

Application for Administrative Site Plan Review

Municipality of Anchorage
Planning Department
PO Box 196650
Anchorage, AK 99519-6650

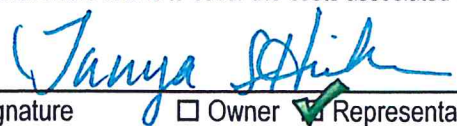
PETITIONER*	PETITIONER REPRESENTATIVE (if any)
Name (last name first) MOA Parks and Recreation, Taylor Keegan, Project Manager	Name (last name first) The Boutet Company, Tanya Hickok, Project Engineer
Mailing Address PO Box 196650	Mailing Address 601 E. 57th Place, Suite 102
Anchorage, AK 99519	Anchorage, AK 99519
Contact Phone – Day (907) 343-4586	Contact Phone – Day (907) 522-6776
Evening	Evening (907) 223-5339
Fax	Fax
E-mail taylor.keegan@anchorageak.gov	E-mail thickok@tbcak.com

*Report additional petitioners or disclose other co-owners on supplemental form. Failure to divulge other beneficial interest owners may delay processing of this application.

PROPERTY INFORMATION			
Property Tax #(000-000-00-000): 005-131-02-000			
Site Street Address: 3865 Elmore Road			
Current legal description: (use additional sheet if necessary) Tract A, University Lake Subdivision			
Zoning: PLI	Acreage: ~ 64.16	Grid #: SW1736	Underlying plat #: 85-0299

SITE PLAN APPROVAL REQUESTED	
Use: Community Park Parking (Accessory Use to a Primary Principal Use)	
☐ New SPR	☐ Amendment to approved site plan Original Case #:

I hereby certify that (I am)(I have been authorized to act for) owner of the property described above and that I petition for an administrative site plan review in conformance with Title 21 of the Anchorage Municipal Code of Ordinances. I understand that payment of the application fee is nonrefundable and is to cover the costs associated with processing this application, and that it does not assure approval of the site plan.

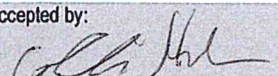

Signature ☐ Owner ☒ Representative

(Representatives must provide written proof of authorization)

06/05/20
Date

Tanya Hickok, P.E.

Print Name

Accepted by: 	Poster & Affidavit: N/A	Fee: \$1,387.50	Case Number: 2020-0102
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COMPREHENSIVE PLAN INFORMATION**Anchorage 2020 Urban/Rural Services:** ☒ Urban ☐ Rural**Anchorage 2040 Land Use Designation(s):**

- | | | |
|---|--|--|
| ☐ Large Lot Residential | ☐ Single and Two-family Residential | ☐ Compact Mixed Residential – low |
| ☐ Compact Mixed Residential–Medium | ☐ Urban Residential – High | ☐ Neighborhood Center |
| ☐ Town Center | ☐ Regional Commercial Center | ☐ City Center |
| ☐ Commercial Corridor | ☐ Main Street Corridor | ☒ Open Space |
| ☐ Facilities and Institutions | ☐ Industrial | |

Anchorage 2040 Growth Supporting Features:

- | | |
|--|---|
| ☒ Transit-supportive Development | ☐ Residential Mixed-use Development |
| ☒ Greenway-supported Development | ☐ Traditional Neighborhood Development |

Chugiak-Eagle River Land Use Classification:

- | | | | |
|---|--|---|--|
| ☐ Commercial | ☐ Industrial | ☐ Parks | ☐ Community Facility |
| ☐ Town Center | ☐ Transportation facility | ☐ Special study area | ☐ Development reserve |
| ☐ Residential at _____ dwelling units per acre | | | |

Girdwood- Turnagain Arm Land Use Classification:

- | | | | |
|---|--|---|--|
| ☐ Commercial | ☐ Industrial | ☐ Parks/open space | ☐ Public lands/institutions |
| ☐ Resort | ☐ Transportation facility | ☐ Special study area | ☐ Reserve |
| ☐ Commercial/Residential | ☐ Commercial Recreation | | |
| ☐ Residential at _____ dwelling units per acre | | | |

