storage



Required Separation Landscaping



Seeded Grass



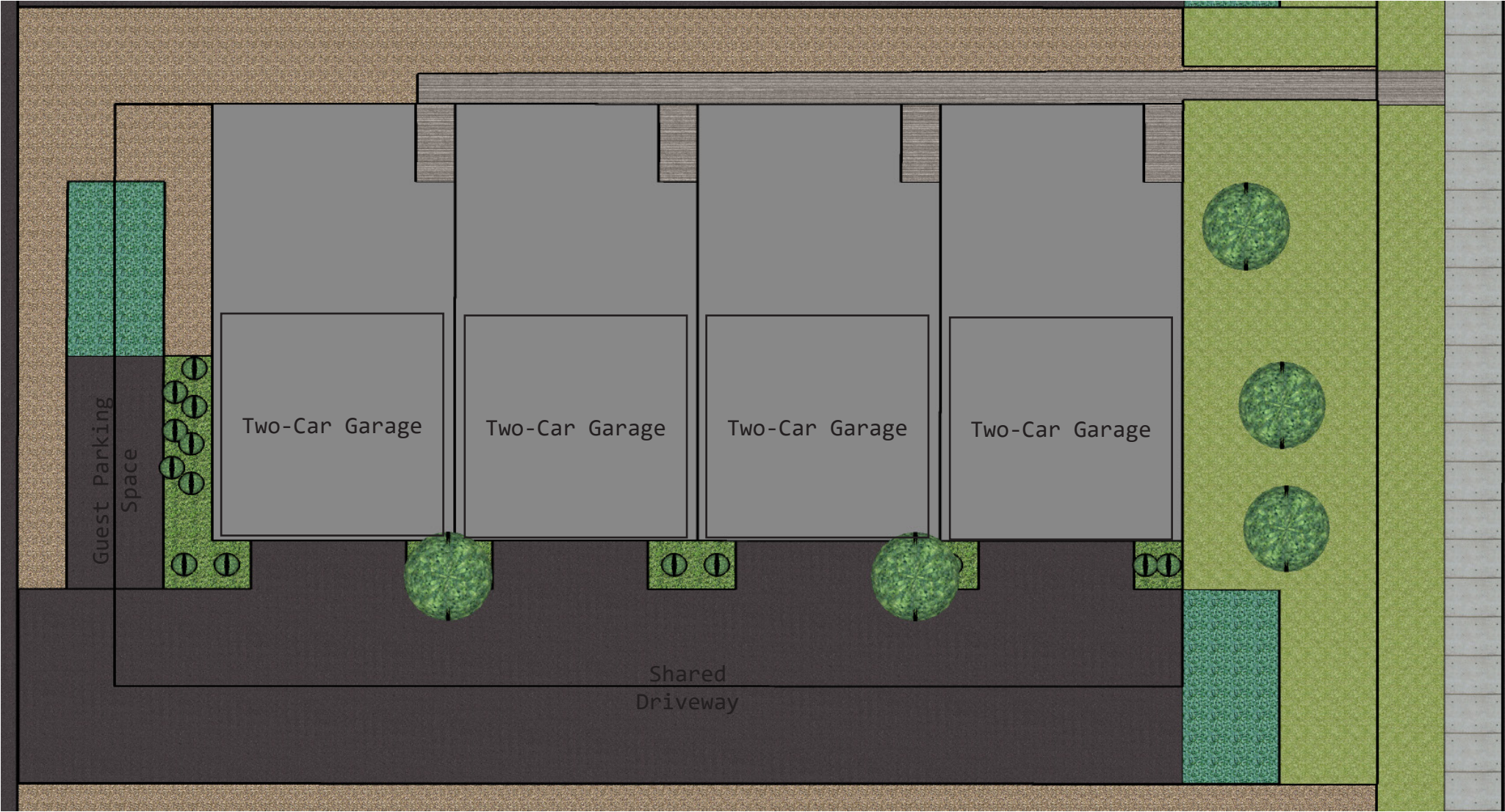
Common Private Open Space

MATERIAL KEY	View: PLAN
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Project:	View:
C	ISO





SCALE:
8'



Project: C	View: SITE PLAN
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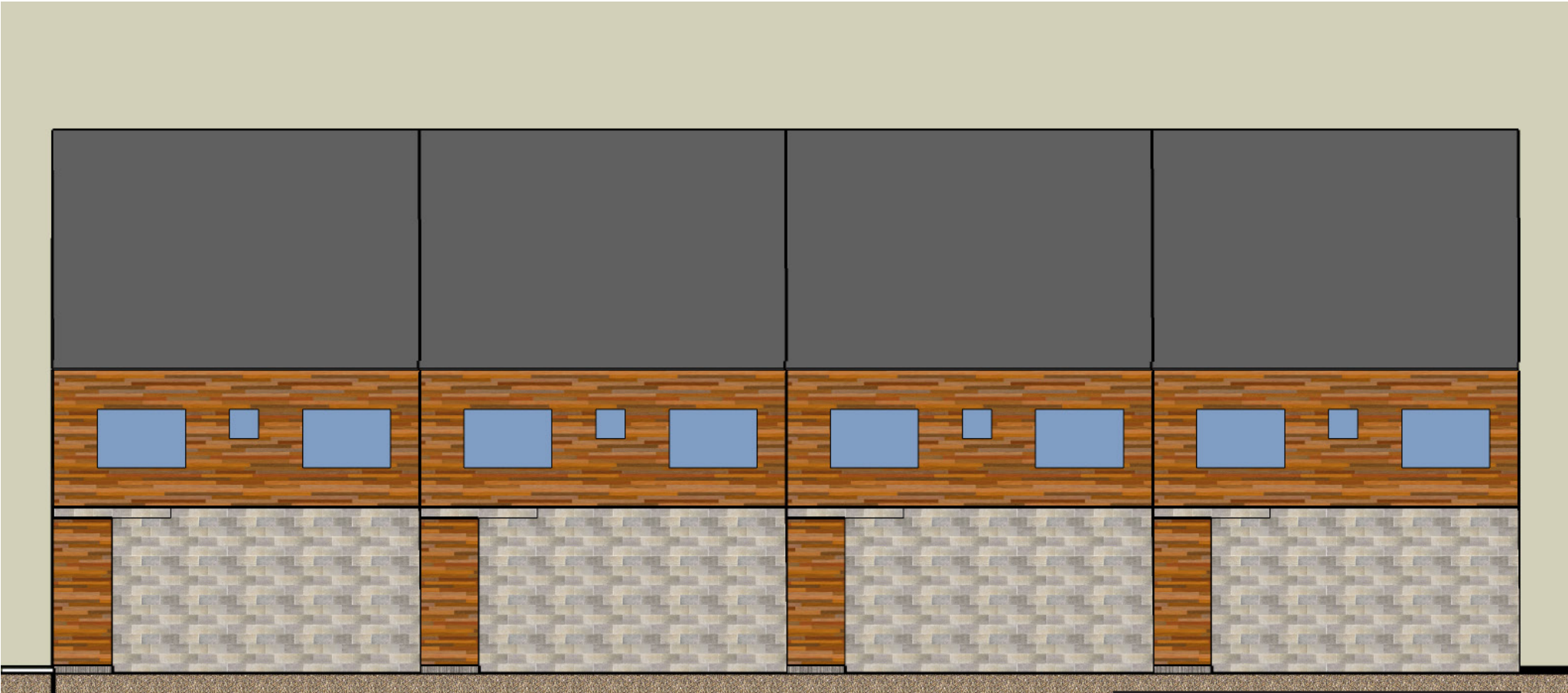
Project:
C

View:
STREET
ELEVATION

SCALE:

8'





SCALE:



8'



4'

4'

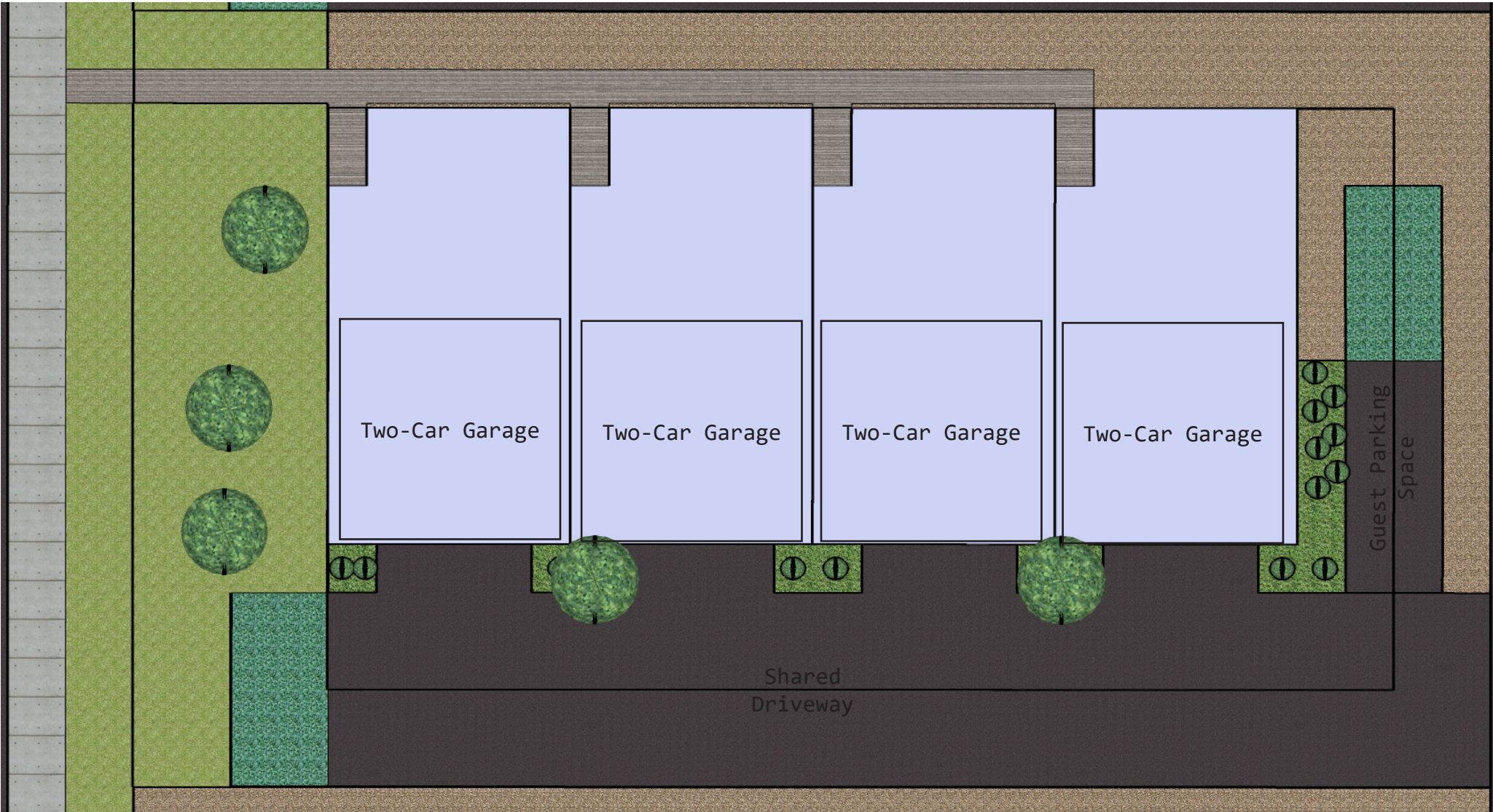
Project:
C

View:
NORTH
ELEVATION



Project:	View:
D	ISO

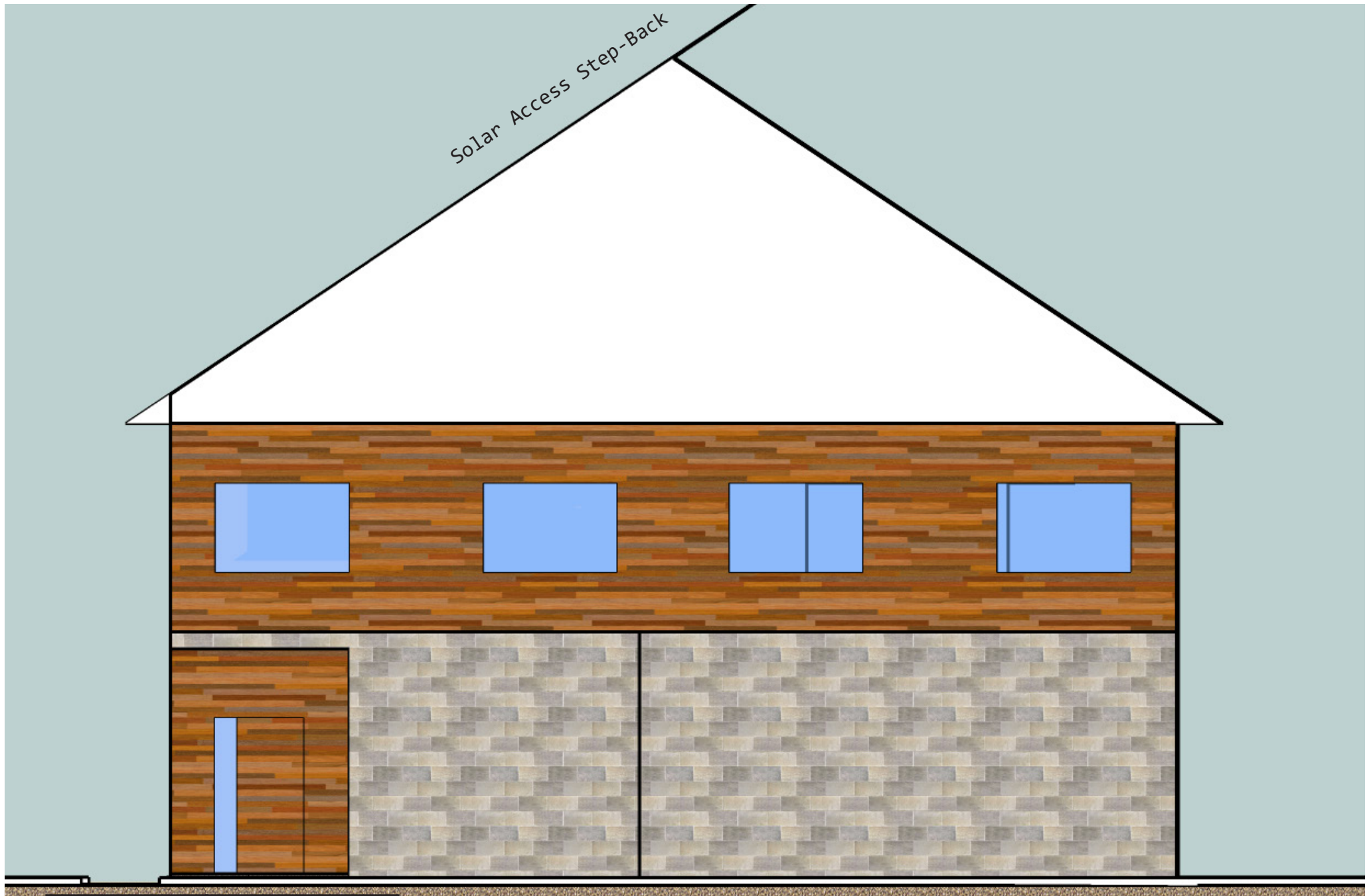




SCALE:
8'



