

Application for Administrative Site Plan Review

Municipality of Anchorage
Planning Department
PO Box 196650
Anchorage, AK 99519-6650



PETITIONER*		PETITIONER REPRESENTATIVE (if any)	
Name (last name first) MOA Parks and Recreation - Stephen Rafuse, Project Manager/Superintendent		Name (last name first) Hickok, Tanya - The Boutet Company Inc (TBC)	
Mailing Address PO Box 196650		Mailing Address 601 E. 57th Place, Suite 102	
Anchorage, Alaska 99519		Anchorage, Alaska 99518	
Contact Phone – Day (907) 343-4586	Evening	Contact Phone – Day (907) 522-6776	Evening (907) 223-5339
Fax		Fax	
E-mail stephen.rafuse@anchorageak.gov		E-mail thickok@TBCak.com	

*Report additional petitioners or disclose other co-owners on supplemental form. Failure to divulge other beneficial interest owners may delay processing of this application.

PROPERTY INFORMATION			
Property Tax #(000-000-00-000): 005-031-41-000			
Site Street Address: 201 Lane Street			
Current legal description: (use additional sheet if necessary) T13N R3W Section 15 TR E2			
Zoning: PLI-P	Acreage: 14.8+	Grid #: SW1236	Underlying plat #:

SITE PLAN APPROVAL REQUESTED	
Use: Parking Lot	
☒ New SPR	☐ Amendment to approved site plan Original Case #:

I hereby certify that (I am)(I have been authorized to act for) owner of the property described above and that I petition for an administrative site plan review in conformance with Title 21 of the Anchorage Municipal Code of Ordinances. I understand that payment of the application fee is nonrefundable and is to cover the costs associated with processing this application, and that it does not assure approval of the site plan.

Signature  07/15/2021
☐ Owner ☒ Representative Date
(Representatives must provide written proof of authorization)

Tanya S. Hickok, P.E.

Print Name

Accepted by:	Fee:	Case Number: 2021-0106	Decision Date: 09/17/2021
--------------	------	---------------------------	------------------------------

COMPREHENSIVE PLAN INFORMATIONAnchorage 2020 Urban/Rural Services: ☒ Urban ☐ Rural**Anchorage 2040 Land Use Designation(s):**

- | | | |
|---|--|--|
| ☐ Large Lot Residential | ☐ Single and Two-family Residential | ☐ Compact Mixed Residential – low |
| ☐ Compact Mixed Residential–Medium | ☐ Urban Residential – High | ☐ Neighborhood Center |
| ☐ Town Center | ☐ Regional Commercial Center | ☐ City Center |
| ☐ Commercial Corridor | ☐ Main Street Corridor | ☒ Open Space |
| ☐ Facilities and Institutions | ☐ Industrial | |

Anchorage 2040 Growth Supporting Features:

- | | |
|--|---|
| ☒ Transit-supportive Development | ☐ Residential Mixed-use Development |
| ☒ Greenway-supported Development | ☐ Traditional Neighborhood Development |

Chugiak-Eagle River Land Use Classification:

- | | | | |
|---|--|---|--|
| ☐ Commercial | ☐ Industrial | ☐ Parks | ☐ Community Facility |
| ☐ Town Center | ☐ Transportation facility | ☐ Special study area | ☐ Development reserve |
| ☐ Residential at _____ dwelling units per acre | | | |

Girdwood- Turnagain Arm Land Use Classification:

- | | | | |
|---|--|---|--|
| ☐ Commercial | ☐ Industrial | ☐ Parks/open space | ☐ Public lands/institutions |
| ☐ Resort | ☐ Transportation facility | ☐ Special study area | ☐ Reserve |
| ☐ Commercial/Residential | ☐ Commercial Recreation | | |
| ☐ Residential at _____ dwelling units per acre | | | |

Neighborhood, District or Other Area-Specific Plan: _____

ENVIRONMENTAL INFORMATION (All or portion of site affected)

- | | | | | |
|--------------------------------|--|---|-----------------------------------|---|
| Wetland Classification: | ☒ None | ☐ "C" | ☐ "B" | ☐ "A" |
| Avalanche Zone: | ☒ None | ☐ Blue Zone | ☐ Red Zone | |
| Floodplain: | ☒ None | ☐ 100 year | ☐ 500 year | |
| Seismic Zone (Harding/Lawson): | ☐ "1" | ☒ "2" | ☐ "3" | ☐ "4" ☐ "5" |

RECENT REGULATORY INFORMATION (Events that have occurred in last 5 years for all or portion of site)

- | |
|---|
| ☐ Rezoning - Case Number: |
| ☐ Preliminary Plat ☐ Final Plat - Case Number(s): |
| ☐ Conditional Use - Case Number(s): |
| ☐ Zoning variance - Case Number(s): |
| ☐ Land Use Enforcement Action for |
| ☐ Building or Land Use Permit for |
| ☐ Wetland permit: ☐ Army Corp of Engineers ☐ Municipality of Anchorage |

SUBMITTAL REQUIREMENTS (Only one copy of applicable items is required for initial submittal)

1 copy required:

- ☒ Signed application (original)
- ☒ Watershed sign off form, completed
- ☒ 8 ½" by 11" copy of site plan/building plans submittal

7 copies required:

- ☐ Signed application (copies)
- ☐ Project narrative explaining:
 - ☐ the project
 - ☐ planning objectives
 - ☐ addressing the site plan review criteria on page 3 of this application
- ☐ Site plan to scale depicting, with dimensions:
 - ☐ building footprints
 - ☐ parking areas
 - ☐ vehicle circulation and driveways
 - ☐ pedestrian facilities
 - ☐ lighting
 - ☐ grading
 - ☐ landscaping
 - ☐ loading facilities
 - ☐ freestanding sign location(s)
 - ☐ required open space
 - ☐ drainage
 - ☐ snow storage area or alternative
- strategy
 - ☐ trash receptacle location and screening detail
 - ☐ fences
 - ☐ significant natural features
 - ☐ easements
 - ☐ project location
- ☐ Building plans to scale depicting, with dimensions:
 - ☐ building elevations
 - ☐ floor plans
 - ☐ exterior colors and textures
- ☐ Assembly Ordinance enacting zoning special limitations, if applicable

(Additional information may be required.)

SITE PLAN REVIEW STANDARDS (21.03.180)

The Planning Director may only approve a site plan if the director finds that **all** of the following standards are satisfied. Each standard must have a response in as much detail as it takes to explain how your project satisfies the standard. The burden of proof rests with you.

1. The site plan is consistent with any previously approved subdivision plat, planned development master plan, or any other precedent plan or land use approval;
2. The site plan complies with all applicable development and design standards set forth in this title, including but not limited to the provisions in chapter 21.04, *Zoning Districts*, chapter 21.05, *Use Regulations*, chapter 21.06, *Dimensional Standards and Measurements*, and chapter 21.07, *Development and Design Standards*;
3. The site plan addresses any significant adverse impacts that can reasonably be anticipated to result from the use, by mitigating or offsetting those impacts to the maximum extent feasible; and
4. The development proposed in the site plan is consistent with the goals, objectives, and policies of the comprehensive plan.

1. Project Overview

The Municipality of Anchorage (MOA) Parks and Recreation Department in 2021 is proposing an expansion of the existing parking lot at Dave Rose Park from 25 to 50 parking spaces. The parking lot expansion is intended to help meet increased demand for parking on the weekend when the athletic field is used for Samoan Cricket, also known as Kilikiti. In addition to increasing parking lot capacity, the expansion will include a power outlet to support sports events, a location for fenced port-o-potties, an ADA connection to the existing paved trail loop, and new amenities such as trash cans and benches.

2. History, Background, and Existing Conditions

History

The property for this park site had been set aside by the State of Alaska for right of way when they initially built the Glenn Highway. When the property was not needed for snow storage the State conveyed the property to the Anchorage School District. The park land was then acquired from the school district to MOA Parks and Recreation. When the MOA began to develop the parkland, an encroachment was discovered in the northeast corner of the property, where neighbors were using parkland for parking and access to their homes. They were given temporary access. The park was renamed to Dave Rose Park from Conifer Park in 2006.

Background

Dave Rose Park is 14.47-acre park located at 201 Lane Street in the Russian Jack neighborhood of Northeast Anchorage. The park features a playground, sledding hill, picnic shelter and basketball court, paved and lighted walking paths, and a large athletic field which is used for Kilikiti. The park is classified as a Community Use Park in the 2006 *Anchorage Bowl Park, Natural Resource, & Recreation Facility Plan*.

In 2008 the Russian Jack Community Council and local residents participated in the Anchorage Park Report Card process. Dave Rose Park received a grade of D, with

specific repairs requested for the playground. In 2016, the playground was completely renovated. Simultaneously, the Anchorage Cricket Association had been seeking a permanent home to host their summer Cricket or “Kilikiti” matches. With the game’s large field requirements and the community’s desire to be located within walking distance for many of their players and families, the north field in Dave Rose Park was identified as an ideal location.

The game of Cricket or “Kilikiti” as it is known in the Samoan community, is based on the traditional British cricket game that was first introduced to the Samoan Islands more over a century ago. The matches are typically played on Saturday’s and last all day. Anyone can play the game, but typically two teams of 20 people are on the field at once. With approximately 8,000 Polynesians living in Anchorage, this field offers an outdoor place for community gathering for families and a safe field to play. More information is available in an ADN article with game description:

<https://www.adn.com/sports/2016/07/29/samoans-bring-colorful-version-of-cricket-to-anchorage/>

In 2017, the Anchorage Park Foundation (APF) awarded a \$20,000 Challenge Grant to the Alaska Cricket Association to help fund the conversion of the field to Cricket. Since then, the Alaska Cricket Association has hosted league play at Dave Rose Park throughout the summer.

Existing Conditions

The popularity of Kilikiti at Dave Rose Park has led to some additional challenges as it relates to parking at the park. With only 25 existing parking spaces, many people often park along neighborhood streets, resulting in congestion and traffic on the weekends. To meet this demand, MOA Parks and Recreation was asked by the community to explore options for expanding the parking lot at Dave Rose Park.

MOA Parks and Recreation worked with representatives from the Kilikiti group to identify needs and received a resolution of support from the Russian Jack Community Council in April 2021 and the Parks and Recreation Commission (PRC) in May 2021.