Neighborhood, District or Other Area-Specific Plan: University-Medical District**ENVIRONMENTAL INFORMATION** (All or portion of site affected)

- | | | | | |
|--------------------------------|--|--|-----------------------------------|---|
| Wetland Classification: | ☒ None | ☐ "C" | ☐ "B" | ☒ "A" |
| Avalanche Zone: | ☒ None | ☐ Blue Zone | ☐ Red Zone | |
| Floodplain: | ☒ None | ☒ 100 year | ☐ 500 year | |
| Seismic Zone (Harding/Lawson): | ☐ "1" | ☒ "2" | ☐ "3" | ☐ "4" ☐ "5" |

RECENT REGULATORY INFORMATION (Events that have occurred in last 5 years for all or portion of site)

- | |
|---|
| ☐ Rezoning - Case Number: |
| ☐ Preliminary Plat ☐ Final Plat - Case Number(s): |
| ☐ Conditional Use - Case Number(s): |
| ☐ Zoning variance - Case Number(s): |
| ☐ Land Use Enforcement Action for |
| ☐ Building or Land Use Permit for |
| ☐ Wetland permit: ☐ Army Corp of Engineers ☐ Municipality of Anchorage |

SUBMITTAL REQUIREMENTS (Only one copy of applicable items is required for initial submittal)

1 copy required:

- ☒ Signed application (original)
- ☒ Watershed sign off form, completed
- ☒ 8 1/2" by 11" copy of site plan/building plans submittal

26 copies required:

- ☐ Signed application (copies)
- ☒ Project narrative explaining:
 - ☐ the project
 - ☐ planning objectives
 - ☐ addressing the site plan review criteria on page 3 of this application
- ☒ Site plan to scale depicting, with dimensions:
 - ☐ building footprints
 - ☐ parking areas
 - ☐ vehicle circulation and driveways
 - ☐ pedestrian facilities
 - ☐ lighting
 - ☐ grading
 - ☐ landscaping
 - ☐ loading facilities
 - ☐ freestanding sign location(s)
 - ☐ required open space
 - ☐ drainage
 - ☐ snow storage area or alternative
- strategy
 - ☐ trash receptacle location and screening detail
 - ☐ fences
 - ☐ significant natural features
 - ☐ easements
 - ☐ project location
- ☐ Building plans to scale depicting, with dimensions:
 - ☐ building elevations
 - ☐ floor plans
 - ☐ exterior colors and textures
- ☐ Assembly Ordinance enacting zoning special limitations, if applicable

(Additional information may be required.)

SITE PLAN REVIEW STANDARDS (21.03.180)

The Planning Director may only approve a site plan if the director finds that **all** of the following standards are satisfied. Each standard must have a response in as much detail as it takes to explain how your project satisfies the standard. The burden of proof rests with you.

1. The site plan is consistent with any previously approved subdivision plat, planned development master plan, or any other precedent plan or land use approval;
2. The site plan complies with all applicable development and design standards set forth in this title, including but not limited to the provisions in chapter 21.04, *Zoning Districts*, chapter 21.05, *Use Regulations*, chapter 21.06, *Dimensional Standards and Measurements*, and chapter 21.07, *Development and Design Standards*;
3. The site plan addresses any significant adverse impacts that can reasonably be anticipated to result from the use, by mitigating or offsetting those impacts to the maximum extent feasible; and
4. The development proposed in the site plan is consistent with the goals, objectives, and policies of the comprehensive plan.

1. Project Overview

The Municipality of Anchorage (MOA) Parks and Recreation Department (Parks and Rec) in 2020 proposes to focus on expanding the existing University Lake Park (ULP) parking lot, in conjunction with identification of future multi-use trail circulation wayfinding improvements. MOA Parks is building on the principles established in the University Lake Park Master Plan which was approved by the Planning and Zoning Commission in January 2017.

2. History, Background, and Existing Conditions

History

In 1984, negotiations began for the purchase of what is now University Lake Park. The property was acquired through a land trade with Heritage Land Bank (HLB) for the purpose of Parks and Recreation.