Project: D	View: SITE PLAN
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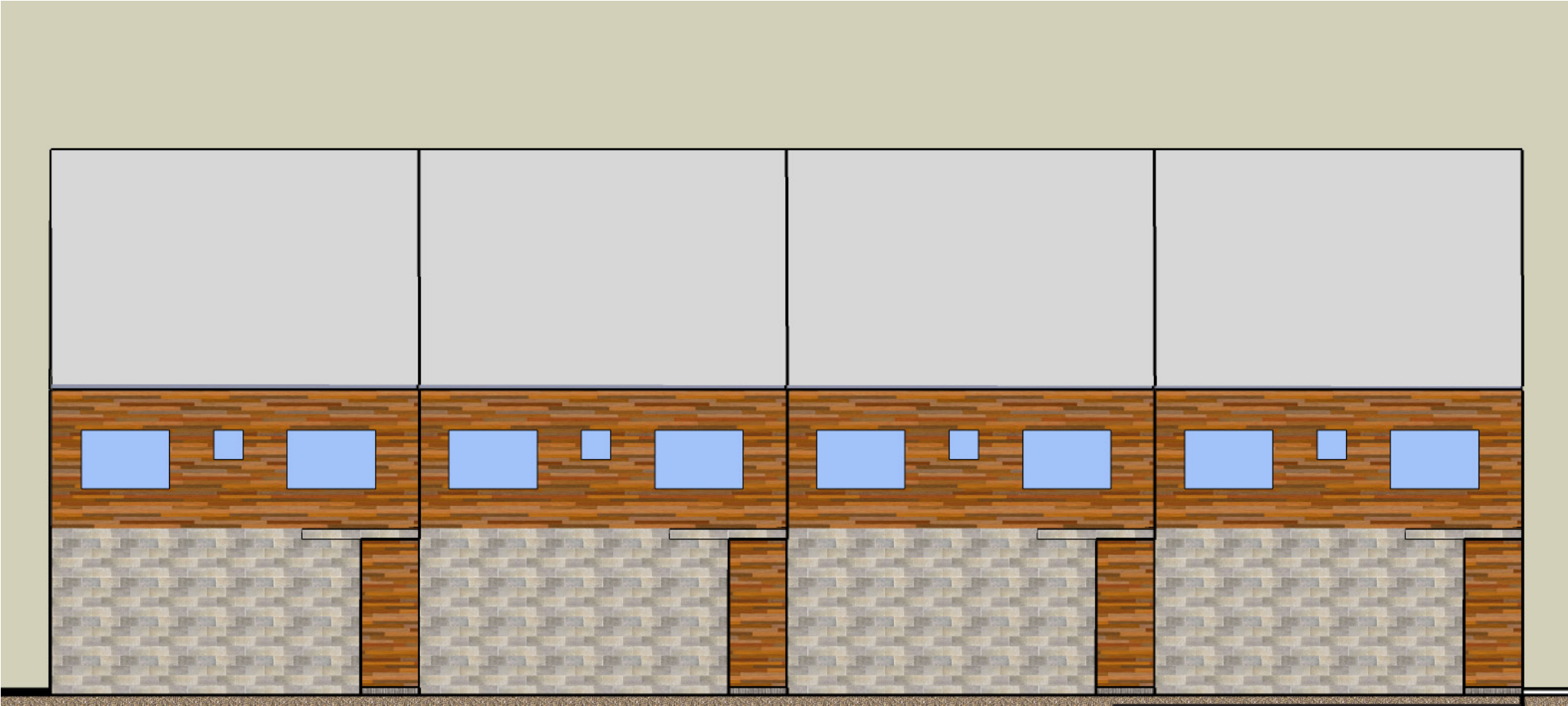
Solar Access Step-Back

Project: View:
D STREET
ELEVATION

SCALE:

8'

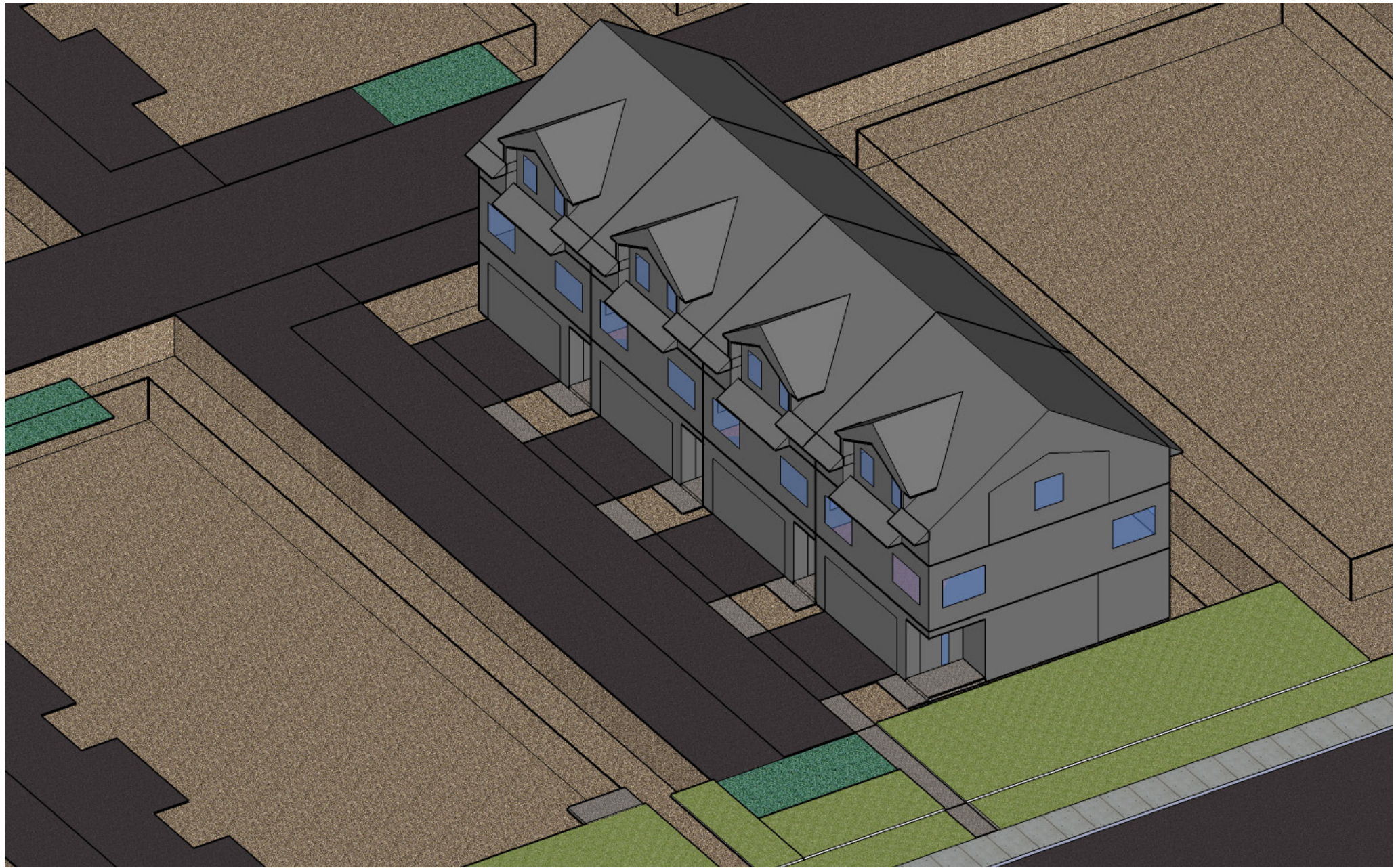




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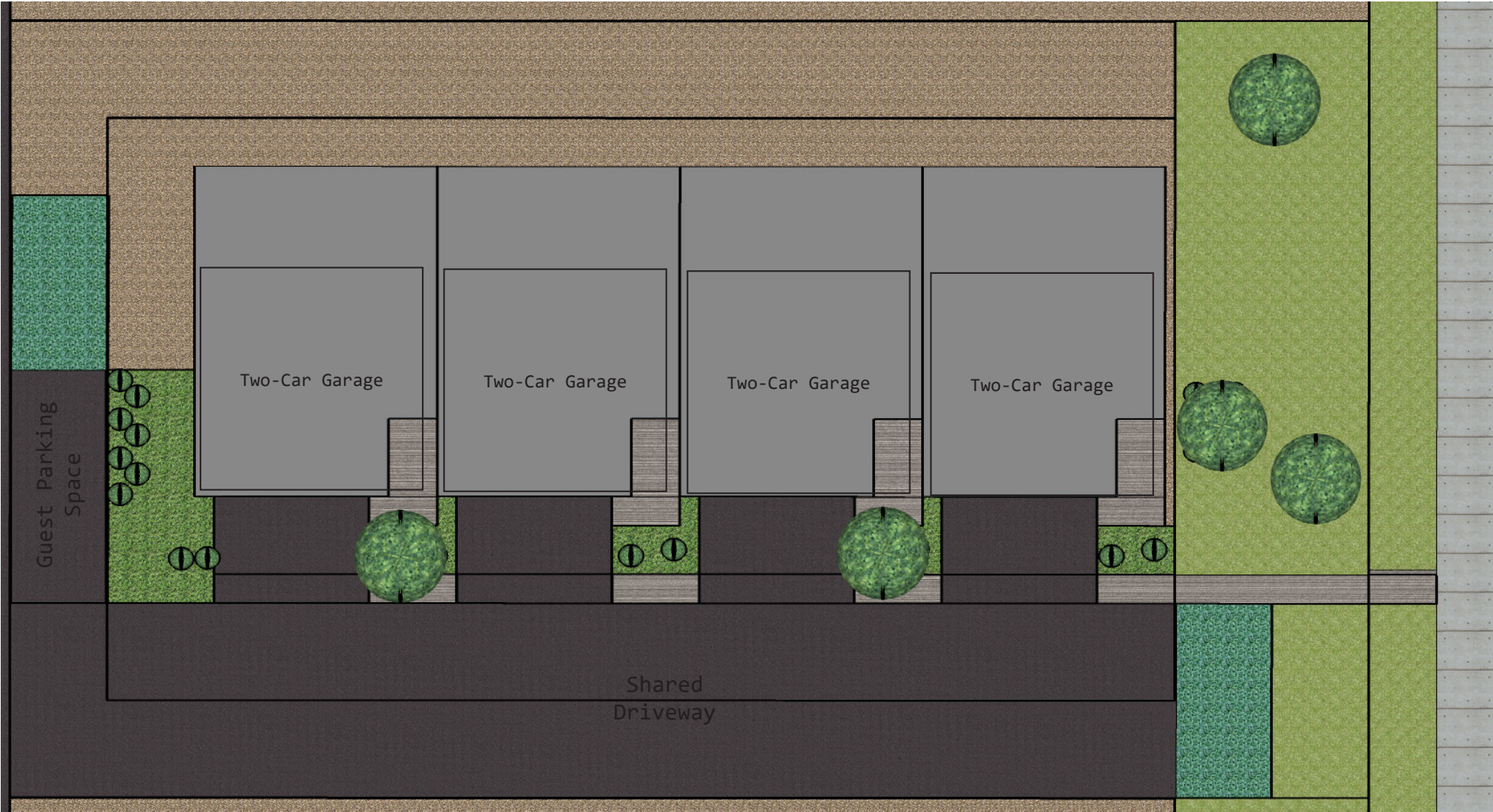


Project: View:
D NORTH
ELEVATION



Project:	View:
E	ISO

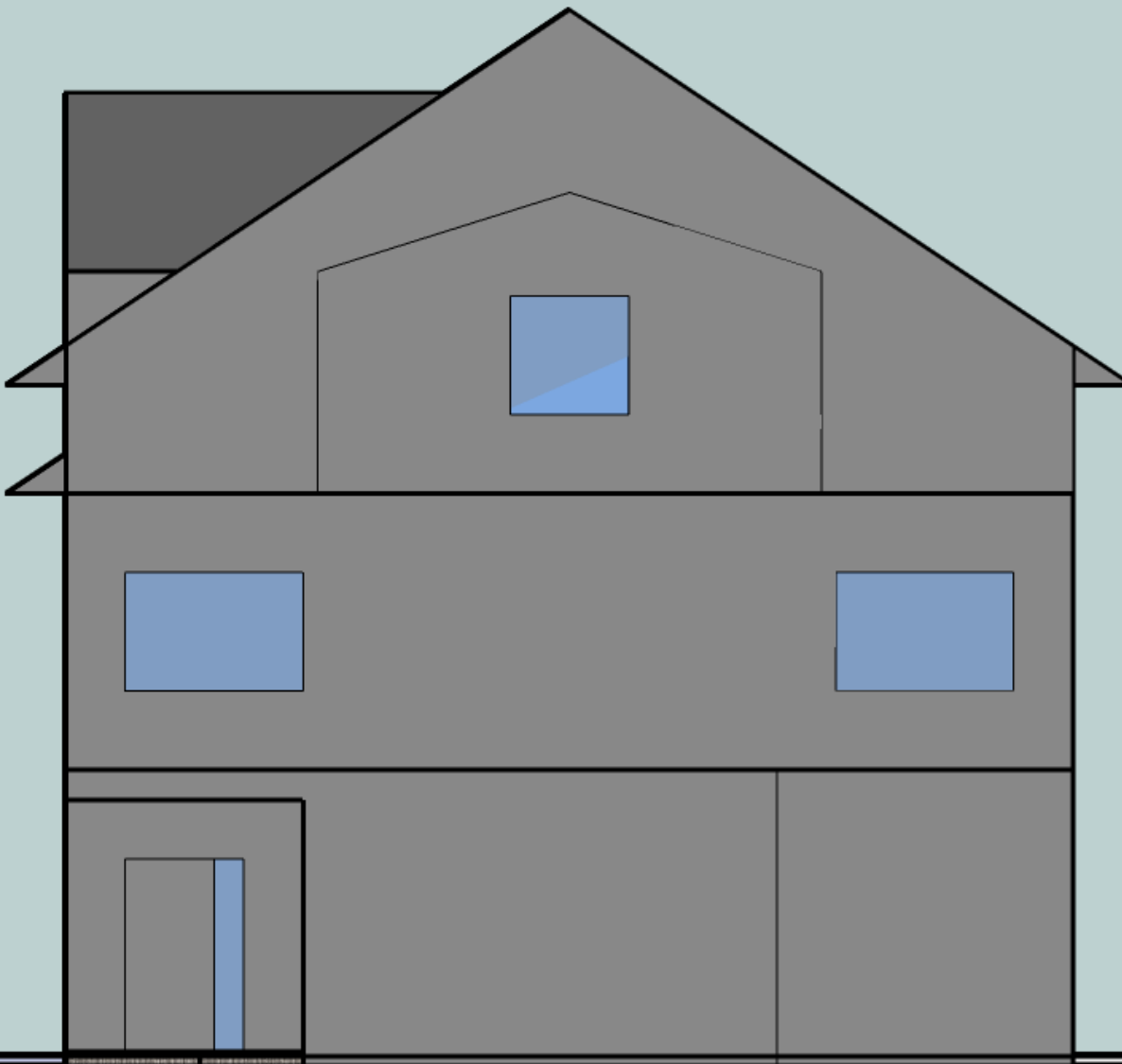




SCALE:
8'