MOA Parks and Recreation proposes to expand the parking lot at Dave Rose Park from 25 to 50 parking spaces, including 2 required ADA parking spaces. The improvements are intended to support the Alaska Cricket Association and to minimize impacts to park neighbors on busy weekends by providing additional parking spaces within the park. MOA Parks and Recreation will also add a power outlet, vehicle gates, screened port-o-potties, amenities such as benches and trash cans, and ADA parking and access to the paved trail loop. Construction is anticipated for August 2021.

3. General Site Plan Review Standards

- 1. The site plan is consistent with any previously approved subdivision plat, planned development master plan, or any other precedent plan or land use approval.***

The proposed site plan is consistent with the adopted 2006 *Anchorage Bowl Park, Natural Resource, & Recreation Facility Plan*. Dave Rose Park is classified as a Community Use Park, and is defined as, "Community parks are larger in size and serve a broader purpose than neighborhood parks. The focus is on meeting the recreation needs of several neighborhoods or a large section of the community." As such, Dave Rose Park's parking lot expansion is in keeping with its purpose in serving the Alaska Cricket Association community.

- 2. The site plan complies with all applicable development and design standards set forth in this title, including but not limited to the provisions in chapter 21.04, Zoning Districts, Chapter 21.05, Use Regulations, chapter 21.06, Dimensional Standards and Measurements, and chapter 21.07, Development and Design Standards.***

21.04 Zoning Districts: This site is zoned PLI-P, under the jurisdiction of 21.040.060.E, "The PLI district is intended to include major public and quasi-public civic, administrative, and institutional uses and activities." The P designation identifies that the parcel has been dedicated specifically for Park use. Therefore, the proposed use as a park and the expanded use a parking lot (accessory use) complies with the PLI zoning district.

21.05 Use Regulation: In accordance with Table 21.05-1, parks and their accessory uses are a permitted principal use in the PLI zoning district.

21.06 Dimensional Standards and Measurements: In accordance with Table 21.06-3, the lot meets the minimum lot size area and width requirements (6,000 square feet and 50 feet wide). In addition, the proposed upgrades are outside the required setbacks (front, side, and rear yard: 25 feet when abutting residential zoning districts). This parcel abuts R-1 to the west and south, R-2M across the Glenn Highway to the north, R-1 to the northeast (south of Glenn Highway), and R-3 to the east. The proposed upgrades do not exceed the maximum lot coverage requirement of 45%; and does not exceed the maximum height requirement of 45 feet.

21.07 Development and Design Standards:

- **21.07.040 Drainage, Storm Water Treatment, Erosion Control, and Prohibited Discharges:** The proposed project improvements include improvements to the existing drainage system, including biofiltration swales per MOA DCM requirements.
- **21.07.080 Landscaping, screening, and fences:** The proposed parking lot project improvements include the required 5% minimum interior parking lot landscaping improvements for parking lots between 40 and 100 parking spaces. Existing vegetation will be retained (as possible) and supplemented to meet the required perimeter parking lot landscape requirements. L2, buffer landscaping, is required along the northwest boundary of the parcel immediately adjacent to the R1 residential zoning district and L1, visual enhancement landscaping, is required along the western boundary of the parcel immediately adjacent to Lane Street (local street).

3. The site plan addresses any significant adverse impacts that can reasonably be anticipated to result from the use, by mitigating or offsetting those impacts to the maximum extent feasible.

There are no adverse impacts anticipated. The proposed improvements will provide additional needed parking, a power outlet, vehicle gates, screened port-o-potties, amenities such as benches and trash cans, and ADA parking and access to the existing paved trail loop for the park.

4. The development proposed in the site plan is consistent with goals, objectives, and policies of the comprehensive plan.

The table below presents key policies and strategies promulgated in *Anchorage 2020 Anchorage Bowl Comprehensive Plan* and the *2040 Land Use Plan*, as well as the additional Adopted Elements per Anchorage Municipal Code (AMC) 21.01.080, and describes how the proposed Project fulfills these policies and strategies.

Comprehensive Plan Elements Policies and Strategies

<i>Comprehensive Plan Element</i>	<i>#</i>	<i>Policy</i>	<i>Discussion of Consistency</i>
<u>Areawide Trails Plan, 1997</u>		<i>Multi-use Paved and Unpaved Trails</i>	Dave Rose Park features a paved and lighted walking path that connects all the main features of the park: playground, sledding hill, picnic shelter and basketball court, and a large athletic field which is used for Kilikiti.
<u>Anchorage Bicycle Plan, 2010</u>			This site plan retains the multi-use paved and lighted trails running through Dave Rose Park, as well as adding an ADA paved access to the trail from the expanded parking lot.
<u>Anchorage Bowl Park, Natural</u>		<i>Park Classifications - Community Use Area:</i>	Dave Rose Park will remain consistent with its Community

<u>Resources, and Recreation Facility Plan, 2006</u>		<i>Community parks are larger in size and serve a broader purpose than neighborhood parks. The focus is on meeting the recreation needs of several neighborhoods or a large section of the community.</i>	Use Area designation. As previously noted, Dave Rose Park's parking lot expansion is in keeping with its purpose in serving the Alaska Cricket Association community
<u>Anchorage 2020, Anchorage Bowl Comprehensive Plan</u>	41	<i>Land use regulations shall include new design requirements that are responsive to Anchorage's climate and natural setting.</i>	The proposed parking lot is designed to meet current Title 21 design & landscape standards, ADA standards, as well as meeting current MOA Design Criteria Manual standards.
	44	<i>Design and build public improvements for long-term use.</i>	The proposed parking lot is designed to meet current Title 21 design & landscape standards, ADA standards, as well as meeting current MOA Design Criteria Manual standards.
	63	<i>Natural open space protection</i>	Less than an acre of area is planned to be disturbed for the proposed parking lot. The remaining ~ 14 acres of park will remain as-is.
Anchorage 2040 Land Use Plan	8.1	<i>Ensure all neighborhoods and communities have access to nearby parks and recreational</i>	Dave Rose Park is a Community Use Park and located with the Russian Jack Community Council area. As previously mentioned, this park also serves

		<i>opportunities that support well-being.</i>	the greater Alaska Cricket Association community.
--	--	---	---

4. Special Limitation Standards

The property has no Special Limitations; therefore, this section is not applicable.

5. Schedule

Task	Activity Milestone	Completion Date
Design	Construction Documents	June, 2021
Permitting	Administrative Site Plan Review	June/July 2021
	Fill and Grade Permit	July, 2021
Construction	Begin Construction	August, 2021
	Final Completion	October, 2021



VICINITY MAP
ANCHORAGE, ALASKA



VERIFY SCALES
BAR IS ONE INCH ON
ORIGINAL DRAWING
0 1" 1"
IF NOT ONE INCH ON THIS SHEET,
ADJUST SCALES ACCORDINGLY



MUNICIPALITY OF ANCHORAGE
PARKS AND RECREATION DEPARTMENT

2021 DAVE ROSE PARK
IMPROVEMENTS

201 LANE STREET
ANCHORAGE, AK 99508

SHEET INDEX:

- C1 TITLE SHEET
- C2 NOTES, ABBREVIATIONS, AND LEGEND
- C3 EXISTING CONDITIONS AND SURVEY CONTROL
- C4 DEMOLITION PLAN
- C5 SITE PLAN
- C6 GRADING AND DRAINAGE PLAN
- C7 CROSS SECTIONS AND DETAILS
- L1 LANDSCAPE PLAN
- L2 LANDSCAPE DETAILS

APPROVED BY:

JOSHUA DURAND
DIRECTOR PARKS AND RECREATION

GENERAL NOTES

1. CONSTRUCTION SHALL BE COMPLETED IN ACCORDANCE WITH THE MUNICIPALITY OF ANCHORAGE STANDARD SPECIFICATIONS, STREETS--DRAINAGE--UTILITIES--PARKS, DATED 2018 HEREAFTER REFERRED TO AS M.A.S.S. (OR MASS), AS CURRENTLY AMENDED BY THE SPECIAL PROVISIONS AND THESE CONSTRUCTION DRAWINGS.
2. DRAWING SCALES ON SHEETS WITHIN THESE PLANS MAY VARY AND SHOULD BE NOTED PRIOR TO USE. THESE PLANS WERE CREATED FOR 11x17 PLAN SET AND AT A SPECIFIC DRAWING SCALE. ANY REPRODUCTION OR PUBLISHING OF THESE PLANS MAY RESULT IN DISTORTION OF SCALE AND SHALL BE VERIFIED PRIOR TO USE.
3. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO BEGINNING CONSTRUCTION. THE PERMITS SHALL BE MAINTAINED AT THE JOB SITE.
4. FURNISH AND INSTALL 6' HEIGHT TEMPORARY CHAIN LINK FENCE AROUND THE PROJECT BOUNDARY AND STAGING AREAS DURING CONSTRUCTION. THE FENCE SHALL BE LOCKED SECURELY EVERY DAY AT THE END OF OPERATIONS. TEMPORARY FENCING SHALL BE CONSIDERED INCIDENTAL TO THIS CONTRACT AND NO SEPARATE PAYMENT SHALL BE MADE.
5. CONTRACTOR SHALL MAINTAIN "REDLINE" RECORD DRAWINGS ON A CLEAN SET OF CONSTRUCTION DRAWINGS IN ACCORDANCE WITH M.A.S.S. DIVISION 65.00 CONSTRUCTION SPECIFICATIONS FOR CONSTRUCTION SURVEY. THE "REDLINES" SHALL BE KEPT CURRENT ON A DAILY BASIS AND SHALL BE AVAILABLE TO THE ENGINEER FOR INSPECTION ON THE JOBSITE.
6. CONTRACTOR SHALL RECORD SURVEY NOTES FOR SUBMITTAL WITH AS-BUILT PLANS/DRAWINGS, INCLUDING HORIZONTAL AND VERTICAL LOCATIONS OF ALL UTILITIES ENCOUNTERED IN THE FIELD. CONTRACTOR SHALL RECORD ALL DEVIATIONS FROM THE DESIGN.
7. THESE NOTES CONTAIN INFORMATION NECESSARY FOR THE PROPER EXECUTION OF THE WORK CONTAINED ON THESE IMPROVEMENT DRAWINGS. THESE NOTES APPLY TO ALL DRAWINGS. ADDITIONAL CONSTRUCTION NOTES MAY ALSO BE SHOWN ON INDIVIDUAL DRAWING SHEETS. THE CONTRACTOR IS RESPONSIBLE TO READ AND COMPLY WITH ALL NOTES SHOWN ON THE DRAWINGS. THE TERM "CONTRACTOR", AS USED IN THESE NOTES AND ELSEWHERE IN THIS DRAWINGS, MEANS THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS AND INDIVIDUALS AUTHORIZED TO PERFORM WORK SHOWN ON THESE IMPROVEMENT DRAWINGS. THE CONTRACTOR IS RESPONSIBLE TO COMPLY WITH ALL NOTES APPLICABLE TO THE WORK. ALL CONTRACTORS ARE DIRECTED TO CONTACT THE ENGINEER FOR ANY QUESTIONS REGARDING THE STATED OR IMPLIED MEANING OF ANY NOTE OR OTHER INFORMATION CONTAINED ON THESE IMPROVEMENT DRAWINGS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT THEIR CONTRACT FOR SERVICES INCLUDES THE RESPONSIBILITIES DEFINED BY THE APPLICABLE NOTES.
8. ALL QUANTITIES SHOWN HEREIN ARE APPROXIMATE. CONTRACTOR SHALL VERIFY ALL QUANTITIES.
9. IMPORT HAUL ROUTE: ANCHORAGE SAND AND GRAVEL: O'MALLEY ROAD - NORTH NEW SEWARD HWY - EAST 5TH AVENUE - EAST GLENN HIGHWAY - SOUTH BRAGAW STREET - EAST 4TH AVENUE - NORTH PINE STREET.
10. EXPORT HAUL ROUTE: ANCHORAGE SAND AND GRAVEL SAND LAKE PIT: SOUTH PINE STREET - WEST 4TH AVENUE - NORTH BRAGAW STREET - WEST 5TH AVENUE - SOUTH MINNESOTA DRIVE - WEST DIMOND BLVD - NORTH SAND LAKE ROAD - SAND LAKE PIT.
11. HOURS OF OPERATION: MONDAY-SATURDAY: 7AM-7PM, IN COMPLIANCE WITH THE MUNICIPAL NOISE AND HOURS OF OPERATION REQUIREMENTS DURING CONSTRUCTION IN AMC 15.70.060.B.3.
12. CONTRACTOR SHALL SAW CUT EXISTING PAVEMENT (ROADS, PARKING AREAS, DRIVEWAYS, ETC..) TO A LINE 2 FEET BEYOND THE PROPOSED IMPROVEMENTS, AND MORE IF NECESSARY, DURING THE INITIAL EXCAVATION OPERATIONS. IF EXISTING PAVEMENT HAS BEEN LIFTED, IF EDGE DOES NOT OCCUR IN UNDISTURBED MATERIAL, OR IF EDGE IS LOCATED WITHIN A TRAVEL LANE, FURTHER REMOVAL MAY BE REQUIRED, AS DIRECTED BY THE ENGINEER, TO PROVIDE A PROPER TRANSITION BETWEEN NEW AND EXISTING PAVEMENT. SAW CUTTING OF EXISTING PAVEMENT IS INCIDENTAL TO THE BID ITEM "REMOVE EXISTING PAVEMENT", AND NO SEPARATE PAYMENT SHALL BE MADE.
13. CONTRACTOR SHALL SAW CUT PAVEMENT TRANSVERSE JOINTS SKEWED AT AN ANGLE OF TWENTY DEGREES.
14. CONTRACTOR SHALL APPLY TACK COAT TO THE SAW CUT ASPHALT OR CURB FACE PRIOR TO PAVING. TACK COAT IS INCIDENTAL TO THE BID ITEM "REMOVE AND REPLACE ASPHALT SURFACING" AND NO SEPARATE PAYMENT SHALL BE MADE.

EXISTING UTILITIES:

15. LOCATIONS DEPICTED FOR THE UTILITIES AND OTHER EXISTING FEATURES ARE APPROXIMATE. SOME UTILITIES HAVE BEEN LOCATED FROM AS-BUILT DRAWINGS AND SOME FROM UTILITY COMPANY LOCATES, AND THEREFORE MAY NOT BE VISIBLE. OTHER INACTIVE AND UNDOCUMENTED UTILITIES MAY EXIST WITHIN THE PROJECT AREA. UPON DISCOVERY OF UNDOCUMENTED UTILITIES THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER. THE CONTRACTOR SHALL DOCUMENT THE LOCATION, DEPTH, AND TYPE OF UTILITY AND PROVIDE THIS INFORMATION TO THE ENGINEER.
16. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND VERIFYING ALL UTILITIES AND PERFORMING ANY NECESSARY VERIFICATION PRIOR TO CONSTRUCTION.
17. (UNDERGROUND) OVERHEAD ELECTRICAL AND TELECOMMUNICATION LINES (AND POLES) OCCUR NEAR THE PROJECT AREA; CONTRACTOR SHALL COORDINATE WORK ACCORDINGLY. ALL WORK IN CLOSE PROXIMITY TO EXISTING (OVERHEAD) UNDERGROUND LINES (AND POLES) SHALL COMPLY WITH APPLICABLE FEDERAL, STATE, AND LOCAL STATUTES, CODES AND GUIDELINES, AND THE ELECTRICAL FACILITY CLEARANCE REQUIREMENTS OF THE GOVERNING UTILITY.
18. HAND DIGGING IS REQUIRED WITHIN TWO FEET OF BURIED ELECTRICAL CABLE. SOME UTILITIES HAVE BEEN LOCATED FROM AS-BUILT DRAWINGS AND MAY NOT BE VISIBLE.
19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL EXISTING UTILITIES WITHIN THE LIMITS OF CONSTRUCTION, WHETHER OR NOT SAID UTILITIES ARE SHOWN ON THE PLANS. THIS RESPONSIBILITY INCLUDES CONTACTING UTILITY COMPANIES FOR LOCATIONS OR POTHOLING PRIOR TO CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES DURING CONSTRUCTION IS THE RESPONSIBILITY OF THE CONTRACTOR.

EXCAVATION:

20. EXACT LOCATION OF EXCAVATION AND BACKFILL SHALL BE AS SHOWN ON THE DRAWINGS OR AS DIRECTED BY THE ENGINEER.
21. ORGANIC MATERIAL SHALL BE REMOVED FROM THE SUBGRADE TO A DEPTH TO BE DETERMINED BY THE ENGINEER. NO ORGANIC MATERIAL OR OTHER DELETERIOUS MATERIAL SHALL BE UTILIZED FOR BACKFILL.
22. DEWATERING IS NOT ANTICIPATED FOR THIS PROJECT. IF DEWATERING IS REQUIRED, REFER TO MASS. ANY SUCH DEWATERING EFFORTS SHALL BE CONSIDERED INCIDENTAL TO THIS CONTRACT.
23. CLASSIFIED FILL SHALL BE PLACED IN LIFTS NOT EXCEEDING 12-INCHES IN DEPTH AND SHALL BE COMPACTED TO 95% M.D.D.
24. NO FROZEN SOILS CAN BE USED IN FILLS. NO FILL CAN BE PLACED OVER FROZEN GROUND.
25. ALL AREAS TO BE FILLED SHALL BE CLEARED OF VEGETATION AND ROOT MAT.
26. FINISH GRADE (FG) REPRESENTS THE ELEVATION OF THE FINISHED SURFACE INCLUDING WORK (NIC). THIS INCLUDES LANDSCAPE AREAS, PAVED OR CONCRETE SURFACES, ROCK RIP-RAP SURFACE AND ELEVATION AT EXTERIOR OF STRUCTURE FOUNDATION, UNLESS OTHERWISE DENOTED ON DETAIL OR SPECIAL LABEL. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ADJUST SUBGRADE OR TOPSOIL TO ALLOW FOR FINISHED SURFACE MATERIAL DIMENSIONS.

CLEANUP AND TOPSOIL:

27. WORK AND MATERIALS REQUIRED FOR REMOVING LITTER OR DEBRIS THAT EXISTS WITHIN THE PROJECT LIMITS SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND NO SEPARATE PAYMENT SHALL BE MADE.
28. CONTRACTOR SHALL RESTORE DISTURBED PROPERTY, INCLUDING STAGING AREAS, TO PRE-CONSTRUCTION CONDITION(S), UNLESS OTHERWISE DIRECTED BY THE ENGINEER. PAYMENT FOR RESTORING DISTURBED PROPERTY OUTSIDE THE AREA OF WORK, OR SCOPE OF WORK, SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT. NO SEPARATE PAYMENT SHALL BE MADE UNLESS THESE AREAS HAVE BEEN IDENTIFIED ON THE DRAWINGS BY THE ENGINEER AND ARE ASSOCIATED WITH SCHEDULED BID ITEMS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL RESTORED AREAS UNTIL ACCEPTED BY THE ENGINEER.