University Lake, formerly Behm Lake, was a gravel pit used in the 1960's to develop lands in the University Area. Around 1980, Chester Creek was diverted to flow through University Lake. In 2003, the Anchorage Assembly passed AO No. 2003-108(s), authorizing off-leash dog park spaces at five municipal parks, including University Lake Park.

In 2016, MOA Parks and Rec worked with an advisory group to develop a master plan for University Lake Park. The master plan received resolutions of support from the University Area Community Council, the Parks and Recreation Commission, and the Planning and Zoning Commission.

The [University Lake Park Master Plan](#) was approved by the Planning and Zoning Commission in January 2017.

Background

University Lake Park is a 64-acre park located in the University-Medical District (UMED) District of Anchorage. The park is classified as a Community Use Park and Natural Resource Area in the 2006 Anchorage Bowl Parks, Natural Resource Use, & Recreation Facilities Plan.

University Lake Park is located east of Elmore Road between Alaska Pacific University and the Alaska Native Tribal Health Consortium medical campus. To the east and south is a popular multi-use trail connecting the Chester Creek Trail and the Campbell Creek Trail.

Existing Conditions

University Lake Park has a single existing parking lot, located off of Elmore Road, at the park's southwest corner. The lot is paved and accommodates 20 vehicles. In addition, contiguous parking is available in lots associated with facilities at ULP's south and west boundaries. Specifically, there are lots associated with medical and professional services buildings at the north end of Tudor Center Drive (south side ULP) and a lot associated with the Springhill Suites hotel at ULP's northwest corner. Although these parking lots are privately owned and operated, some park visitors do use them.

3. General Site Plan Review Standards

1. ***The site plan is consistent with any previously approved subdivision plat, planned development master plan, or any other precedent plan or land use approval.***

The proposed site plan is consistent with the previously approved ULP Master Plan, as well as consistent with the University Lake Community Council's desires.

2. ***The site plan complies with all applicable development and design standards set forth in this title, including but not limited to the provisions in chapter 21.04, Zoning Districts, Chapter 21.05, Use Regulations, chapter 21.06, Dimensional Standards and Measurements, and chapter 21.07, Development and Design Standards.***

21.04 Zoning Districts: This site is zoned PLI, under the jurisdiction of 21.040.060.E, "The PLI district is intended to include major public and quasi-public civic, administrative, and institutional uses and activities." The proposed continued use as a dog park and parking lot (accessory use) therefore complies with the PLI zoning district.

21.05 Use Regulation: In accordance with Table 21.05-1, parks and their accessory uses are a permitted principal use in the PLI zoning district.

21.06 Dimensional Standards and Measurements: In accordance with Table 21.06-3, the lot meets the minimum lot size area and width requirements (6,000 square feet and 50 feet wide). In addition, the proposed upgrades are outside the required setbacks (front, side, and rear yard: 25 feet when abutting residential zoning districts). This parcel abuts R-1 to the east, PLI to the north, PLI to the west, and R-O SL and B-3 SL to the south); the proposed upgrades do not exceed the maximum lot coverage requirement of 45%; and does not exceed the maximum height requirement of 45 feet.

21.07 Development and Design Standards:

- *21.07.020 Natural Resource Protection*

- *Subsection B.4.d.: Water Bodies:* University Lake is located within the University Lake Park. No buildings, accessory structures, or parking lots are proposed within 25 feet horizontally of the ordinary high water mark of University Lake.
- *Subsection E: Flood Hazard Area Regulations:* The proposed improvements are located outside of the Existing Flood Hazard Zone A for University Lake.
- *21.07.040 Drainage, Storm Water Treatment, Erosion Control, and Prohibited Discharges:* The proposed project improvements include improvements to the existing drainage system, including biofiltration swales per MOA DCM requirements.
- *21.07.080 Landscaping, screening, and fences:* The proposed parking lot project improvements include the required 5% minimum interior parking lot landscaping improvements. Existing vegetation will be retained to meet the required perimeter parking lot landscape requirements.