Project: E	View: SITE PLAN
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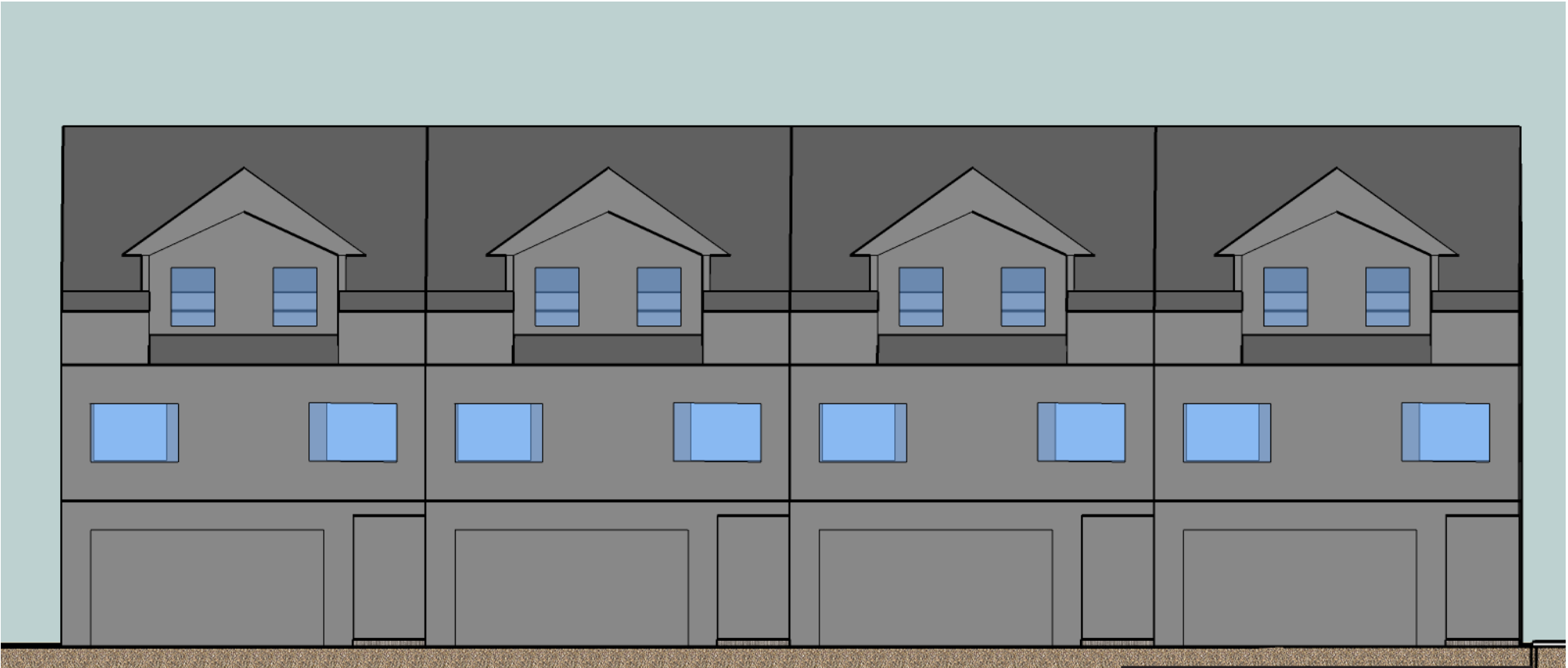
Project:
E

View:
STREET
ELEVATION

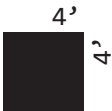
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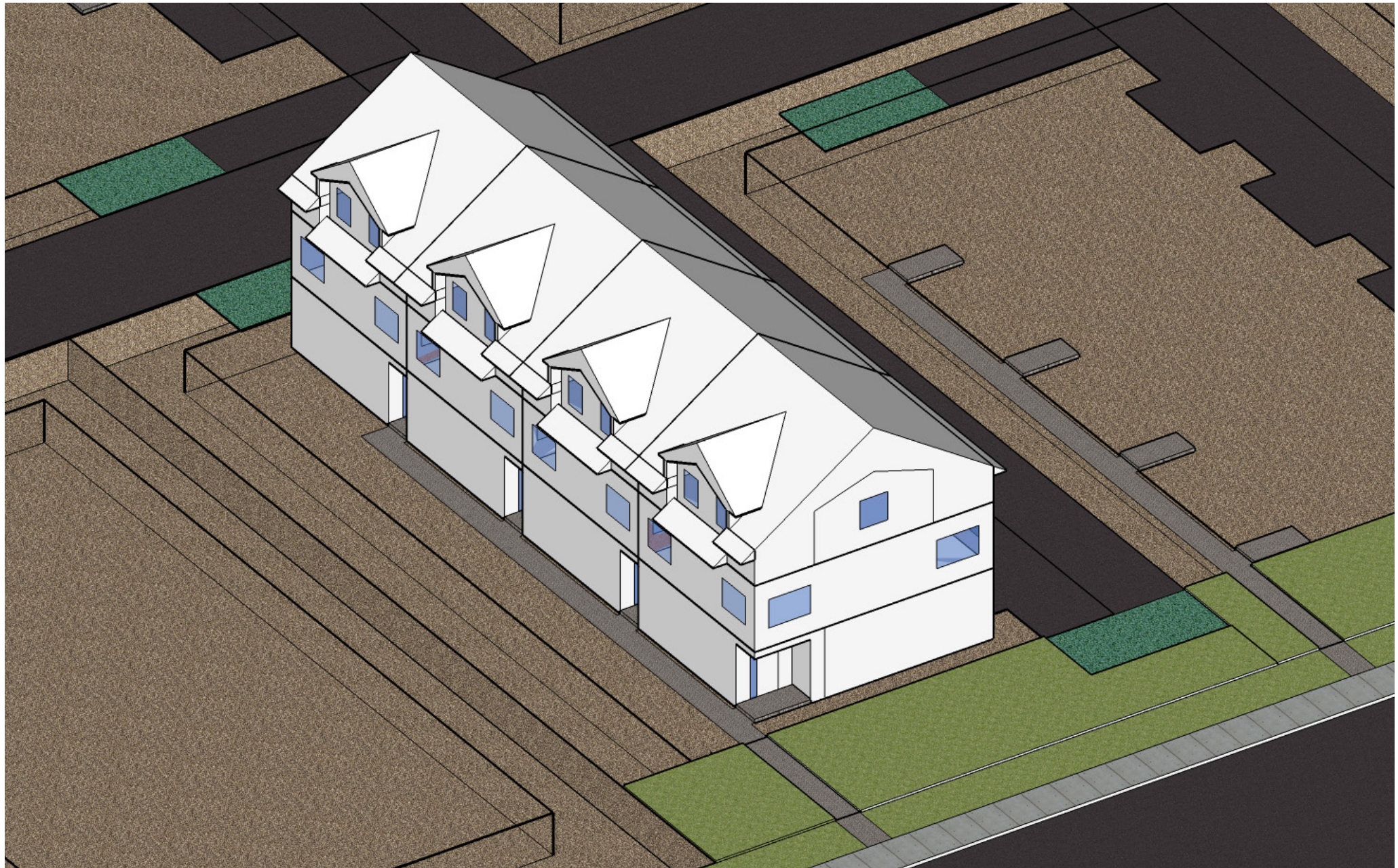




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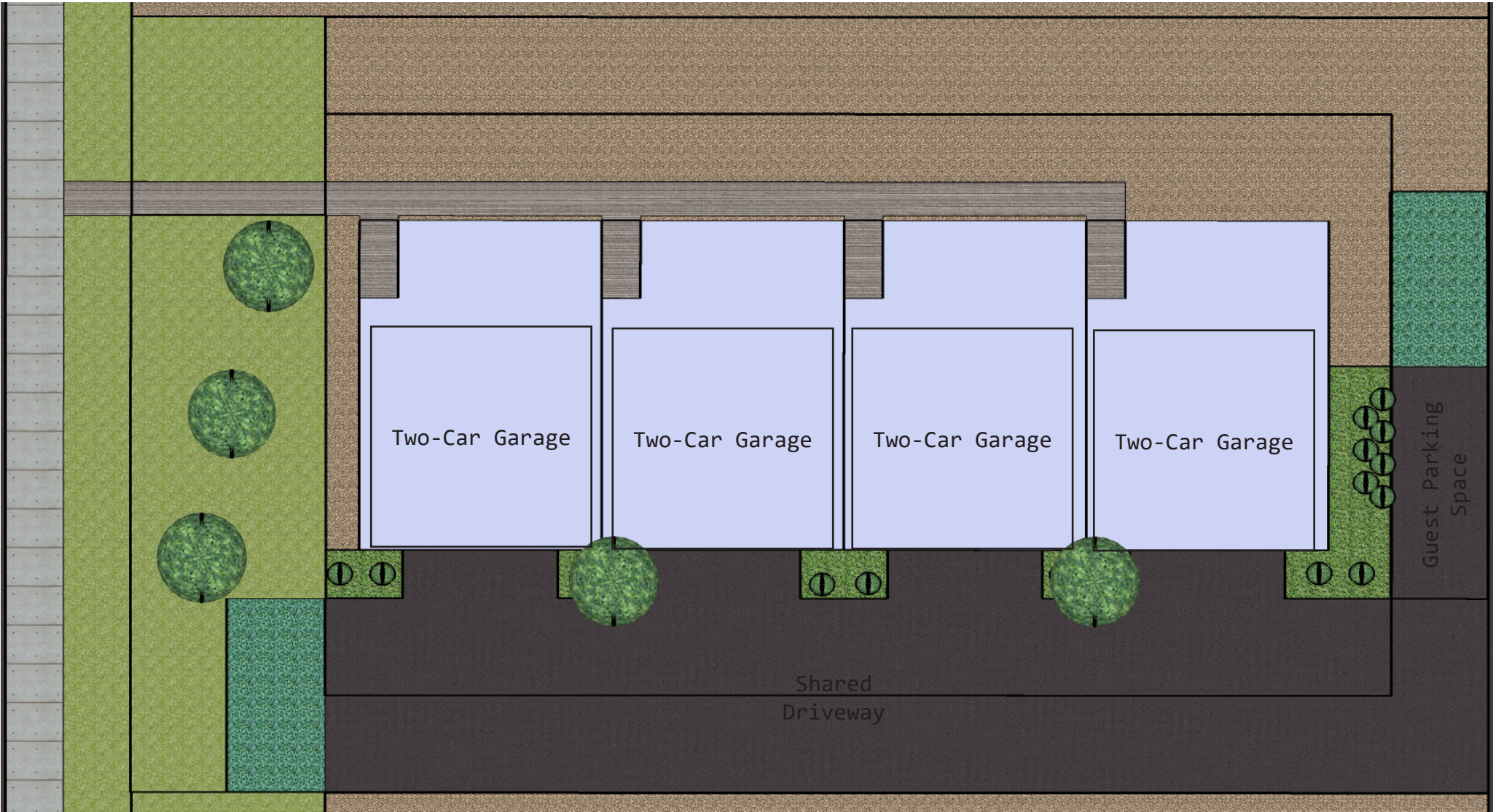