ABBREVIATIONS:

ADA	AMERICAN WITH DISABILITIES ACT OF 1990
ADOT	STATE OF ALASKA DEPARTMENT OF TRANSPORTATION
AC	ASPHALTIC CONCRETE
APPROX.	APPROXIMATELY
BOP	BEGINNING OF PROJECT
BM	BENCH MARK
BMP	BEST MANAGEMENT PRACTICE
CL	CENTERLINE
CONST	CONSTRUCT
DET	DETAIL
DEPT.	DEPARTMENT
E	EAST
EP/EOP	EDGE OF PAVEMENT
EL	ELEVATION
ESMT	EASEMENT LINE
EST	ESTIMATED
EX	EXISTING
FI	FURNISH AND INSTALL
FG	FINISHED GRADE
FG(e)	EXISTING FINISH GRADE
FH	FIRE HYDRANT
FL	FLOW LINE
G	GAS
GB	GRADE BREAK
GPS	GLOBAL POSITIONING SYSTEM
HOR	HORIZONTAL
HP	HIGH POINT
IE	INVERT ELEVATION
INT	INTERSECTION
IAW	IN ACCORDANCE WITH
L	LENGTH
LF	LINEAR FEET
LOC	LOCATION
LP	LOW POINT
LT	LEFT
MASS	MUNICIPALITY OF ANCHORAGE
	STANDARD SPECIFICATIONS
MAX	MAXIMUM
ME	MATCH EXISTING
MH	MANHOLE
MIN	MINIMUM
MOA	MUNICIPALITY OF ANCHORAGE
MON	MONUMENT
MSL	MEAN SEA LEVEL
N	NORTH
NIC	NOT IN CONTRACT
NTP	NOTICE TO PROCEED
NTS	NOT TO SCALE
PCC	PORTLAND CEMENT CONCRETE
PL	PROPERTY LINE
PUE	PUBLIC UTILITY EASEMENT
R	RADIUS
RAP	RECYCLED ASPHALT PAVEMENT
R&R	REMOVE AND REPLACE
ROW	RIGHT-OF-WAY
RP	RADIUS POINT
RT	RIGHT
RTK	REAL TIME KINEMATIC
REF	REFERENCE
RET	RETURN
S	SOUTH
SG	SUBGRADE
SS	SANITARY SEWER
STA	STATION
STD	STANDARD
SY	SQUARE YARD
SW	SIDEWALK
ST	STREET
SHT	SHEET
SD	STORM DRAIN
TAN	TANGENT
TEL	TELEPHONE
TBM	TEMPORARY BENCH MARK
TOE	TOE OF SLOPE
TYP	TYPICAL
VER	VERTICAL
W	WEST
YPC	YELLOW PLASTIC CAP

LEGEND

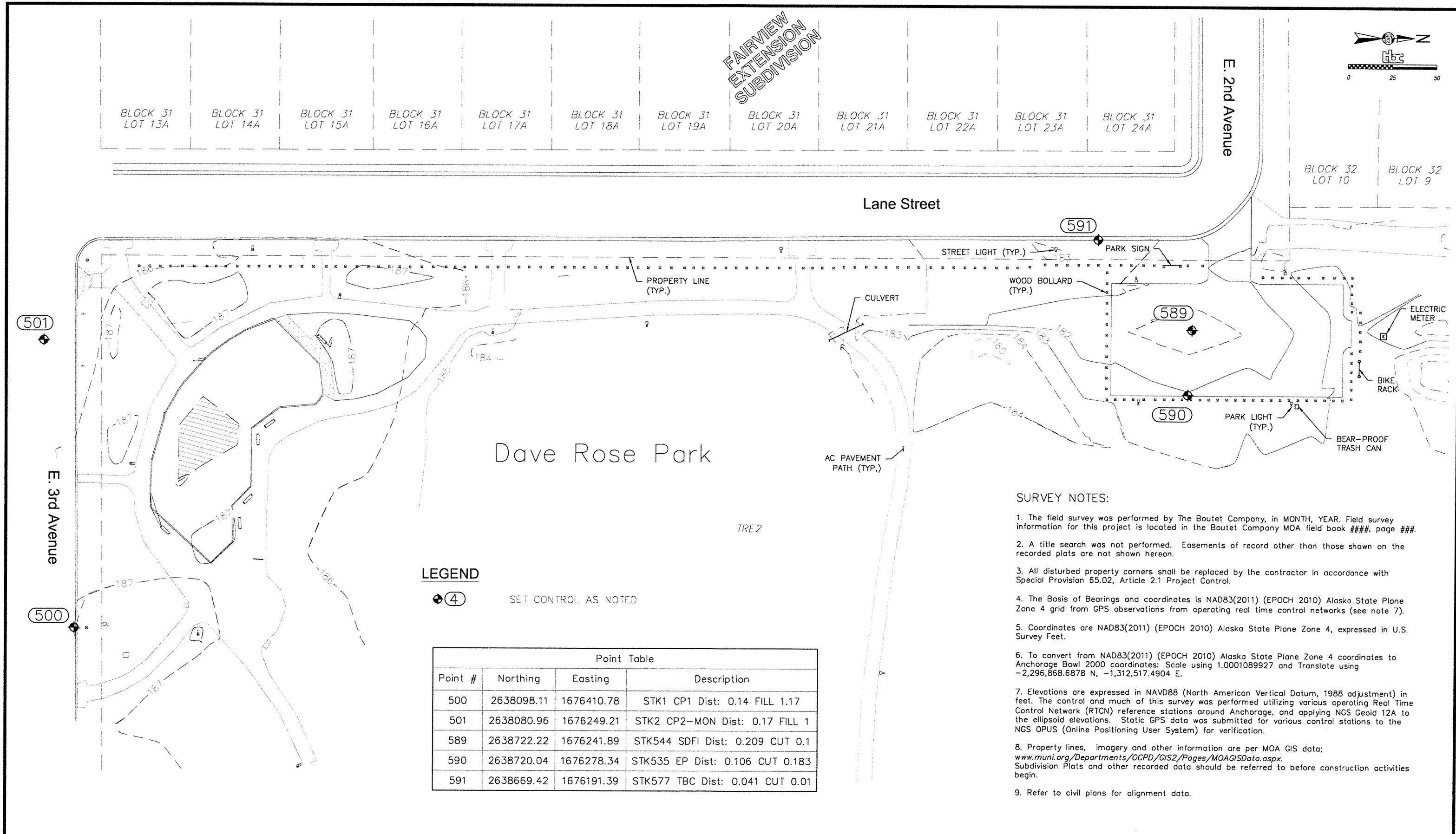
	EXISTING CMP CULVERT
	EXISTING WATER KEY
	EXISTING FIRE HYDRANT
	EXISTING SEWER MANHOLE
	EXISTING STORM DRAIN MANHOLE
	EXISTING STORM DRAIN LINE
	EXISTING SIGN
	EXISTING BOLLARD
	EXISTING LIGHT POLE
	EXISTING VEHICLE GATE
	EXISTING SANITARY SEWER
	EXISTING WATER
	EXISTING IRRIGATION LINE
	EXISTING EDGE OF PAVEMENT
	EXISTING PROPERTY LINE
	EXISTING FENCE LINE
	EXISTING VEGETATION
	EXISTING ASPHALT TO BE REMOVED
	EXISTING CONCRETE SURFACE
	PROPOSED ASPHALT SURFACE
	EXISTING PAVED SURFACE
	PROPOSED ENGINEERED WOOD SOF-FALL SURFACE
	PROPOSED CONTOUR LINE
	EXISTING CONTOUR LINE
	PROPOSED SWALE
	SLOPE PERCENT



Know what's **below**.
Call before you dig.

														 The Boulet Company, Inc. 601 E. 57th Place #102 Anchorage, AK 99518 Ph. 907-522-6776 Fx. 907-522-6779 License No. AECC957		Department of Parks and Recreation Municipality of Anchorage	Healthy Parks  Healthy People		PARKS AND RECREATION DEPARTMENT DAVE ROSE PARK ANCHORAGE, ALASKA 99508 NOTES, LEGEND, AND ABBREVIATIONS			
FIELD BOOKS	BM NO.	LOCATION	ELEV	DATA	DRAWN BY	CHECKED BY	DATA	DRAWN BY	CHECKED BY	REV	DATE	DESCRIPTION	BY						REV			
DESIGN				BASE	TBC		TELEPHONE	---														
STAKING				TOPOGRAPHY	TBC		ELECTRIC	---														
ASBUILT				PROFILE	TBC		CABLE TV	---														
CONTRACTOR	BASIS OF DATUM			SANITARY SEWER	---		TRAFFIC SIGNAL	---														
INSPECTOR				STORM SEWER	---		DESIGN	TBC														
CONSTRUCTION RECORD	VERTICAL DATUM			WATER	---		QUANTITIES	TBC														
INSURANCE				GAS	---		MUN. FINAL CHECK	---														
CONSTRUCTION RECORD	VERTICAL DATUM			PLAN CHECK			REVISIONS															
CONSULTANT	SEAL																					

SCALE	HOR ^{NA}	VER ^{NA}	DATE JULY 2021	GRID SW1235	SHEET C2 of C7
			STATUS ADMIN SITE PLAN REVIEW		



LEGEND

④ SET CONTROL AS NOTED

Point Table			
Point #	Northing	Easting	Description
500	2638098.11	1676410.78	STK1 CP1 Dist: 0.14 FILL 1.17
501	2638080.96	1676249.21	STK2 CP2-MON Dist: 0.17 FILL 1
589	2638722.22	1676241.89	STK544 SDFI Dist: 0.209 CUT 0.1
590	2638720.04	1676278.34	STK535 EP Dist: 0.106 CUT 0.183
591	2638669.42	1676191.39	STK577 TBC Dist: 0.041 CUT 0.01

- SURVEY NOTES:
1. The field survey was performed by The Boutet Company, in MONTH, YEAR. Field survey information for this project is located in the Boutet Company MOA field book ####, page ###.
 2. A title search was not performed. Easements of record other than those shown on the recorded plats are not shown hereon.
 3. All disturbed property corners shall be replaced by the contractor in accordance with Special Provision 65.02, Article 2.1 Project Control.
 4. The Basis of Bearings and coordinates is NAD83(2011) (EPOCH 2010) Alaska State Plane Zone 4 grid from GPS observations from operating real time control networks (see note 7).
 5. Coordinates are NAD83(2011) (EPOCH 2010) Alaska State Plane Zone 4, expressed in U.S. Survey Feet.
 6. To convert from NAD83(2011) (EPOCH 2010) Alaska State Plane Zone 4 coordinates to Anchorage Bowl 2000 coordinates: Scale using 1.0001089927 and Translate using -2,296,868.6878 N, -1,312,517.4904 E.
 7. Elevations are expressed in NAVD88 (North American Vertical Datum, 1988 adjustment) in feet. The control and much of this survey was performed utilizing various operating Real Time Control Network (RTCN) reference stations around Anchorage, and applying NGS Geoid 12A to the ellipsoid elevations. Static GPS data was submitted for various control stations to the NGS OPUS (Online Positioning User System) for verification.
 8. Property lines, imagery and other information are per MOA GIS data; www.muni.org/Departments/OCPD/GIS2/Pages/MOAGISData.aspx. Subdivision Plats and other recorded data should be referred to before construction activities begin.
 9. Refer to civil plans for alignment data.