3. The site plan addresses any significant adverse impacts that can reasonably be anticipated to result from the use, by mitigating or offsetting those impacts to the maximum extent feasible.

There are no adverse impacts anticipated. The proposed improvements will provide additional needed parking and trail circulation wayfinding for the existing dog park.

4. The development proposed in the site plan is consistent with goals, objectives, and policies of the comprehensive plan.

The table below presents key policies and strategies promulgated in Anchorage 2020, Anchorage Comprehensive Plan and the 2040 Land Use Plan, as well as the additional Adopted Elements per Anchorage Municipal Code (AMC) 21.01.080, and describes how the proposed Project fulfills these policies and strategies.

Comprehensive Plan Elements Policies and Strategies

<i>Comprehensive Plan Element</i>	<i>#</i>	<i>Policy</i>	<i>Discussion of Consistency</i>
<u>Areawide Trails Plan, 1997</u>		<i>Multi-use Paved and Unpaved Trails</i>	University Lake Park retains and MOA Parks and Recreation maintains the existing paved multi-use paved trails (Chester Creek – Campbell Creek Connector Trail) and soft surface trails (off-leash University Lake Loop Trail) that run throughout the park.
<u>Anchorage Bicycle Plan, 2010</u>			This site plan retains the multi-use paved and unpaved trails running through University Lake Park, as well as identify trail and wayfinding improvements proposed in the University Lake Master Plan.
<u>Anchorage Bowl Park, Natural Resources, and Recreation Facility Plan, 2006</u>		<i>Park Classifications - Community Use Area: Community parks are larger in size and serve a broader purpose than neighborhood parks. The focus is on meeting the recreation needs of several neighborhoods or a large section of the community.</i>	University Lake Park will remain consistent with its Community Use Area. University Lake Park has become increasingly popular, and this parking lot project will increase the available park parking.
<u>Anchorage 2020, Anchorage Bowl</u>	42	<i>Northern city design concepts</i>	Proposed improvements include site lighting, which will enhance