Project: View:
E SOUTH
ELEVATION



Project:	View:
F	ISO



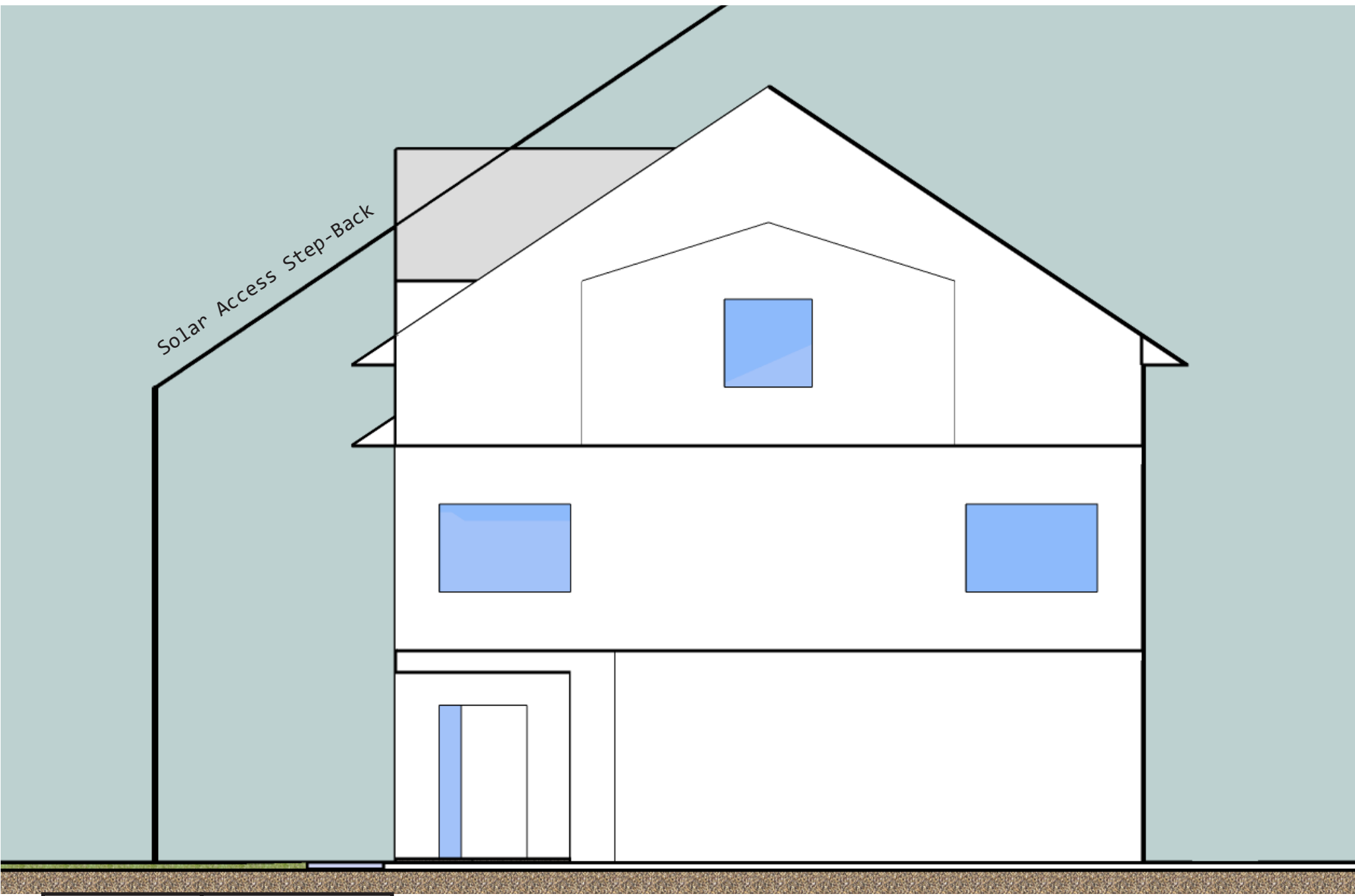


SCALE:
8'



Project: F	View: SITE PLAN
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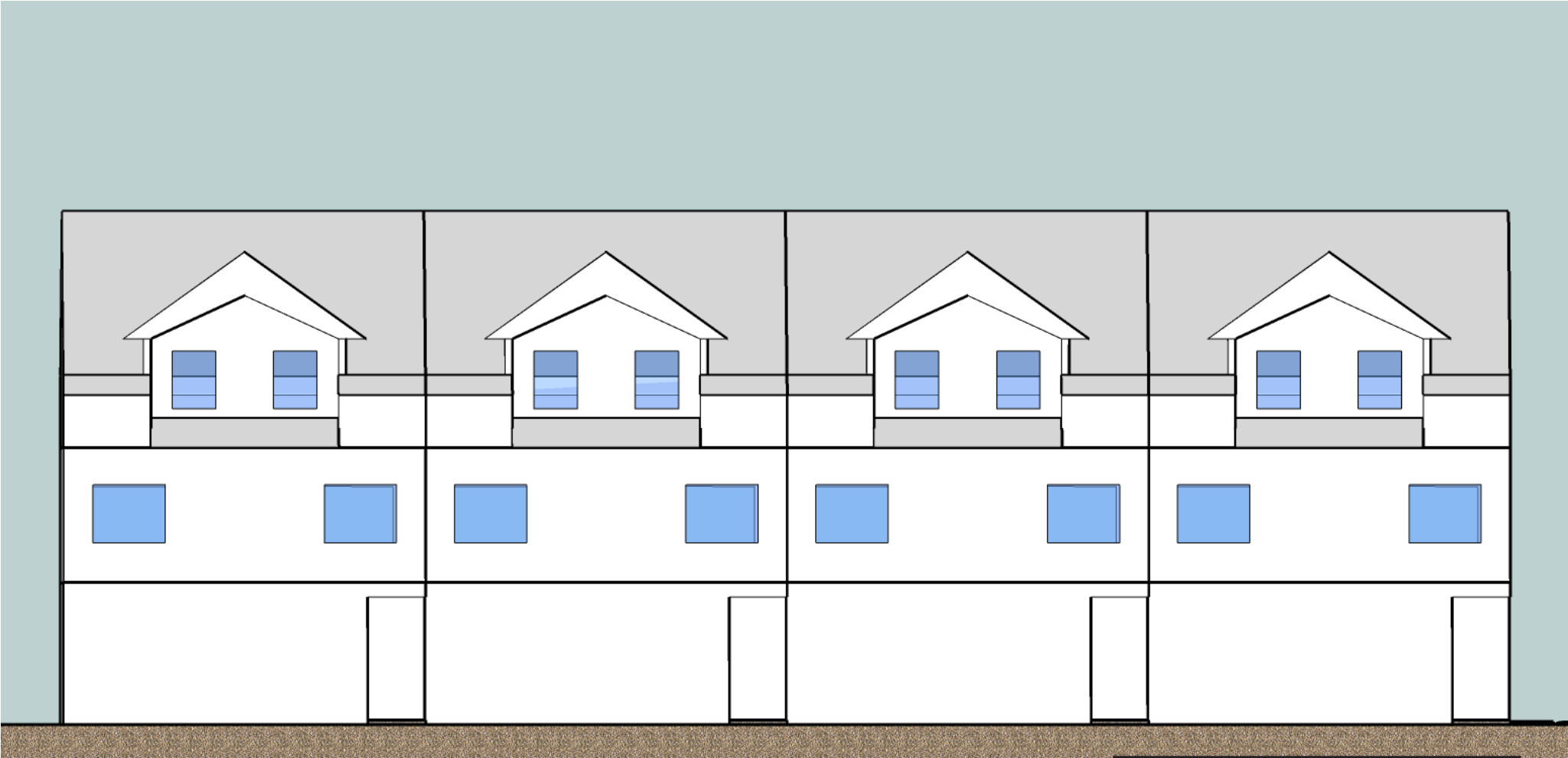
Solar Access Step-Back



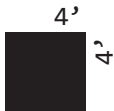
Project: F
View: STREET ELEVATION

SCALE:

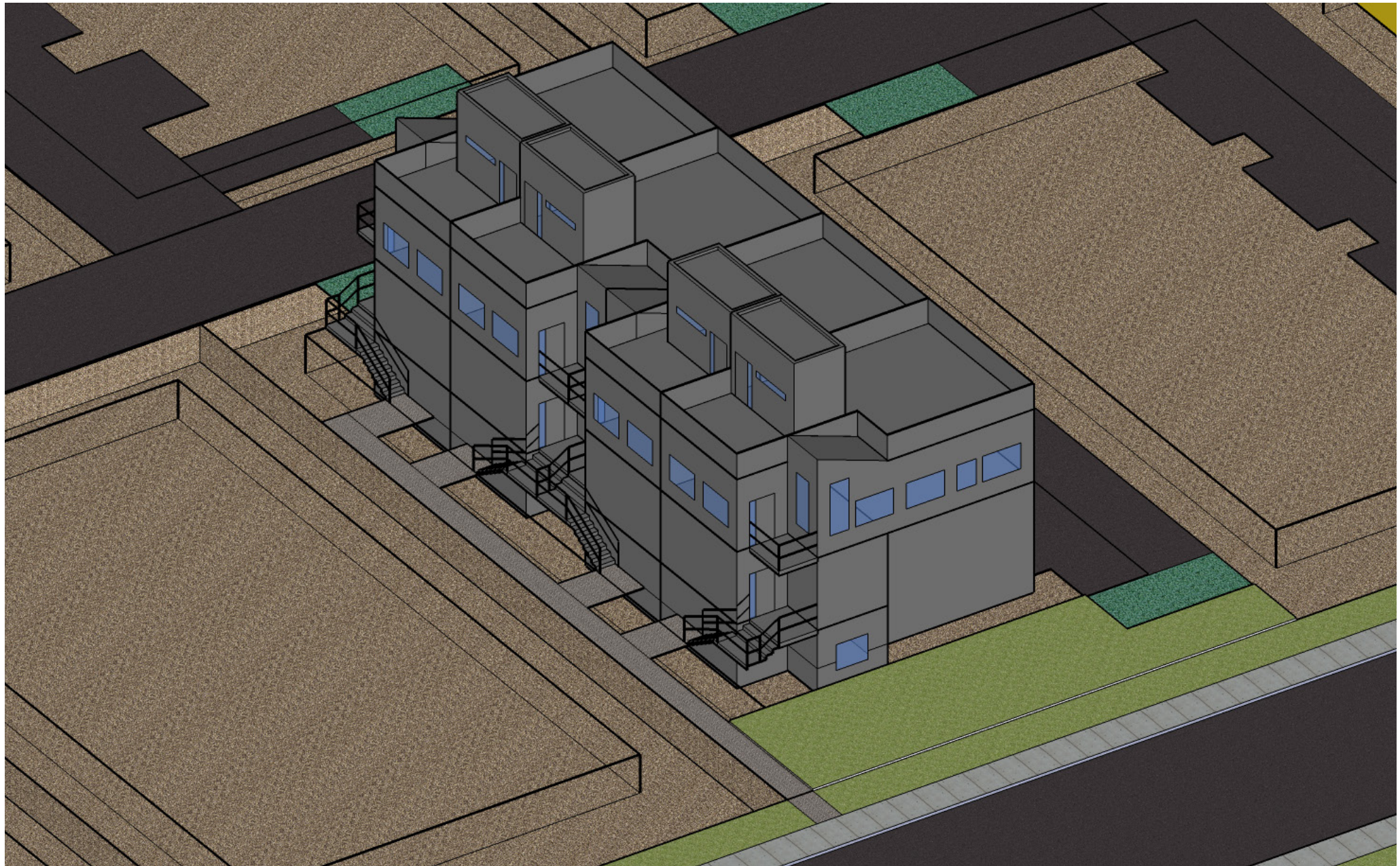




SCALE:
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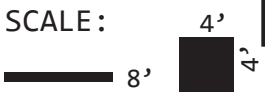
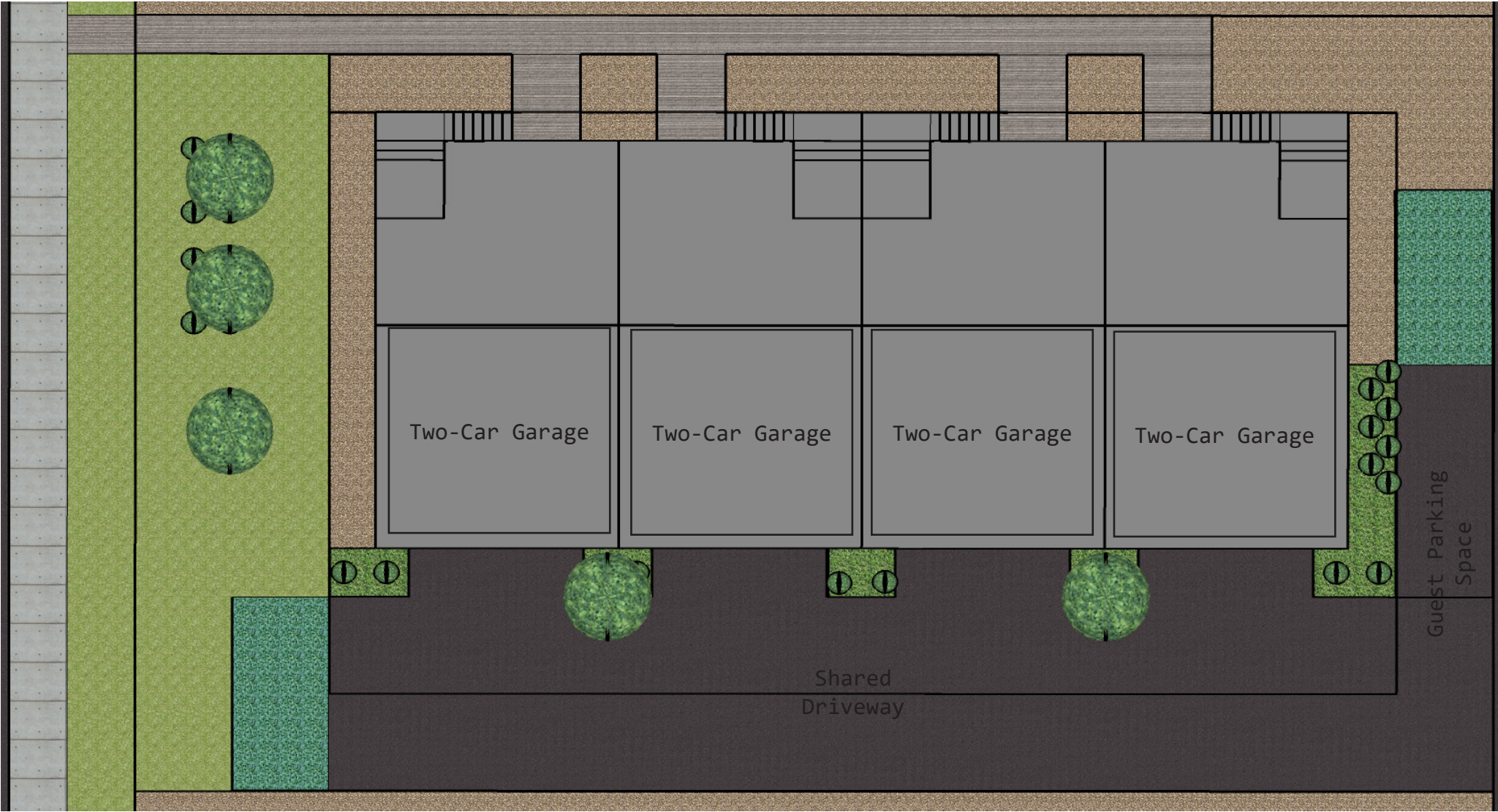