FIELD BOOKS				BM NO.	LOCATION	ELEV.	DATA	DRAWN BY	CHECKED BY	DATA	DRAWN BY	CHECKED BY	REV	DATE	DESCRIPTION	BY	REV
DESIGN:							BASE	TBC		TELEPHONE	---						
STAKING:							TOPOGRAPHY	TBC		ELECTRIC	---						
ASBUILT:							PROFILE	TBC		CABLE TV	---						
CONTRACTOR:							SANITARY SEWER	---		TRAFFIC SIGNAL	---						
INSPECTOR:							STORM SEWER	---		DESIGN	TBC						
CONSTRUCTION RECORD							WATER	---		QUANTITIES	TBC						
							GAS	---		MUN. FINAL CHECK	---						
							PLAN CHECK			REVISIONS							
							VERTICAL DATUM			CONSULTANT							
										SEAL							

The Boutet Company, Inc.
601 E. 57th Place #102
Anchorage, AK 99518
Ph. 907-522-6776
Fx. 907-522-6779
License No. AECC957

Department of Parks and Recreation

Healthy Parks Healthy People

Municipality of Anchorage

MUNICIPALITY OF ANCHORAGE

PARKS AND RECREATION DEPARTMENT

DAVE ROSE PARK

ANCHORAGE, ALASKA 99508

EXISTING CONDITIONS AND SURVEY CONTROL

SCALE: HOR. 1"=50'

VER. NA

DATE: JULY 2021

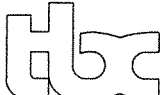
GRID: SW1236

SHEET: C3 of C7

STATUS: ADMIN SITE PLAN REVIEW



FIELD BOOKS										BM NO.	LOCATION	ELEV.	DATA	DRAWN BY	CHECKED BY	DATA	DRAWN BY	CHECKED BY	REV	DATE	DESCRIPTION	BY	REV									
DESIGN:													BASE	TBC		TELEPHONE	---															
STAKING:													TOPOGRAPHY	TBC		ELECTRIC	---															
ASBUILT:													PROFILE	TBC		CABLE TV	---															
CONTRACTOR:										BASIS OF DATUM:			SANITARY SEWER	---		TRAFFIC SIGNAL	---															
INSPECTOR:													STORM SEWER	---		DESIGN	TBC															
CONSTRUCTION RECORD										VERTICAL DATUM			WATER	---		QUANTITIES	TBC															
													GAS	---		MUN. FINAL CHECK																
													PLAN CHECK										REVISIONS									
																							CONSULTANT									
																							SEAL									



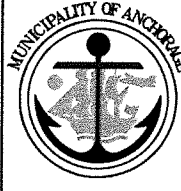
The Boutel Company, Inc.
601 E. 57th Place #102
Anchorage, AK 99518
Ph. 907-522-6776
Fx. 907-522-6779
License No. AECC957

Department of Parks and Recreation

Healthy Parks



Healthy People



MUNICIPALITY OF ANCHORAGE

PARKS AND RECREATION DEPARTMENT

DAVE ROSE PARK
ANCHORAGE, ALASKA 99508

DEMOLITION PLAN

SCALE: HOR. 1"=30'
VER. NA

DATE: JULY 2021
STATUS: ADMIN SITE PLAN REVIEW

GRID:

SHEET C4 of C7



FIELD BOOKS	BM NO.	LOCATION	ELEV.	DATA	DRAWN BY	CHECKED BY	DATA	DRAWN BY	CHECKED BY	REV	DATE	DESCRIPTION	BY	REV
DESIGN:				BASE	TBC		TELEPHONE	---						
STAKING:				TOPOGRAPHY	TBC		ELECTRIC	---						
				PROFILE	TBC		CABLE TV	---						
ASBUILT:				SANITARY SEWER	---		TRAFFIC SIGNAL	---						
CONTRACTOR:				STORM SEWER	---		DESIGN	TBC						
INSPECTOR:				WATER	---		QUANTITIES	TBC						
				GAS	---		MUN. FINAL CHECK	---						
CONSTRUCTION RECORD		VERTICAL DATUM		PLAN CHECK			REVISIONS							

H&C

The Boutel Company, Inc.
601 E. 57th Place #102
Anchorage, AK 99518
Ph. 907-522-6776
Fx. 907-522-6779
License No. AECC957

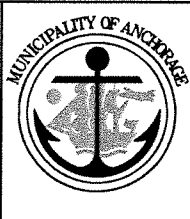
SEAL

Department of
Parks and
Recreation

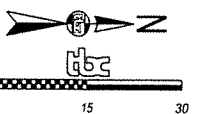
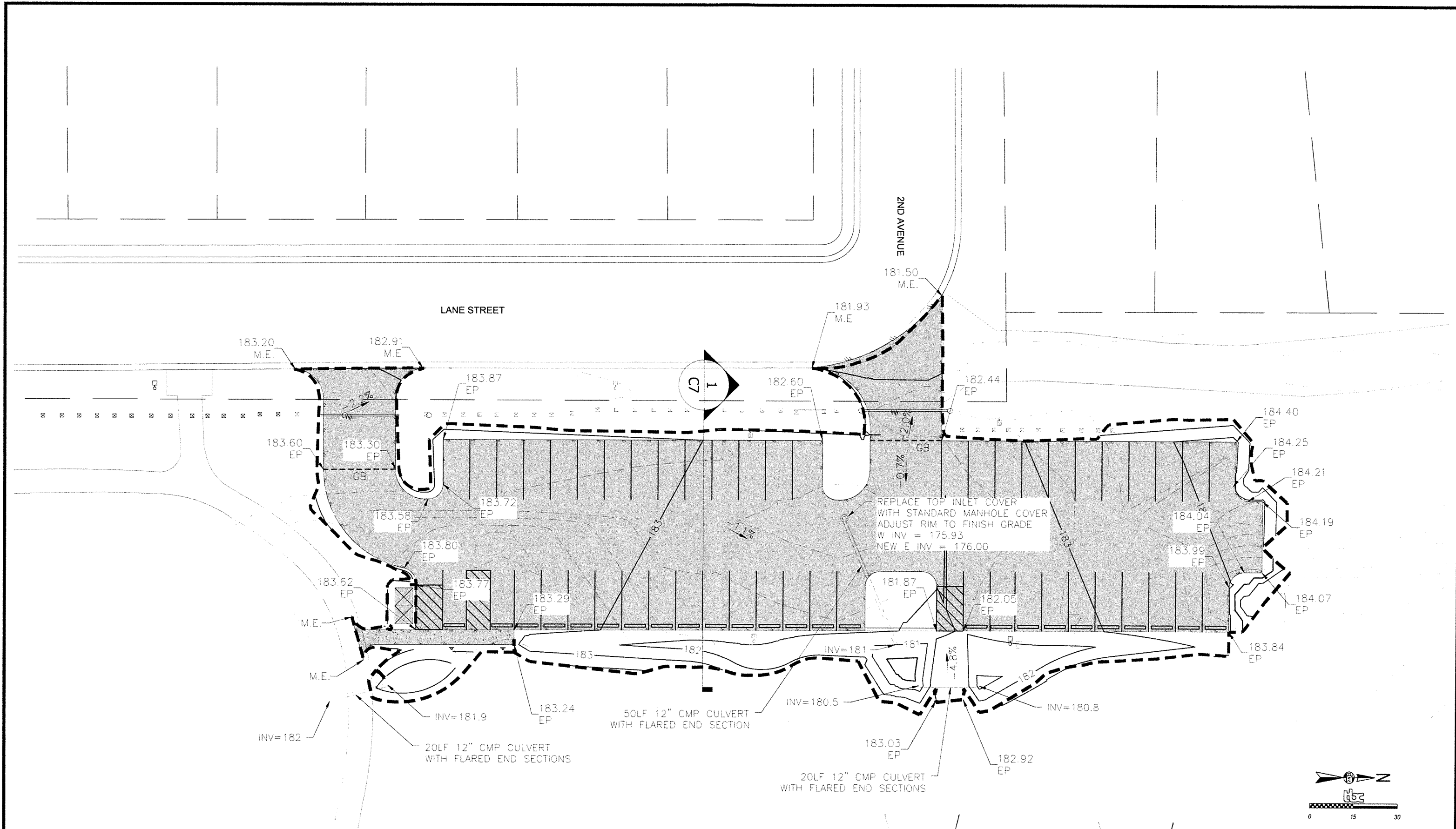
Healthy
Parks

Municipality of
Anchorage

Healthy
People



PARKS AND RECREATION DEPARTMENT			
DAVE ROSE PARK ANCHORAGE, ALASKA 99508			
SITE PLAN			
SCALE	HOR. 1"=30' VER. NA	DATE: JULY 2021 STATUS: ADMIN SITE PLAN REVIEW	GRID: SHEET C5 of C7



FIELD BOOKS	BM NO.	LOCATION	ELEV.	DATA	DRAWN BY	CHECKED BY	DATA	DRAWN BY	CHECKED BY	REV	DATE	DESCRIPTION	BY	REV
DESIGN:				BASE	TBC		TELEPHONE	---						
STAKING:				TOPOGRAPHY	TBC		ELECTRIC	---						
ASBUILT:				PROFILE	TBC		CABLE TV	---						
CONTRACTOR:				SANITARY SEWER	---		TRAFFIC SIGNAL	---						
INSPECTOR:				STORM SEWER	---		DESIGN	TBC						
				WATER	---		QUANTITIES	TBC						
				GAS	---		MUN. FINAL CHECK	---						
CONSTRUCTION RECORD		VERTICAL DATUM		PLAN CHECK			REVISIONS							


 The Boutel Company, Inc.
 601 E. 57th Place #102
 Anchorage, AK 99518
 Ph. 907-522-6776
 Fx. 907-522-6779
 License No. AECC957