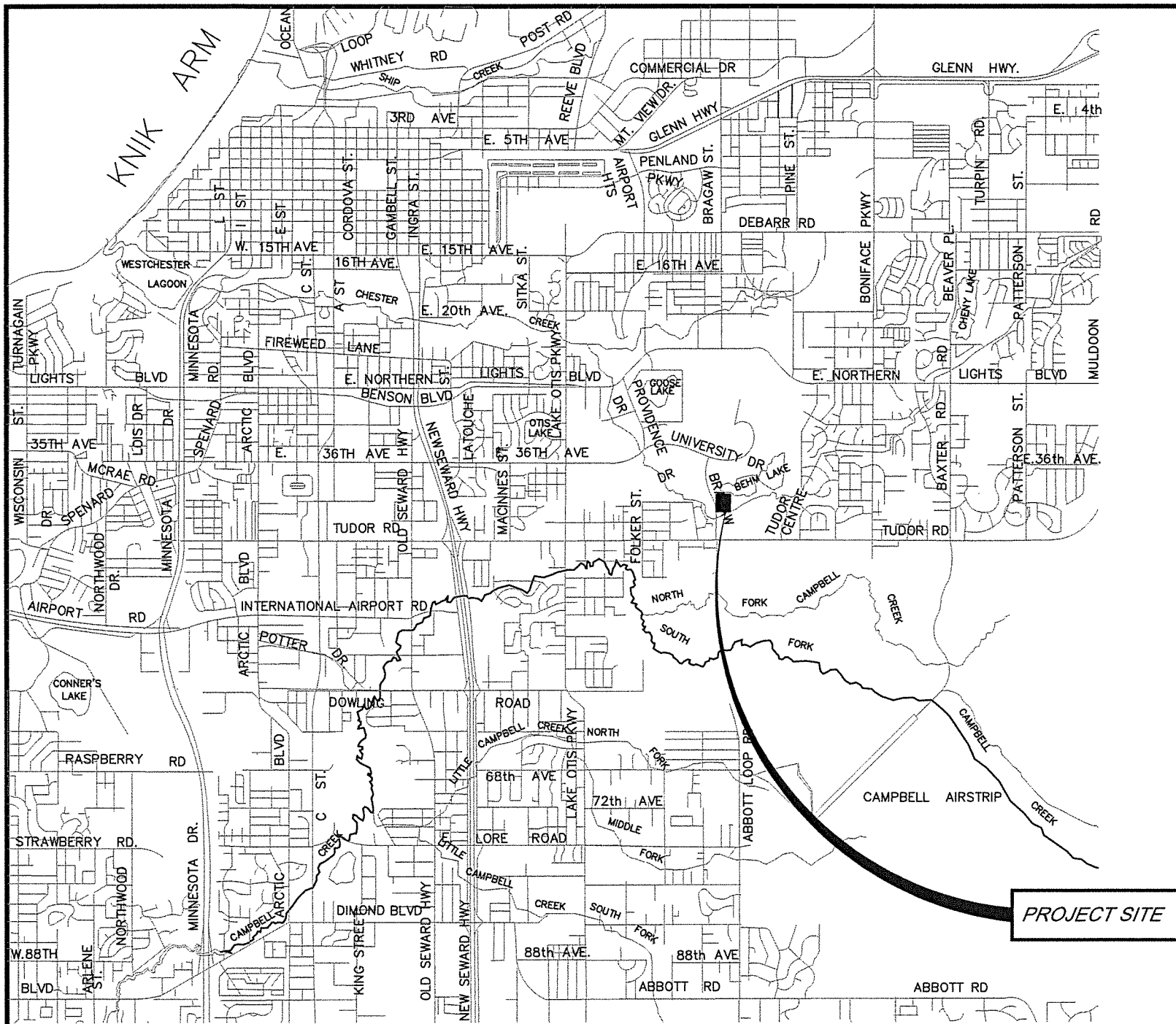
<u>Comprehensive Plan</u>			the park's recreational opportunities during winter darkness.
	44	<i>Design and build public improvements for long-term use.</i>	The proposed parking lot is designed to meet ADA standards, as well as meeting MOA Design Criteria Manual standards.
	63	<i>Natural open space protection</i>	Less than an acre of area is planned to be disturbed for the proposed parking lot. The remaining 64 acres of park (University Lake encompasses 26 acres alone) will remain as-is.
Anchorage 2040 Land Use Plan	8.1	<i>Ensure all neighborhoods and communities have access to nearby parks and recreational opportunities that support well-being.</i>	University Lake Park is a Community Use Park and Natural Area located in the rapidly developing UMED of Anchorage.

4. Special Limitation Standards

The property has no Special Limitations; therefore, this section is not applicable.

5. Schedule

Task	Activity Milestone	Completion Date
Design	Construction Documents	June, 2020
Permitting	Administrative Site Plan Review	June/July 2020
	Fill and Grade Permit	July, 2020
Construction	Contract Award	August, 2020
	Final Completion	October, 2020



VERIFY SCALES

BAR IS ONE INCH ON ORIGINAL DRAWING

0 1" 1"

IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY

VICINITY MAP

ANCHORAGE, ALASKA

UNOFFICIAL
GRAPHIC SCALE
0 1/2 1 MILE



MUNICIPALITY OF ANCHORAGE

PARKS AND RECREATION DEPARTMENT

2020 UNIVERSITY LAKE PARK

PARKING LOT IMPROVEMENTS

UNIVERSITY LAKE DRIVE
ANCHORAGE, ALASKA 99508

SHEET INDEX:

- G1 COVER SHEET AND SHEET INDEX
- G2 NOTES, ABBREVIATIONS, AND LEGEND
- G3 SURVEY CONTROL
- G4 DEMOLITION PLAN
- C1 SITE PLAN
- C2 HORIZONTAL CONTROL PLAN
- C3 GRADING PLAN
- C4 DRIVEWAY GRADING PLAN
- C5 CROSS SECTIONS
- C6 DETAILS
- E1 ILLUMINATION PLAN
- E2 ILLUMINATION DETAILS
- L1 LANDSCAPING PLAN
- L2 LANDSCAPING DETAILS