Project:	View:
F	NORTH ELEVATION

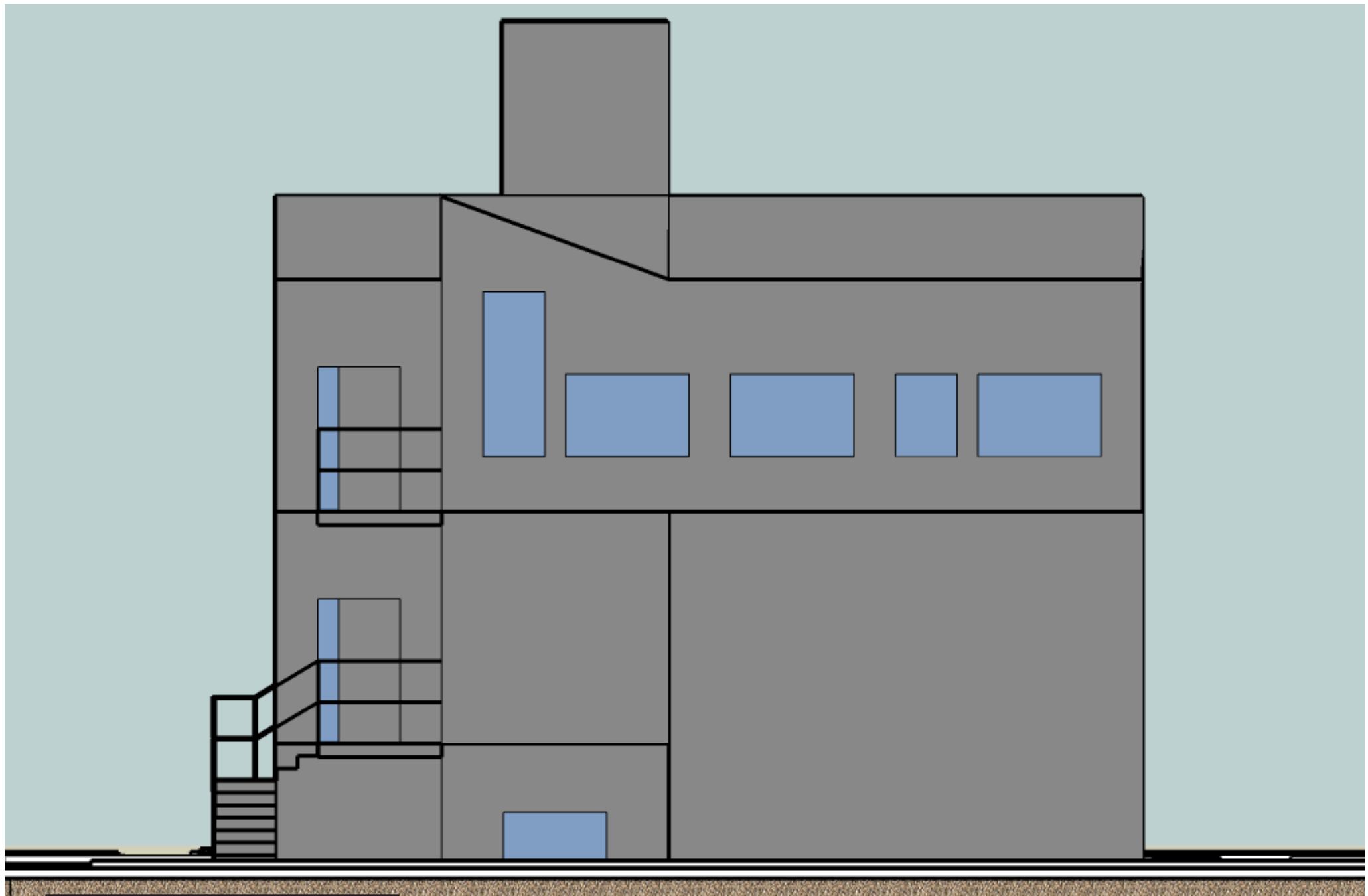


Project:	View:
G	ISO





Project:	View:
G	SITE PLAN

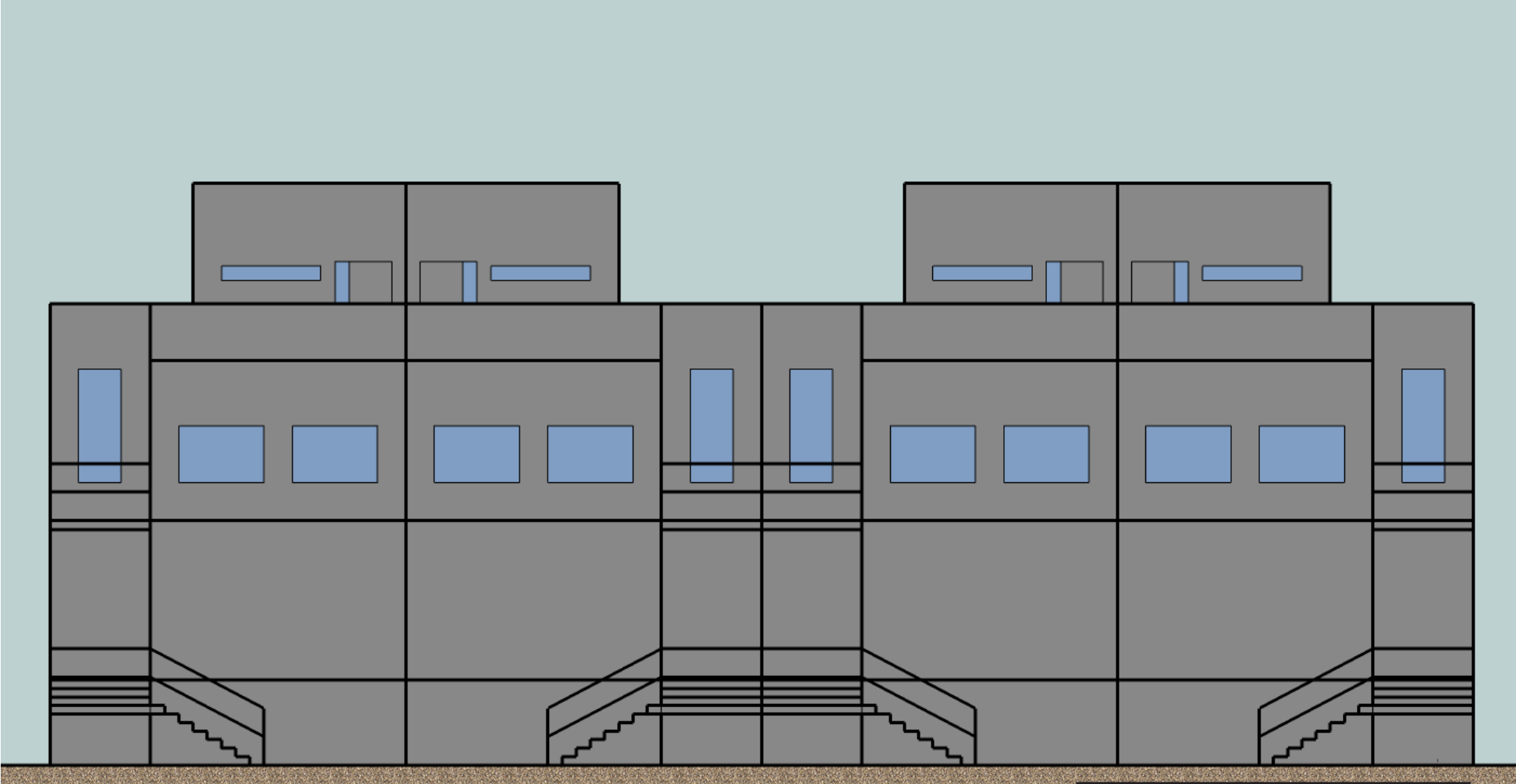


Project: View:
G STREET
ELEVATION

SCALE:

8'

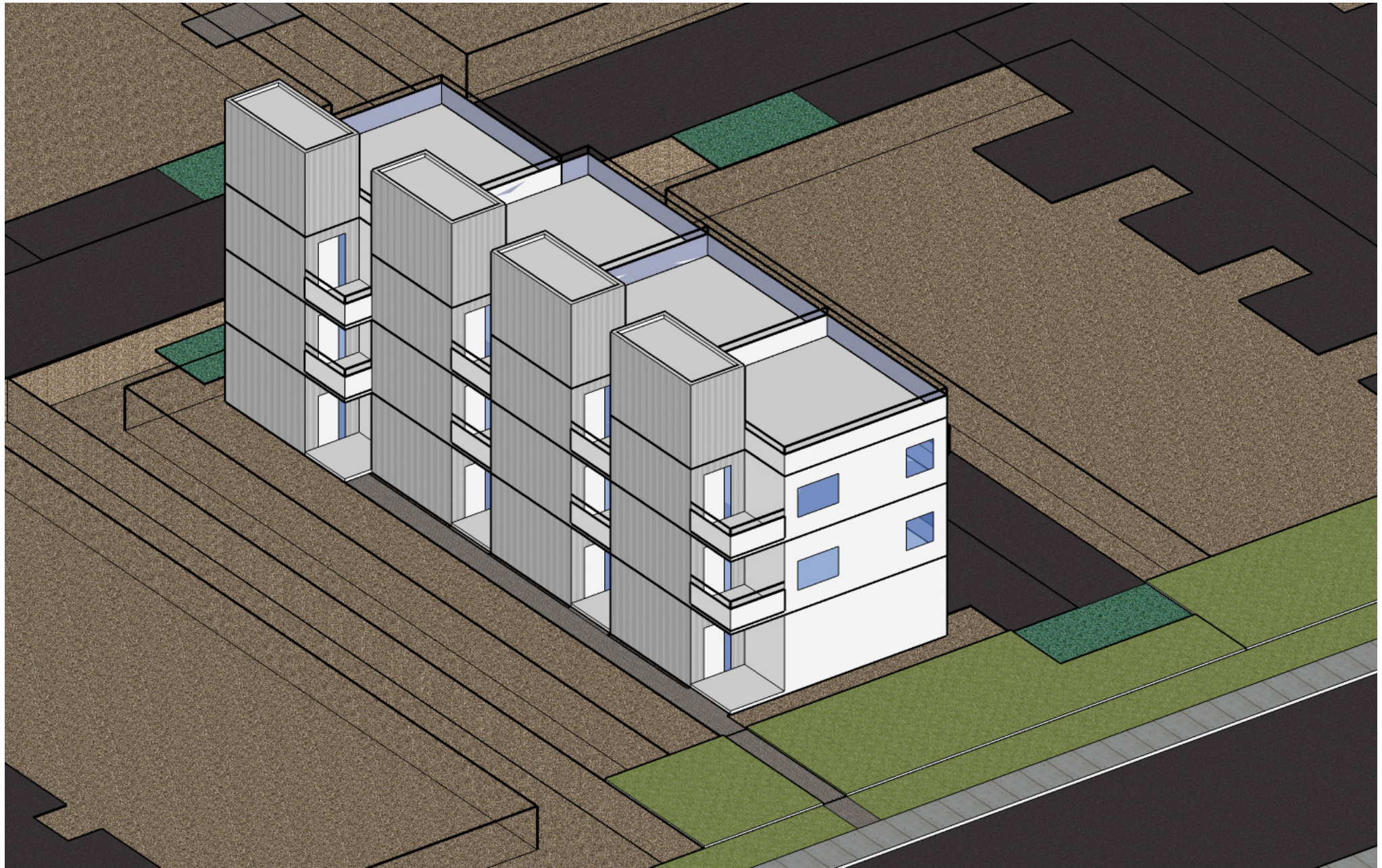




SCALE:
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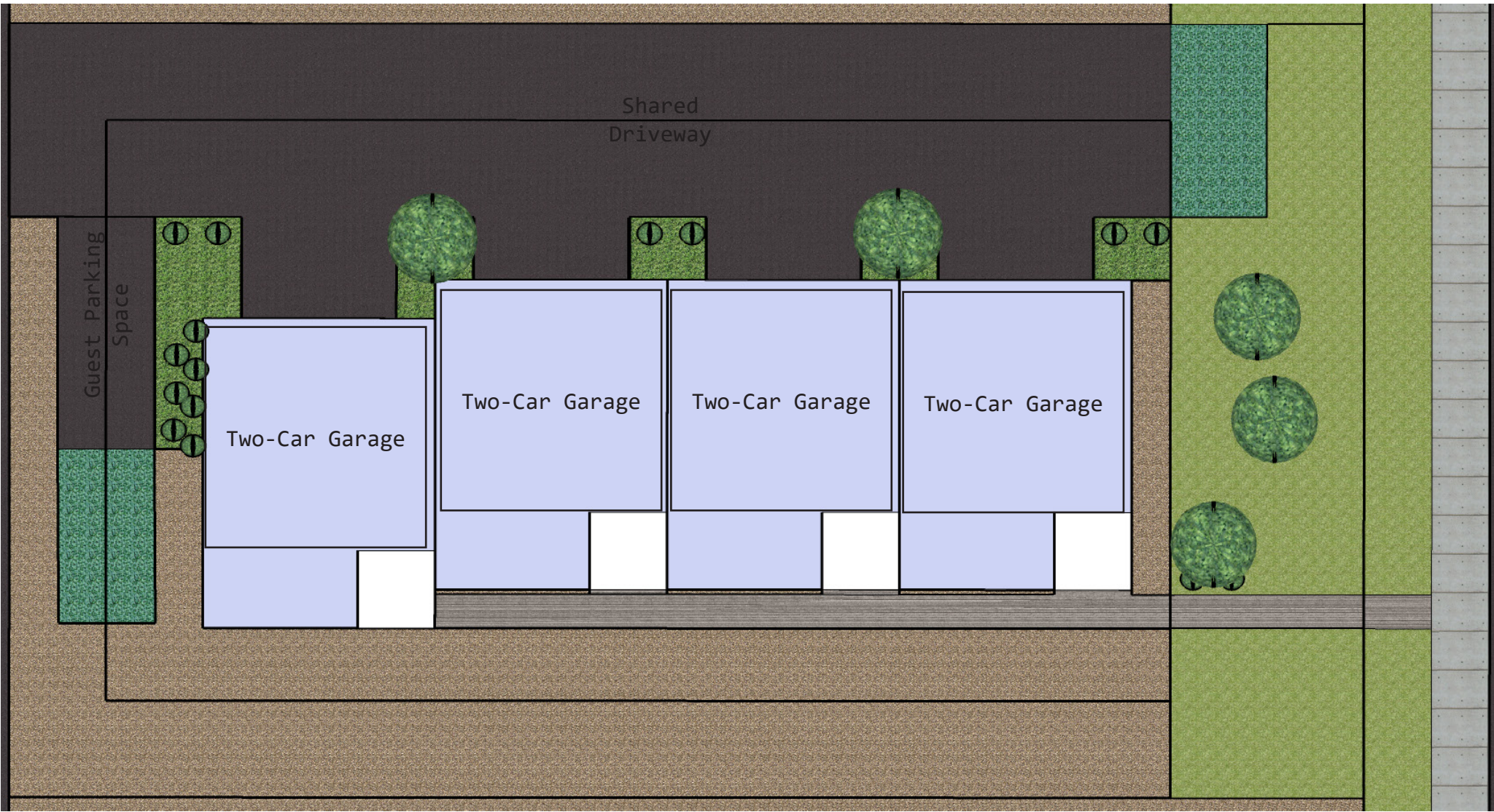