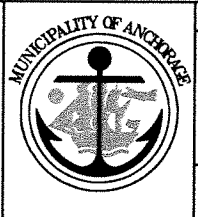
CONSULTANT
 SEAL

Department of
 Parks and
 Recreation

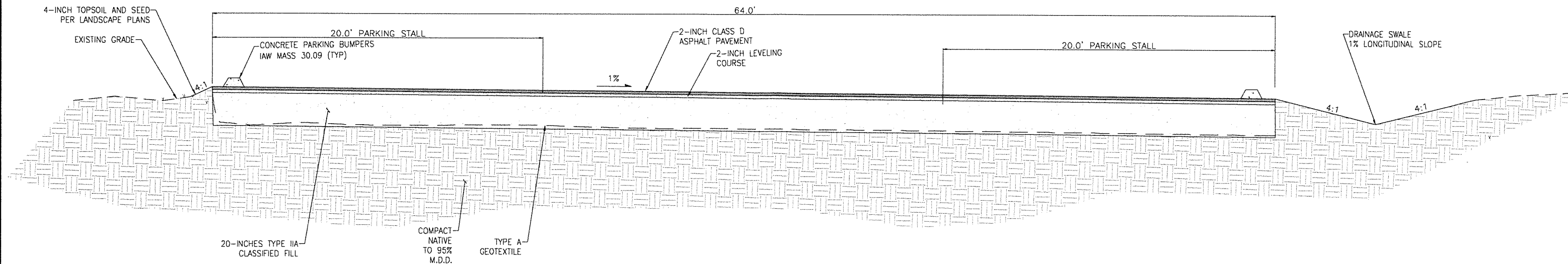
 Municipality of
 Anchorage

Healthy
 Parks

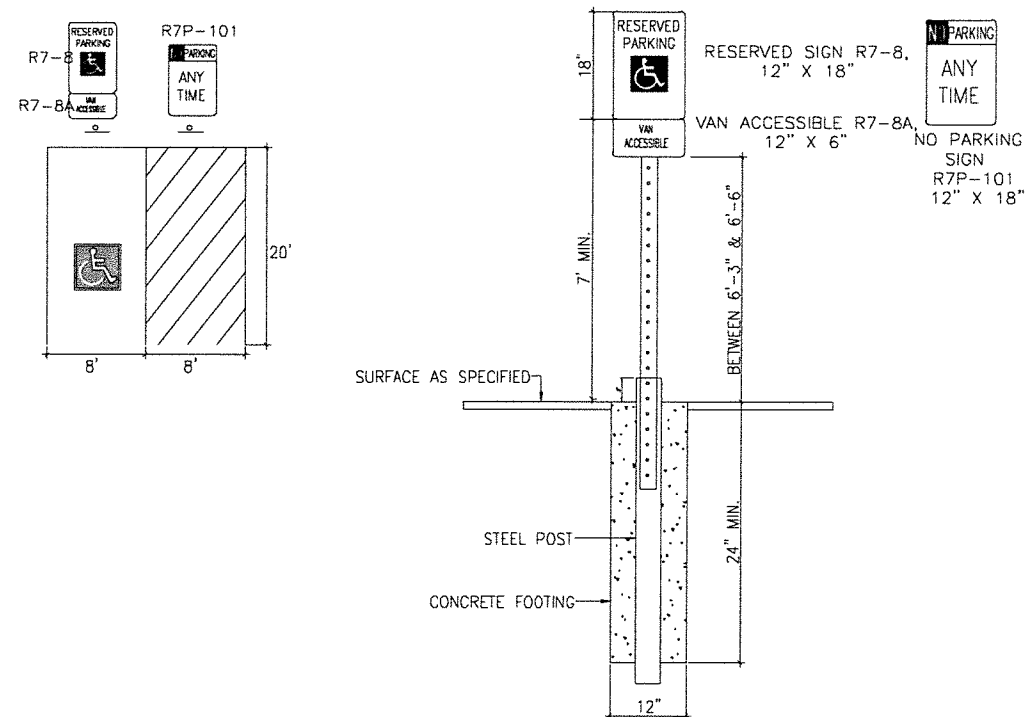
 Healthy
 People



PARKS AND RECREATION DEPARTMENT			
DAVE ROSE PARK			
ANCHORAGE, ALASKA 99508			
GRADING AND DRAINAGE PLAN			
SCALE	HOR. 1"=30'	DATE: JULY 2021	GRID:
VER. NA		STATUS: ADMIN SITE PLAN REVIEW	SHEET C6 of C7

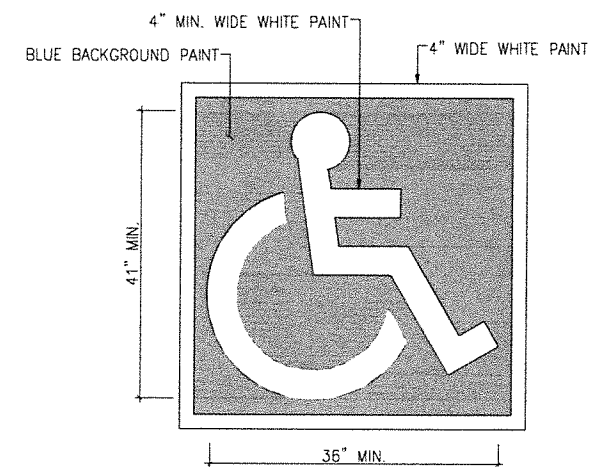


1
C7
PARKING LOT SECTION VIEW



ADA ACCESSIBLE PARKING SIGN

1. ALL ACCESSIBLE SPACES SHALL HAVE A R7-8 SIGN. THE R7-8 SIGNS SHALL BE CENTERED ON 8 FOOT PARKING STALLS.
2. INSTALL A "NO PARKING" SIGN CENTERED AT LEAST 4 FEET IN FRONT OF THE 8-FOOT WIDE VAN ACCESSIBLE ACCESS AISLE.



ACCESSIBLE MARKING SYMBOL

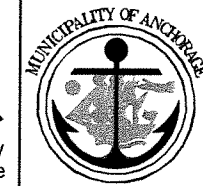
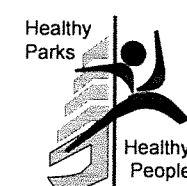
1. ALL NON-ADA TRAFFIC MARKINGS SHALL BE 4-INCH WHITE.
2. NON ADA STALLS SHALL BE 9 FEET WIDE.
3. ADA VAN ACCESS AISLES ARE 8 FEET WIDE MINIMUM AND ADA CAR ACCESS AISLES ARE 5 FEET WIDE MINIMUM.
4. ADA ACCESSIBLE TRAFFIC MARKINGS SHALL BE 4-INCH BLUE FOR SPACES/AISLES/CURB STRIPING.

FIELD BOOKS										CONSTRUCTION RECORD	
DESIGN:	BM NO.	LOCATION	ELEV.	DATA	DRAWN BY	CHECKED BY	DATA	DRAWN BY	CHECKED BY	REV	DATE
STAKING:				BASE	TBC		TELEPHONE	TBC			
ASBUILT:				TOPOGRAPHY	TBC		ELECTRIC	TBC			
CONTRACTOR:				PROFILE	TBC		CABLE TV	TBC			
INSPECTOR:				SANITARY SEWER	---		TRAFFIC SIGNAL	---			
				STORM SEWER	---		DESIGN	TBC			
				WATER	---		QUANTITIES	TBC			
				GAS	---		MUN. FINAL CHECK	---			
BASIS OF DATUM:										REVISIONS	
VERTICAL DATUM										CONSULTANT	
PLAN CHECK										SEAL	

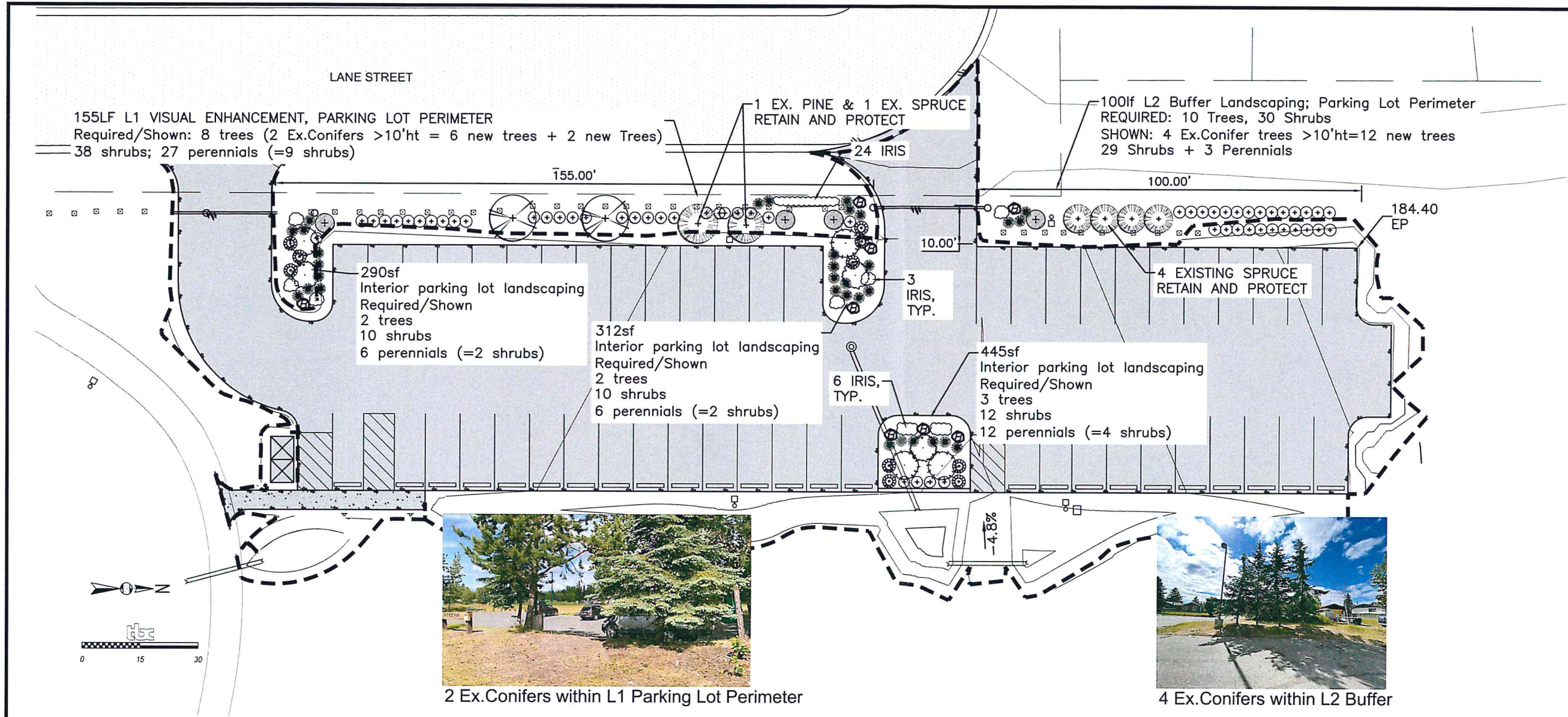
The Boutel Company, Inc.
601 E. 57th Place #102
Anchorage, AK 99518
Ph. 907-522-6776
Fx. 907-522-6779
License No. AECC957