JOSHUA DURAND
DIRECTOR PARKS AND RECREATION

2020 UNIVERSITY LAKE PARK PARKING LOT IMPROVEMENTS										UNIVERSITY PARK DRIVE ANCHORAGE, AK 99508			
COVER SHEET AND SHEET INDEX										G1 of 14			
FIELD BOOKS	BM NO.	LOCATION	ELEV.	DATA	DATE	REVISION	DATE	DESCRIPTION	BY	REVISION	DATE	DESCRIPTION	BY
DESIGN				BASE	TBC	TELEPHONE							
STAKING				TOPOGRAPHY	TBC	ELECTRIC							
ASBUILT				PROFILE	TBC	CABLE TV							
CONTRACTOR				SANITARY SEWER		TRAFFIC SIGNAL							
INSPECTOR				STORM SEWER		DESIGN	TBC						
CONSTRUCTION RECORD				WATER		QUANTITIES	TBC						
				GAS		FINAL CHECK							
PLAN CHECK										REVISIONS			
CONSULTANT										SEAL			

GENERAL NOTES:

1. CONSTRUCTION SHALL BE COMPLETED IN ACCORDANCE WITH THE MUNICIPALITY OF ANCHORAGE STANDARD SPECIFICATIONS, STREETS--DRAINAGE--UTILITIES--PARKS, DATED 2015 HEREAFTER REFERRED TO AS M.A.S.S., AS CURRENTLY AMENDED BY THE SPECIAL PROVISIONS AND THESE CONSTRUCTION DRAWINGS.
2. THE CONTRACTOR SHALL PROVIDE AN 6--FOOT HIGH TEMPORARY CHAIN LINK FENCE AROUND THE DISTURBED AREA DURING THE CONSTRUCTION PERIOD. THE FENCE SHALL BE LOCKED SECURELY EVERYDAY AT END OF OPERATIONS. TEMPORARY FENCING SHALL BE CONSIDERED INCIDENTAL TO THIS CONTRACT AND NO SEPARATE PAYMENT SHALL BE MADE.
3. DRAWING SCALES ON SHEETS WITHIN THESE PLANS MAY VARY AND SHOULD BE NOTED PRIOR TO USE. THESE PLANS WERE CREATED FOR 22X34 PLAN SET AND AT A SPECIFIC DRAWING SCALE. ANY REPRODUCTION OR PUBLISHING OF THESE PLANS MAY RESULT IN DISTORTION OF SCALE AND SHALL BE VERIFIED PRIOR TO USE.
4. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO BEGINNING CONSTRUCTION. THE PERMITS SHALL BE MAINTAINED AT THE JOB SITE.
5. CONTRACTOR SHALL MAINTAIN "REDLINE" RECORD DRAWINGS ON A CLEAN SET OF CONSTRUCTION DRAWINGS IN ACCORDANCE WITH M.A.S.S. DIVISION 65.00 CONSTRUCTION SPECIFICATIONS FOR CONSTRUCTION SURVEY. THE "REDLINES" SHALL BE KEPT CURRENT ON A DAILY BASIS AND SHALL BE AVAILABLE TO THE ENGINEER FOR INSPECTION ON THE JOBSITE.
6. CONTRACTOR SHALL RECORD SURVEY NOTES FOR SUBMITTAL WITH AS--BUILT PLANS, INCLUDING HORIZONTAL AND VERTICAL LOCATIONS OF ALL UTILITIES ENCOUNTERED IN THE FIELD. CONTRACTOR SHALL RECORD ALL DEVIATIONS FROM THE PLANS.
7. THESE NOTES CONTAIN INFORMATION NECESSARY FOR THE PROPER EXECUTION OF THE WORK CONTAINED ON THESE IMPROVEMENT PLANS. THESE NOTES APPLY TO ALL PLAN SHEETS. ADDITIONAL CONSTRUCTION NOTES MAY ALSO BE SHOWN ON INDIVIDUAL PLAN SHEETS. THE CONTRACTOR IS RESPONSIBLE TO READ AND COMPLY WITH ALL NOTES SHOWN ON THIS SET OF PLANS. THE TERM "CONTRACTOR", AS USED IN THESE NOTES AND ELSEWHERE IN THIS PLAN SET, MEANS THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS AND INDIVIDUALS AUTHORIZED TO PERFORM WORK SHOWN ON THESE IMPROVEMENT PLANS. THE CONTRACTOR IS RESPONSIBLE TO COMPLY WITH ALL NOTES APPLICABLE TO HIS/HER WORK. ALL CONTRACTORS ARE DIRECTED TO CONTACT THIS ENGINEER FOR ANY QUESTIONS REGARDING THE STATED OR IMPLIED MEANING OF ANY NOTE OR OTHER INFORMATION CONTAINED ON THESE IMPROVEMENT PLANS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT HIS/HER CONTRACT FOR SERVICES INCLUDES THE RESPONSIBILITIES DEFINED BY THE APPLICABLE NOTES.
8. ALL QUANTITIES SHOWN HEREIN ARE APPROXIMATE. CONTRACTOR SHALL VERIFY ALL QUANTITIES.