Project: View:
G NORTH
ELEVATION



Project:	View:
H	ISO

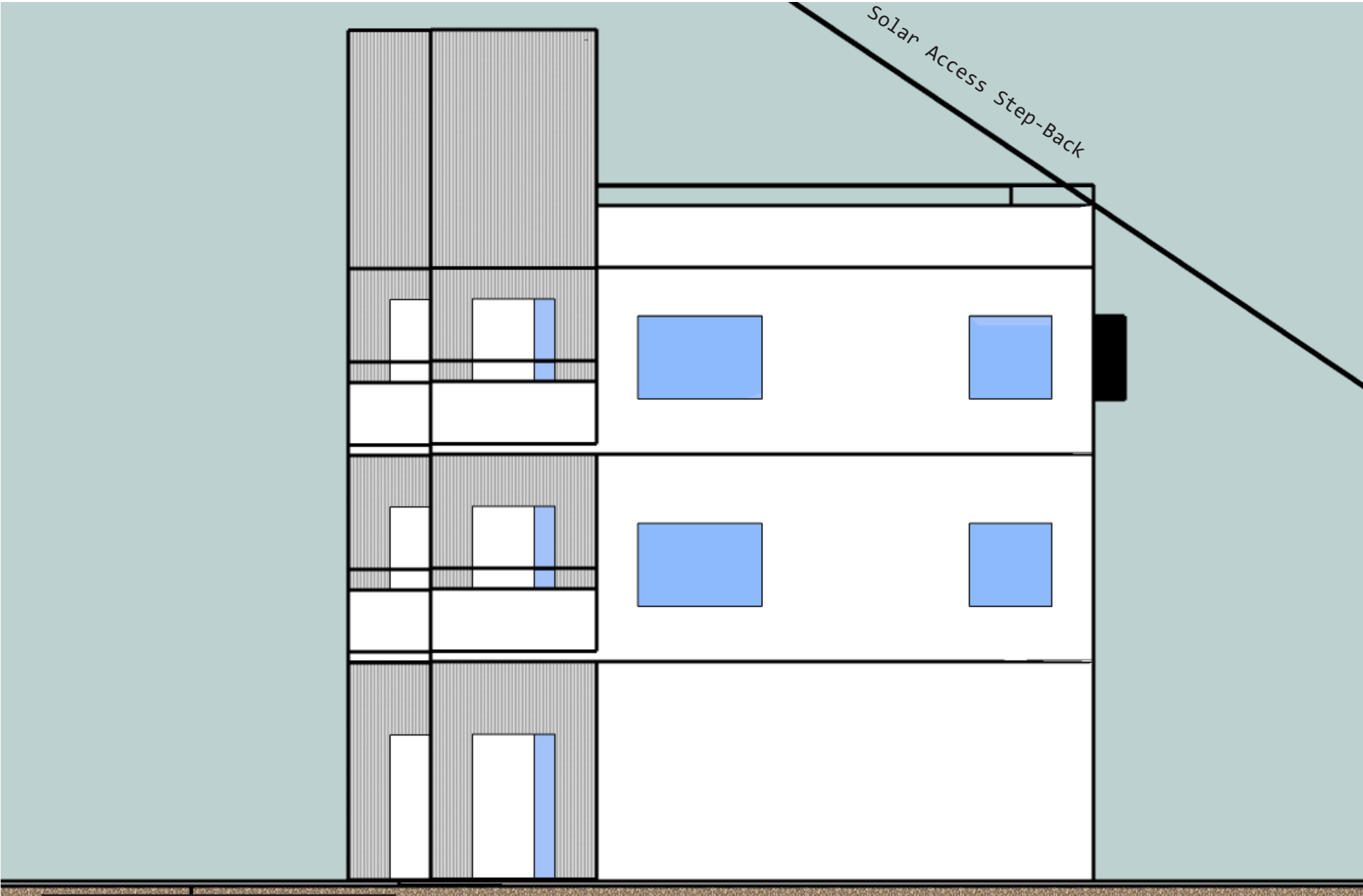




SCALE:
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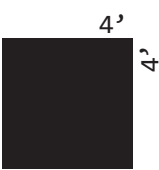
Project:	View:
H	SITE PLAN

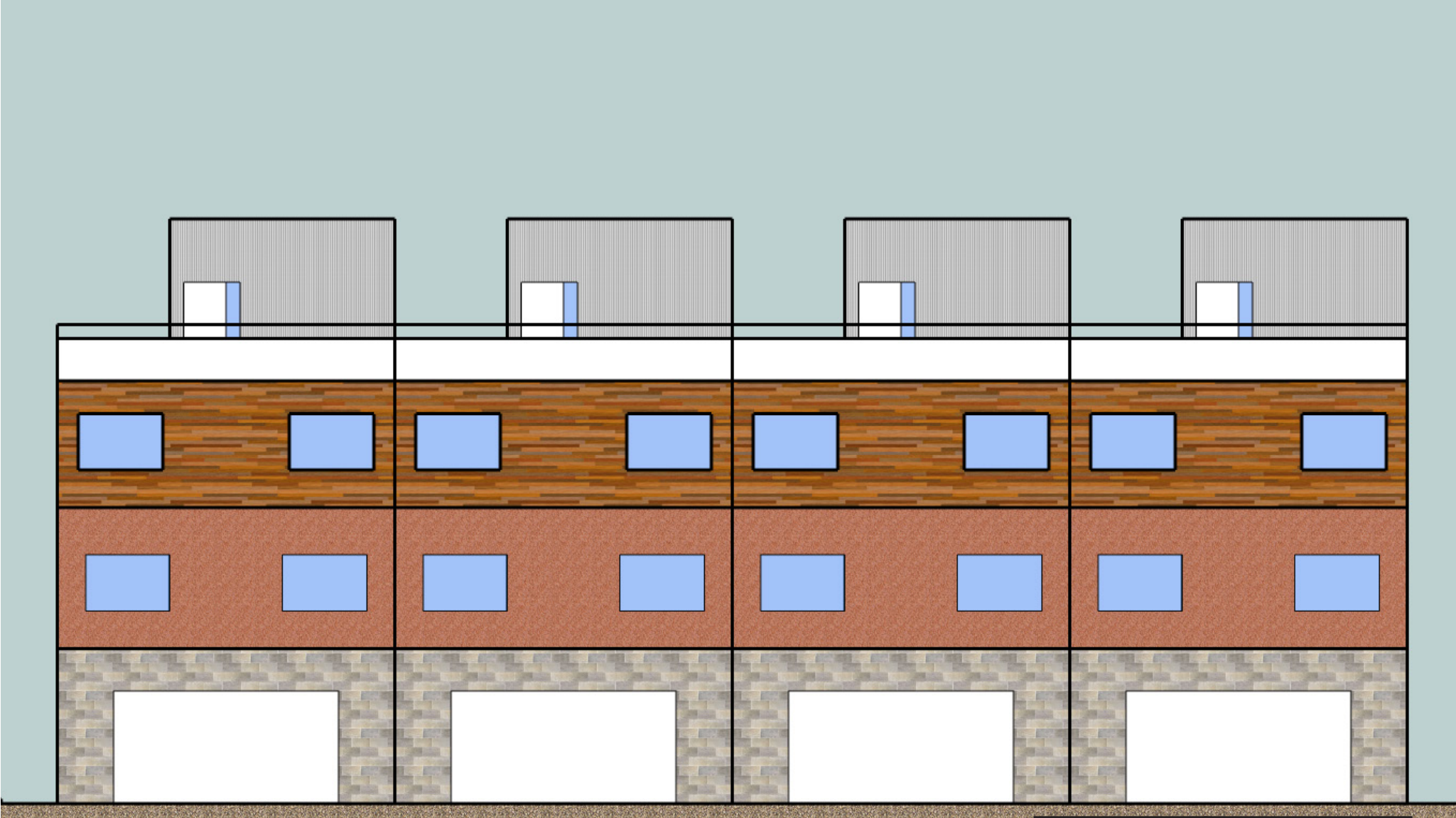


Project:
H

View:
PRIMARY
ELEVATION

SCALE:

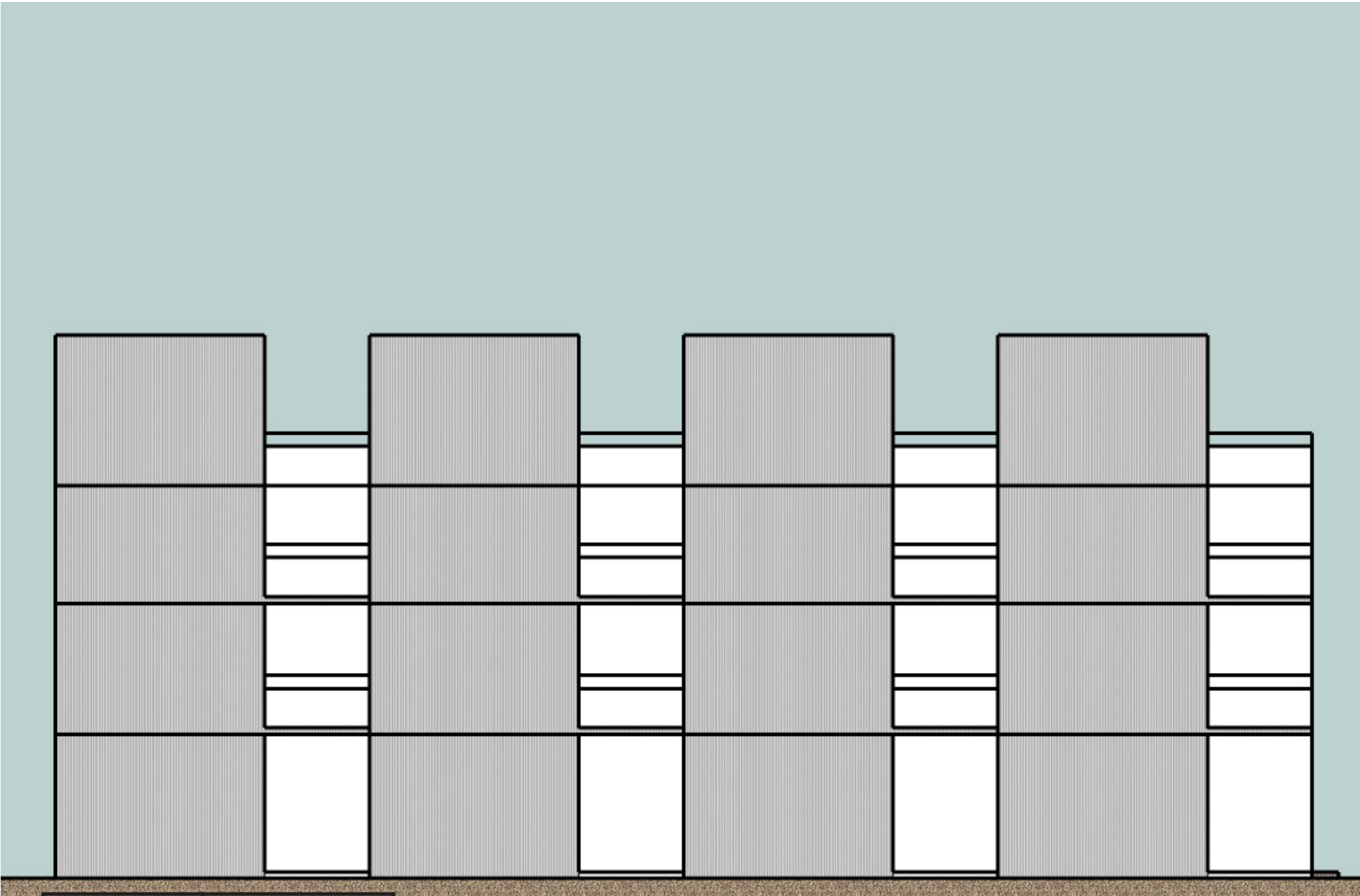




SCALE:
8'



Project: View:
H NORTH
ELEVATION



Project: View:
H SOUTH
ELEVATION

SCALE:

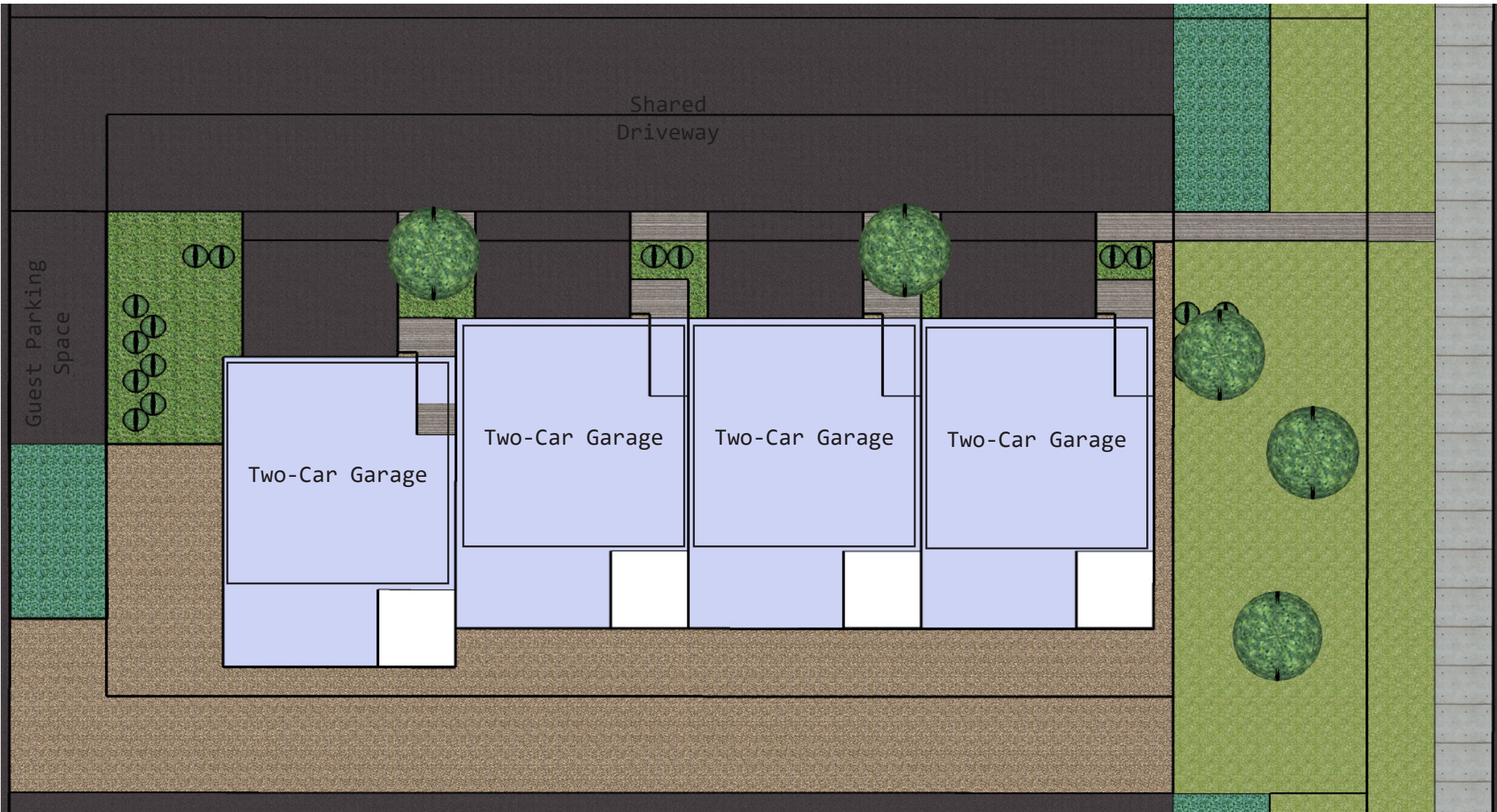


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Project: I	View: ISO
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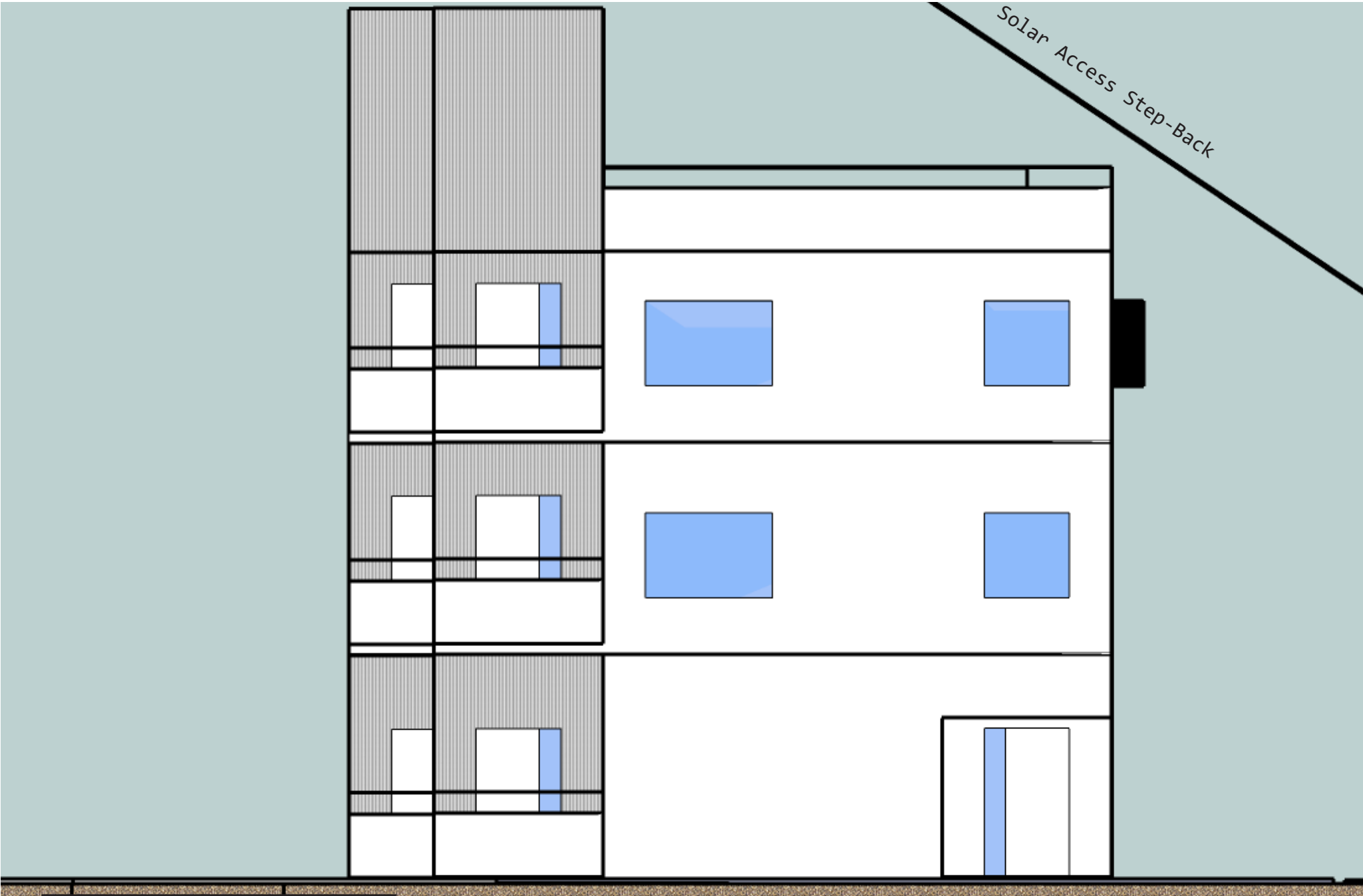




SCALE:
8'



Project: I	View: SITE PLAN
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Project:
I

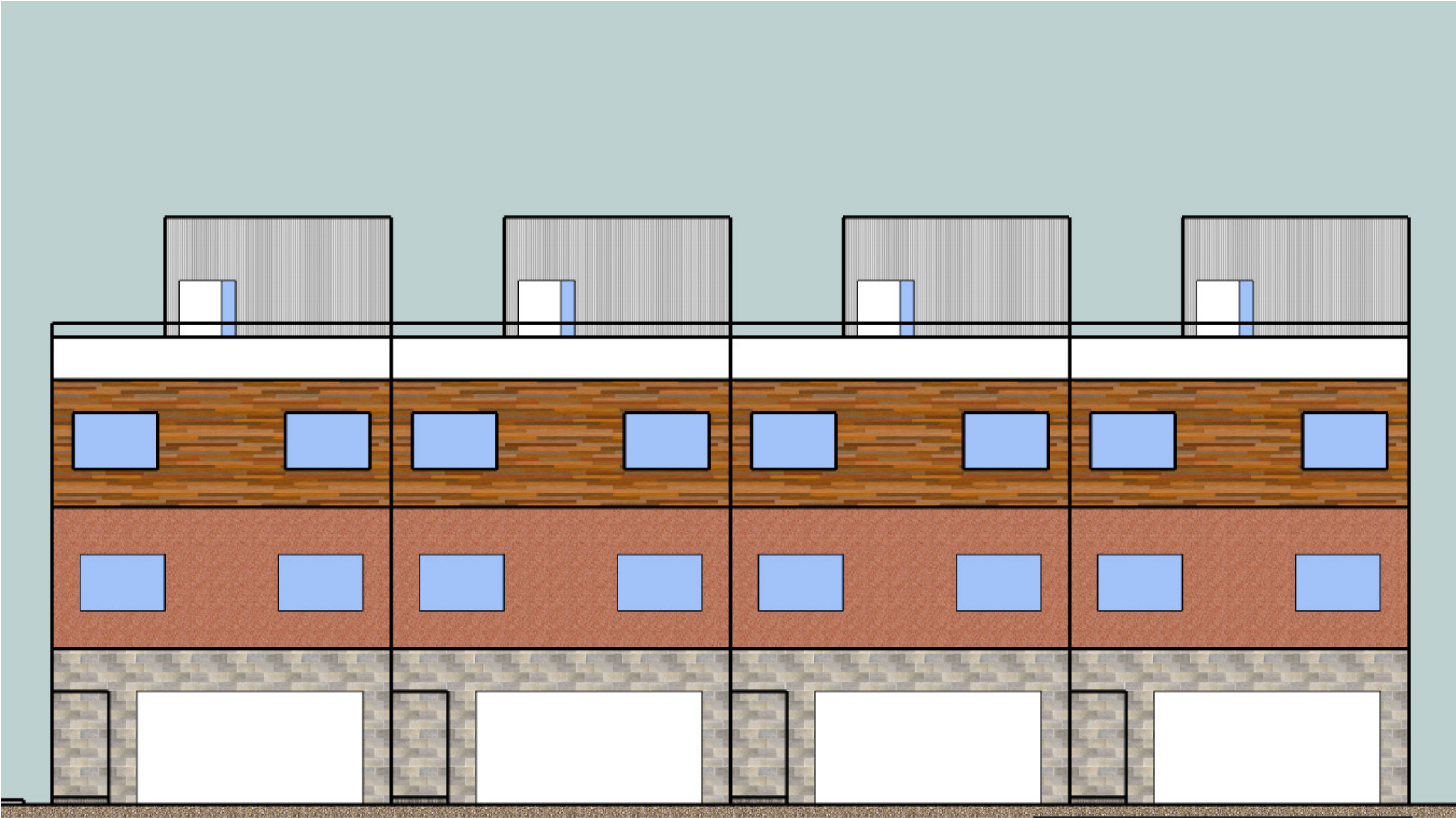
View:
STREET
ELEVATION

SCALE:

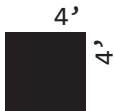
8'

4'

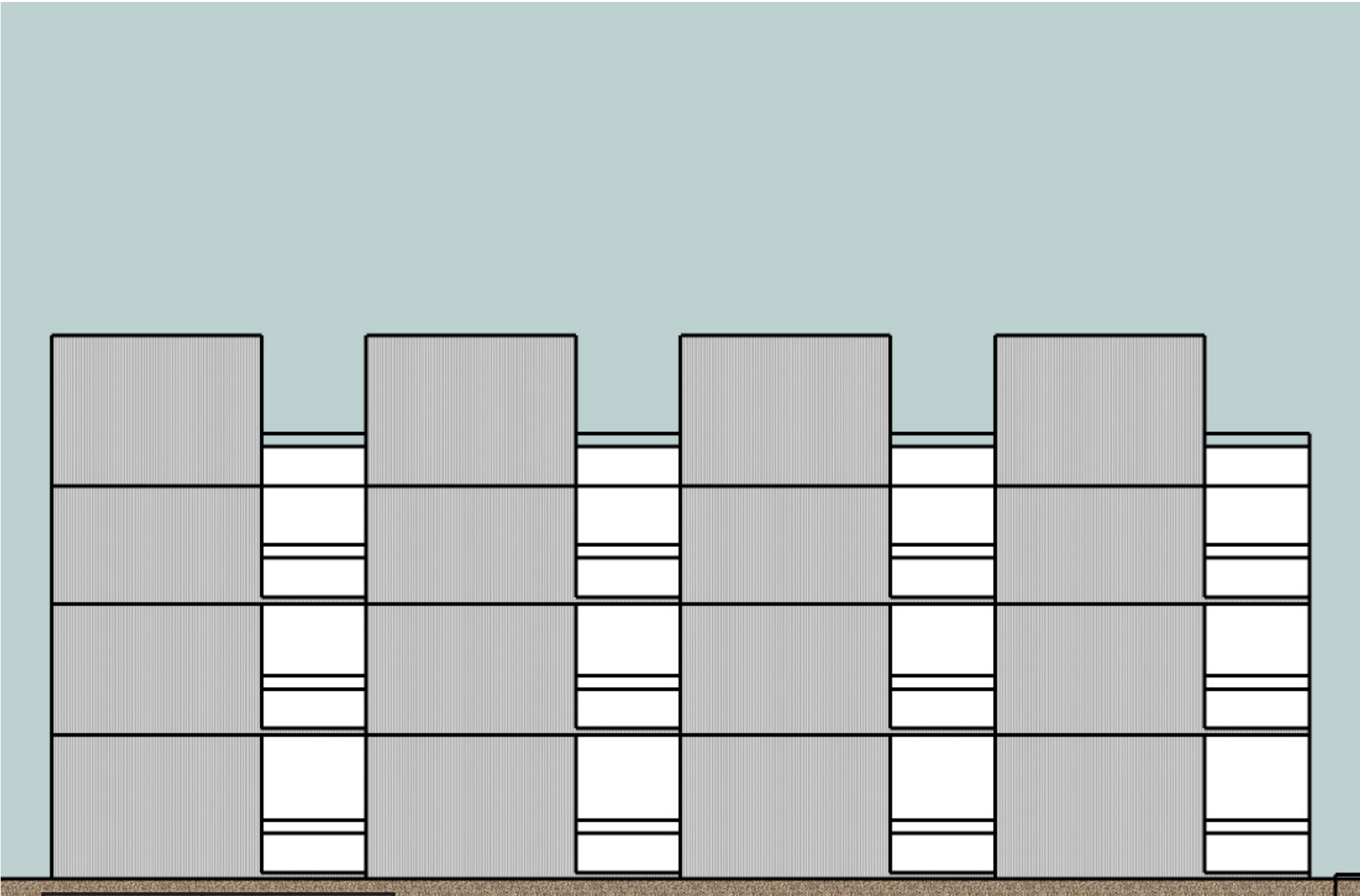
4'



SCALE:
8'



Project: I
View: NORTH
ELEVATION



Project: I
View: SOUTH ELEVATION

SCALE:

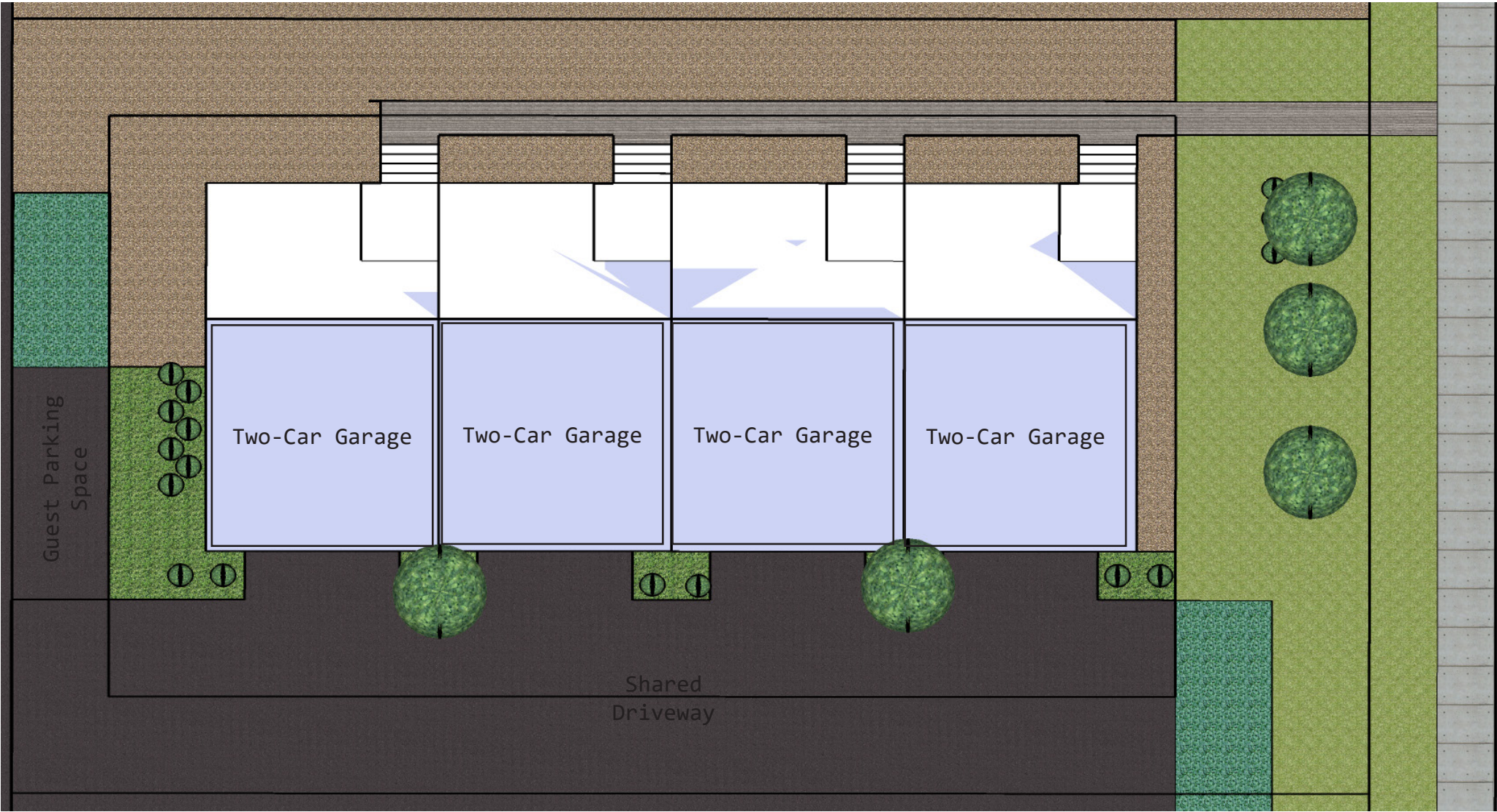


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Project:	View:
J	ISO





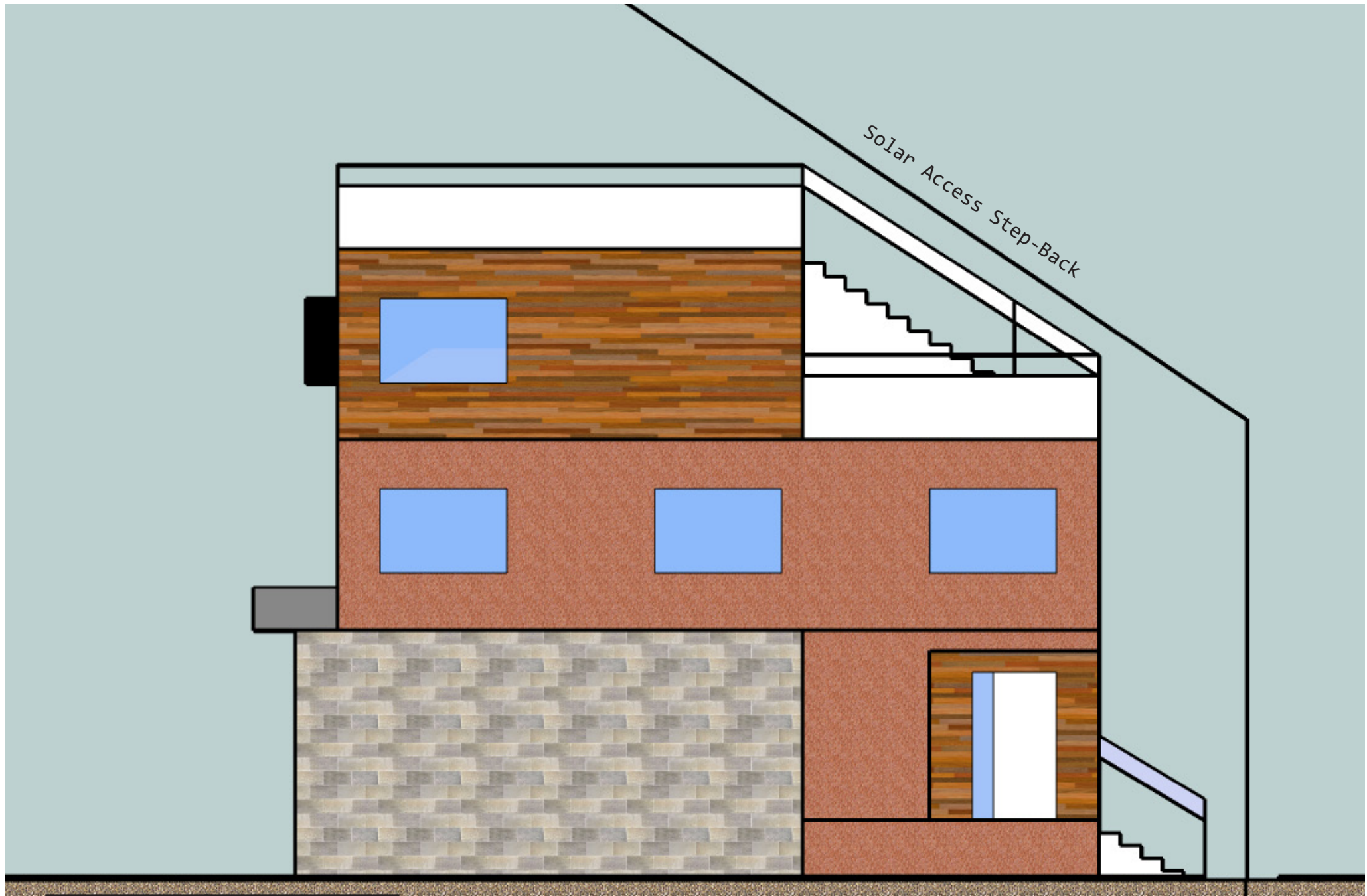
SCALE:

8'

4'
4'

Project:
J

View:
SITE PLAN

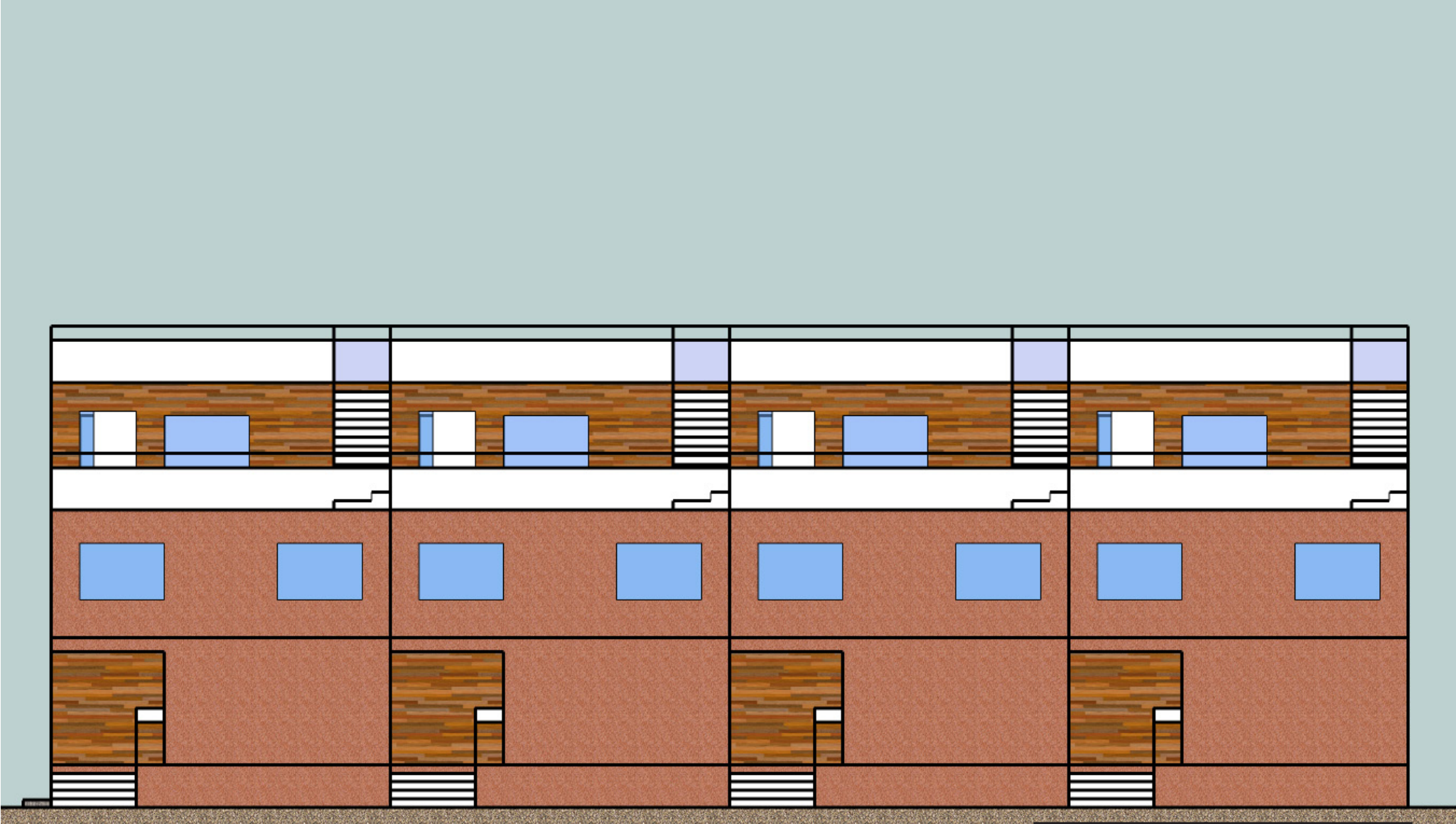


Project: View:
J STREET
ELEVATION

SCALE:

8'

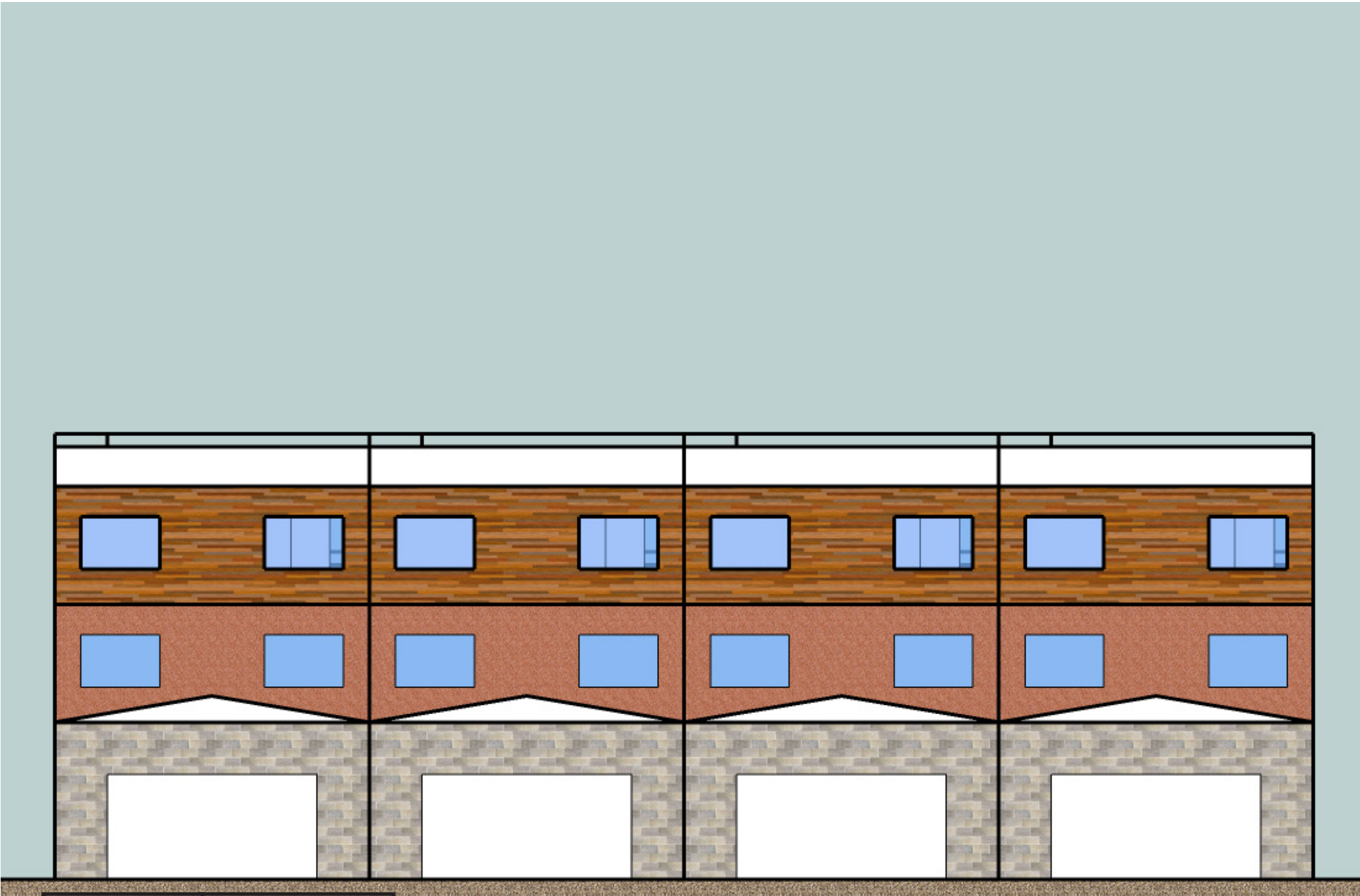




SCALE:
8'



Project: J
View: NORTH ELEVATION



Project: J
View: SOUTH ELEVATION

SCALE: 8' 4'

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END

190227

Connor Scher, Contractor

Tom Davis, Senior Planner

Michael Packard, Plan Reviewer III