Department of
Parks and
Recreation

Municipality of
Anchorage



PARKS AND RECREATION DEPARTMENT									
DAVE ROSE PARK ANCHORAGE, ALASKA 99508									
DETAILS AND SECTIONS									
SCALE	HOR.	NA	DATE	GRID	DATE	STATUS	SHEET	C7	of C7
	VER	NA	JULY 2021	SW1236		ADMIN SITE PLAN REVIEW			



- LANDSCAPING NOTES**
1. COORDINATE PLANTING WITH CIVIL AND UTILITIES. CALL BEFORE YOU DIG 811.
 2. LANDSCAPE PLANTING DETAILS AND MATERIALS SHALL BE IN ACCORDANCE WITH THE MOST CURRENT VERSION OF THE MUNICIPALITY OF ANCHORAGE STANDARD SPECIFICATIONS (M.A.S.S.) UNLESS OTHERWISE NOTED.
 3. ALL PLANT MATERIAL SHALL CONFORM TO AMERICAN STANDARD FOR NURSERY STOCK, ANSI 260.1-2014.
 4. CONTRACTOR TO GUARANTEE PLANT ESTABLISHMENT THROUGH MAINTENANCE. WARRANTY PERIOD SHALL BE ONE GROWING SEASON FROM DATE OF INSTALLATION, IN ACCORDANCE WITH M.A.S.S.
 5. MULCH: INTERIOR LANDSCAPE AREAS (1047sf) SHALL RECEIVE MIN 18" DEPTH TOPSOIL AND MIN. 3" RIVER ROCK MULCH UNLESS OTHERWISE INDICATED ON PLANS.
 6. ALL DECIDUOUS TREES IN PARKING LOT AREA SHALL RECEIVE MOOSE PROTECTION FENCING.
 7. RESTORE AREAS DISTURBED BY CONSTRUCTION WITH 2" TOPSOIL AND SEED UNLESS OTHERWISE INDICATED ON PLANS.

- TITLE 21 LANDSCAPE CALCULATIONS**
1. TOTAL PARKING LOT SURFACE AREA: 29783SF
 2. TOTAL PARKING LOT SPACES: 50
 3. INTERIOR LANDSCAPE PLANTING AREAS PROVIDED = 1047SF OR 5.2%
 4. As per 21.07.080.F.1.d.i Coniferous trees 10 ft or more in height are equivalent to three new trees. See Images this sheet.

PARKING LOT PLANTING SCHEDULE

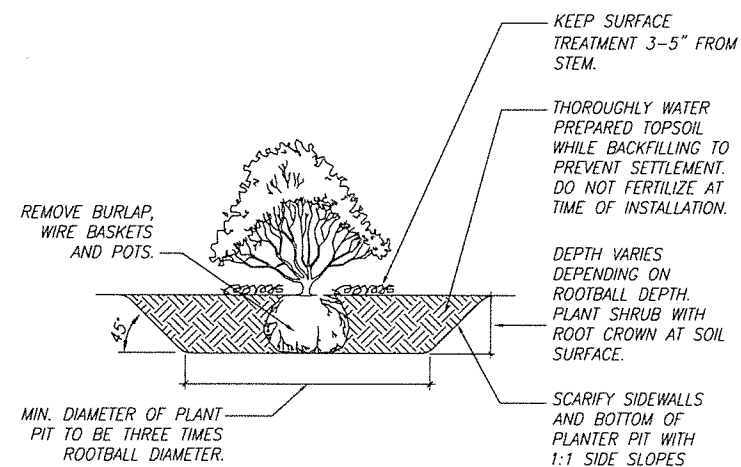
QTY	SYMBOL	LATIN NAME	COMMON NAME	SIZE	FURNISHED	NOTES	QTY	SYMBOL	LATIN NAME	COMMON NAME	SIZE	FURNISHED	NOTES
DECIDUOUS TREES							SHRUBS						
2		<i>Betula papyrifera</i>	Alaska Paper Birch	2" CAL.	B&B	SINGLE STEM	10		<i>Juniperus horizontalis</i> 'Blue Chip'	'Blue Chip' Juniper	5" HT.	POTTED	
3		<i>Malus baccata</i> 'Dolgo'	'Dolgo' Siberian Crabapple	2" CAL.	B&B	SINGLE STEM	4		<i>Physocarpus opulifolius</i> 'Seward'	'Summer Wine' Purple Ninebark	24" HT.	POTTED	
4		<i>Populus tremula</i> 'Erecta'	Columnar Aspen	2" CAL.	B&B	SINGLE STEM	27		<i>Rosa rugosa</i>	Rugosa Rose	24" HT.	POTTED	
							35		<i>Rubus</i> sp.	Edible Raspberries, mixed varieties	24" HT.	POTTED	
							32		<i>Spirea japonica</i> 'Goldflame'	'Goldflame' Spirea	18" HT.	POTTED	
PERENNIALS													
							54		<i>Iris setosa</i>	Flag Iris	12" HT.	POTTED	

MISCELLANEOUS

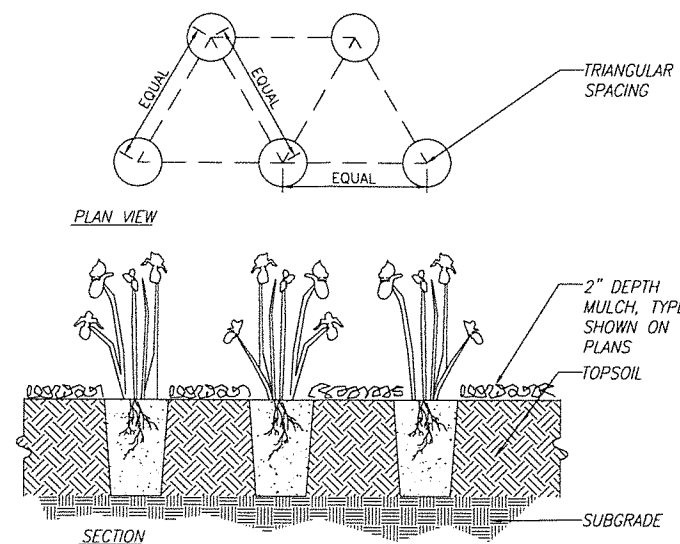
2" TOPSOIL & MEADOW SEED MIX
3 lbs Per - 1000 sq/ft
30% Kentucky Blue Grass 'Kenai'
25% Red Fescue 'Boreal'
25% Red Fescue 'Arctared'
15% White Yarrow
5% Annual Rye

9 BOULDER-A

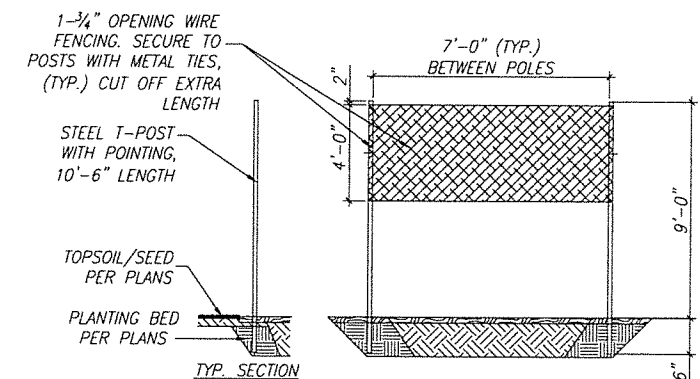
FIELD BOOKS <table><tr><th>BM NO.</th><th>LOCATION</th><th>ELEV.</th><th>DATA</th><th>DRAWN BY</th><th>CHECKED BY</th><th>DATA</th><th>DRAWN BY</th><th>CHECKED BY</th><th>REV</th></tr><tr><td>DESIGN:</td><td></td><td></td><td>BASE</td><td>TBC</td><td></td><td>TELEPHONE</td><td></td><td></td><td></td></tr><tr><td>STAKING:</td><td></td><td></td><td>TOPOGRAPHY</td><td>TBC</td><td></td><td>ELECTRIC</td><td></td><td></td><td></td></tr><tr><td>ASBUILT:</td><td></td><td></td><td>PROFILE</td><td>TBC</td><td></td><td>CABLE TV</td><td></td><td></td><td></td></tr><tr><td>CONTRACTOR:</td><td></td><td></td><td>SANITARY SEWER</td><td></td><td></td><td>TRAFFIC SIGNAL</td><td></td><td></td><td></td></tr><tr><td>INSPECTOR:</td><td></td><td></td><td>STORM SEWER</td><td></td><td></td><td>DESIGN</td><td>TBC</td><td></td><td></td></tr><tr><td>CONSTRUCTION RECORD</td><td></td><td></td><td>WATER</td><td></td><td></td><td>QUANTITIES</td><td>TBC</td><td></td><td></td></tr><tr><td></td><td></td><td></td><td>GAS</td><td></td><td></td><td>MUN. FINAL CHECK</td><td></td><td></td><td></td></tr></table>										BM NO.	LOCATION	ELEV.	DATA	DRAWN BY	CHECKED BY	DATA	DRAWN BY	CHECKED BY	REV	DESIGN:			BASE	TBC		TELEPHONE				STAKING:			TOPOGRAPHY	TBC		ELECTRIC				ASBUILT:			PROFILE	TBC		CABLE TV				CONTRACTOR:			SANITARY SEWER			TRAFFIC SIGNAL				INSPECTOR:			STORM SEWER			DESIGN	TBC			CONSTRUCTION RECORD			WATER			QUANTITIES	TBC						GAS			MUN. FINAL CHECK				REVISIONS <table><tr><th>BY</th><th>REV</th><th>DATE</th><th>DESCRIPTION</th></tr><tr><td></td><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td><td></td></tr></table>										BY	REV	DATE	DESCRIPTION													CONSULTANT <table><tr><td>SEAL</td><td></td></tr></table>										SEAL		Department of Parks and Recreation Healthy Parks Healthy People Municipality of Anchorage										2021 DAVE ROSE PARK PARKING LOT IMPROVEMENTS DAVE ROSE PARK ANCHORAGE, ALASKA 99508 LANDSCAPE PLAN SCALE: HOR. PER PLAN VER. PER PLAN DATE: 07/15/2021 GRID: - STATUS: Landscape Plan Review SHEET L1 of L2									
BM NO.	LOCATION	ELEV.	DATA	DRAWN BY	CHECKED BY	DATA	DRAWN BY	CHECKED BY	REV																																																																																																																																										
DESIGN:			BASE	TBC		TELEPHONE																																																																																																																																													
STAKING:			TOPOGRAPHY	TBC		ELECTRIC																																																																																																																																													
ASBUILT:			PROFILE	TBC		CABLE TV																																																																																																																																													
CONTRACTOR:			SANITARY SEWER			TRAFFIC SIGNAL																																																																																																																																													
INSPECTOR:			STORM SEWER			DESIGN	TBC																																																																																																																																												
CONSTRUCTION RECORD			WATER			QUANTITIES	TBC																																																																																																																																												
			GAS			MUN. FINAL CHECK																																																																																																																																													
BY	REV	DATE	DESCRIPTION																																																																																																																																																
SEAL																																																																																																																																																			



1 SHRUB PLANTING
L2 SCALE: NTS

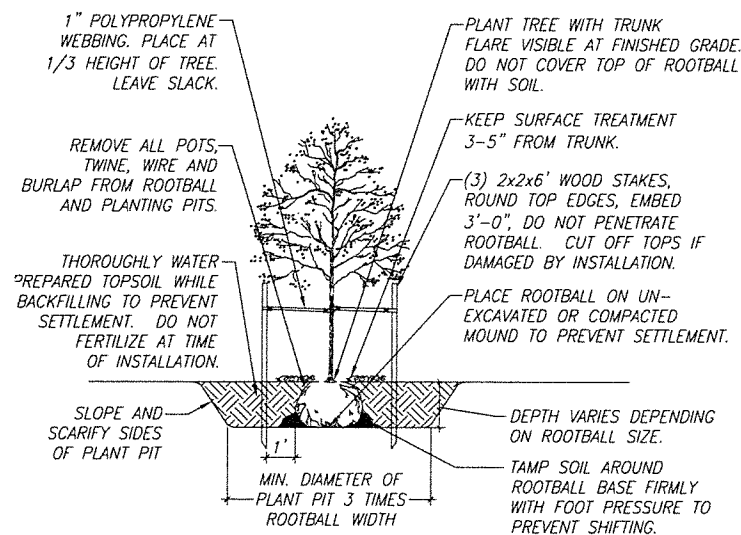


2 PERENNIAL PLANTING
L2 SCALE: NTS

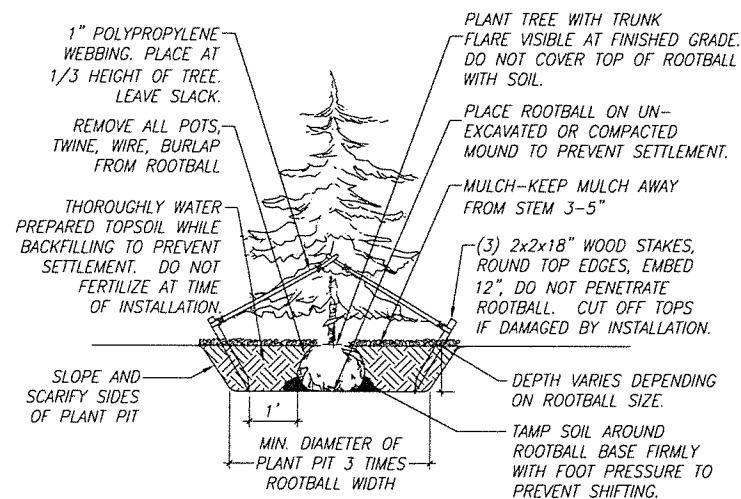


- NOTES:
1. MOOSE PROTECTION FENCING REQUIRED AROUND ALL NEW DECIDUOUS TREES
 2. FOR INDIVIDUAL TREES, 3 POSTS REQUIRED PER TREE.
 3. FOR TREE GROUPINGS, PLACE POLES AS NECESSARY SO THAT NETTING DOES NOT TOUCH BRANCHES.

3 MOOSE PROTECTION
L2 SCALE: NTS

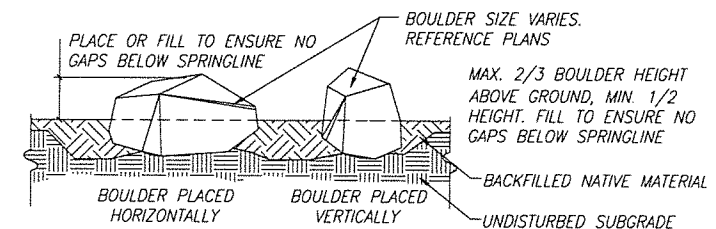


4 DECIDUOUS TREE PLANTING-STAKED
L2 SCALE: NTS



5 EVERGREEN TREE PLANTING-STAKED
L2 SCALE: 1"=1'-0"

LANDSCAPE BOULDER SIZING SCHEDULE		
BOULDER SYMBOL	CIRCUMFERENCE (± 2 FT.)	HEIGHT (± 0.5 FT.)
	12 FT.	4'
	9 FT.	3'



- NOTES:
- 1) LOCATION AND ORIENTATION OF PLACED ROCKS SHALL BE FIELD VERIFIED BY OWNER'S REPRESENTATIVE.
 - 2) ROCKS SHOULD BE NO HIGHER THAN 24" ABOVE ANY ADJACENT GRADE.
 - 3) CIRCUMFERENCE REFERS TO THE LARGEST CIRCUMFERENCE OF THE BOULDER.
 - 4) HEIGHT IS MEASURED PERPENDICULAR TO AXIS USED FOR DETERMINING CIRCUMFERENCE.

6 LANDSCAPE BOULDERS
L2 SCALE: NTS

<table border="1"> <tr> <th>FIELD BOOKS</th> <th>BM NO.</th> <th>LOCATION</th> <th>ELEV.</th> <th>DATA</th> <th>DRAWN BY</th> <th>CHECKED BY</th> <th>DATA</th> <th>DRAWN BY</th> <th>CHECKED BY</th> <th>REV</th> <th>DATE</th> <th>DESCRIPTION</th> <th>BY</th> <th>REV</th> </tr> <tr> <td>DESIGN:</td> <td></td> <td></td> <td></td> <td>BASE</td> <td>TBC</td> <td></td> <td>TELEPHONE</td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>STAKING:</td> <td></td> <td></td> <td></td> <td>TOPOGRAPHY</td> <td>TBC</td> <td></td> <td>ELECTRIC</td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>ASBUILT:</td> <td></td> <td></td> <td></td> <td>PROFILE</td> <td>TBC</td> <td></td> <td>CABLE TV</td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>CONTRACTOR:</td> <td></td> <td></td> <td></td> <td>SANITARY SEWER</td> <td></td> <td></td> <td>TRAFFIC SIGNAL</td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>INSPECTOR:</td> <td></td> <td></td> <td></td> <td>STORM SEWER</td> <td></td> <td></td> <td>DESIGN</td> <td>TBC</td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td></td> <td></td> <td></td> <td></td> <td>WATER</td> <td></td> <td></td> <td>QUANTITIES</td> <td>TBC</td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td></td> <td></td> <td></td> <td></td> <td>GAS</td> <td></td> <td></td> <td>MUN. FINAL CHECK</td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> </table>										FIELD BOOKS	BM NO.	LOCATION	ELEV.	DATA	DRAWN BY	CHECKED BY	DATA	DRAWN BY	CHECKED BY	REV	DATE	DESCRIPTION	BY	REV	DESIGN:				BASE	TBC		TELEPHONE								STAKING:				TOPOGRAPHY	TBC		ELECTRIC								ASBUILT:				PROFILE	TBC		CABLE TV								CONTRACTOR:				SANITARY SEWER			TRAFFIC SIGNAL								INSPECTOR:				STORM SEWER			DESIGN	TBC											WATER			QUANTITIES	TBC											GAS			MUN. FINAL CHECK								 The Boutet Company, Inc. 601 E. 57th Place #102 Anchorage, AK 99518 Ph. 907-522-6776 Fx. 907-522-6779 License No. AECC957		Department of Parks and Recreation Municipality of Anchorage		 Healthy Parks Healthy People		 MUNICIPALITY OF ANCHORAGE		2021 DAVE ROSE PARK PARKING LOT IMPROVEMENTS DAVE ROSE PARK ANCHORAGE, ALASKA 99508 LANDSCAPING DETAILS			
FIELD BOOKS	BM NO.	LOCATION	ELEV.	DATA	DRAWN BY	CHECKED BY	DATA	DRAWN BY	CHECKED BY	REV	DATE	DESCRIPTION	BY	REV																																																																																																																															
DESIGN:				BASE	TBC		TELEPHONE																																																																																																																																						
STAKING:				TOPOGRAPHY	TBC		ELECTRIC																																																																																																																																						
ASBUILT:				PROFILE	TBC		CABLE TV																																																																																																																																						
CONTRACTOR:				SANITARY SEWER			TRAFFIC SIGNAL																																																																																																																																						
INSPECTOR:				STORM SEWER			DESIGN	TBC																																																																																																																																					
				WATER			QUANTITIES	TBC																																																																																																																																					
				GAS			MUN. FINAL CHECK																																																																																																																																						
CONSTRUCTION RECORD VERTICAL DATUM PLAN CHECK REVISIONS CONSULTANT SEAL										SCALE HOR. PER PLAN VER. PER PLAN		DATE: 07/15/2021 STATUS: Landscape Plan Review		GRID: - SHEET L2 of L2																																																																																																																															