EXISTING UTILITIES:

9. LOCATIONS DEPICTED FOR THE UTILITIES AND OTHER EXISTING FEATURES ARE APPROXIMATE. SOME UTILITIES HAVE BEEN LOCATED FROM AS--BUILT DRAWINGS AND SOME FROM UTILITY COMPANY LOCATES, AND THEREFORE MAY NOT BE VISIBLE.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND VERIFYING ALL UTILITIES AND PERFORMING ANY NECESSARY VERIFICATION PRIOR TO CONSTRUCTION.
11. (UNDERGROUND) OVERHEAD ELECTRICAL AND TELECOMMUNICATION LINES (AND POLES) OCCUR WITHIN THE PROJECT AREA; CONTRACTOR SHALL COORDINATE WORK ACCORDINGLY. ALL WORK IN CLOSE PROXIMITY TO EXISTING (OVERHEAD) UNDERGROUND LINES (AND POLES) SHALL COMPLY WITH APPLICABLE FEDERAL, STATE, AND LOCAL STATUTES, CODES AND GUIDELINES, AND THE ELECTRICAL FACILITY CLEARANCE REQUIREMENTS OF THE GOVERNING UTILITY.
12. HAND DIGGING IS REQUIRED WITHIN TWO FEET OF BURIED ELECTRICAL CABLE. SOME UTILITIES HAVE BEEN LOCATED FROM AS--BUILT DRAWINGS AND MAY NOT BE VISIBLE.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL EXISTING UTILITIES WITHIN THE LIMITS OF CONSTRUCTION, WHETHER OR NOT SAID UTILITIES ARE SHOWN ON THE PLANS. THIS RESPONSIBILITY INCLUDES CONTACTING UTILITY COMPANIES FOR LOCATIONS OR POTHOLING PRIOR TO CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES DURING CONSTRUCTION IS THE RESPONSIBILITY OF THE CONTRACTOR.

EXCAVATION:

14. EXACT LOCATION OF EXCAVATION AND BACKFILL SHALL BE AS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER.
15. ORGANIC MATERIAL SHALL BE REMOVED FROM THE SUBGRADE TO A DEPTH TO BE DETERMINED BY THE ENGINEER. NO ORGANIC MATERIAL OR OTHER DELETERIOUS MATERIAL SHALL BE UTILIZED FOR BACKFILL.
16. DEWATERING IS NOT ANTICIPATED FOR THIS PROJECT. IF DEWATERING IS REQUIRED, REFER TO MASS.
17. CLASSIFIED FILL SHALL BE PLACED IN LIFTS NOT TO EXCEED 12--INCHES IN DEPTH AND SHALL BE COMPACTED TO 95% M.D.D.
18. FINISH GRADE (FG) REPRESENTS THE ELEVATION OF THE FINISHED SURFACE. THIS INCLUDES LANDSCAPE AREAS, PAVED OR CONCRETE SURFACES, ROCK RIP--RAP SURFACE AND ELEVATION AT EXTERIOR OF STRUCTURE FOUNDATION, UNLESS OTHERWISE DENOTED ON DETAIL OR SPECIAL LABEL. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ADJUST SUBGRADE OR TOPSOIL TO ALLOW FOR FINISHED SURFACE MATERIAL DIMENSIONS. IF DETAIL IS PROVIDED FOR SPECIAL AREA, DETAIL SHALL DENOTE FINISH GRADES.
19. CUT AND FILL SLOPES SHALL NOT EXCEED 2 HORIZONTAL UNITS TO 1 VERTICAL UNIT. (2:1)

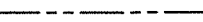
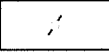
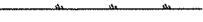
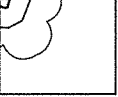
CLEANUP AND TOPSOIL:

20. WORK AND MATERIALS REQUIRED FOR REMOVING LITTER OR DEBRIS THAT EXISTS WITHIN THE PROJECT LIMITS SHALL BE CONSIDERED INCIDENTAL TO THE BID ITEM "DEMOLITION" (OR INCIDENTAL TO THE PROJECT) AND NO SEPARATE PAYMENT SHALL BE MADE.
21. CONTRACTOR SHALL RESTORE DISTURBED PROPERTY TO PRE--CONSTRUCTION CONDITION(S), UNLESS OTHERWISE DIRECTED BY THE ENGINEER. PAYMENT FOR RESTORING DISTURBED PROPERTY SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND AND NO SEPARATE PAYMENT SHALL BE MADE, UNLESS BID ITEMS ARE PROVIDED.

ABBREVIATIONS

ACP	ASPHALT CONCRETE PAVEMENT
ADA	AMERICAN WITH DISABILITIES ACT OF 1990
BM	BENCH MARK
CL	CENTERLINE
E	ELECTRICAL
EL	ELEVATION
EP	EDGE OF PAVEMENT
EST	ESTIMATED
EX	EXISTING
FG(e)	FINISH GRADE EXISTING
FG	FINISHED GRADE
FL	FLOW LINE
FL(e)	FLOW LINE EXISTING
G	GAS
GB	GRADE BREAK
LF	LINEAR FEET
MASS	MUNICIPALITY OF ANCHORAGE STANDARD SPECIFICATIONS
MAX	MAXIMUM
ME	MATCH EXISTING
MIN	MINIMUM
NIC	NOT IN CONTRACT (WORK TO BE PERFORMED BY OTHERS)
NTS	NOT TO SCALE
PCC	PORTLAND CEMENT CONCRETE
PL	PROPERTY LINE
PUE	PUBLIC UTILITY EASEMENT
R	RADIUS
ROW	RIGHT--OF--WAY
REF	REFERENCE
ST	STREET
TEL	TELEPHONE
TBC	TOP BACK OF CURB
TBC (e)	TOP BACK OF CURB EXISTING
TYP	TYPICAL

LEGEND

	PROPERTY LINE
	EXISTING CONTOUR LINE
	PROPOSED CONTOUR LINE
	CLEARING AND GRUBBING LIMITS
	VEGETATION LINE
	GRAVEL PATH EDGE
	EDGE OF PAVEMENT
	PROPOSED ASPHALT PAVEMENT
	PROPOSED GRAVEL
	PROPOSED EDGE OF AC PAVEMENT ELEVATION
	SLOPE RATE IN PERCENT. (e) IF EXISTING
	CONCRETE PARKING BUMPER
	SIGN



Know what's below.
Call before you dig.



The Boutet Company, Inc.
601 E. 57th Place #102
Anchorage, AK 99518
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Fx. 907-522-6779
License No. AECC957

CONSULTANT

SEAL

Department of
Parks and
Recreation

Municipality of
Anchorage

Healthy
Parks

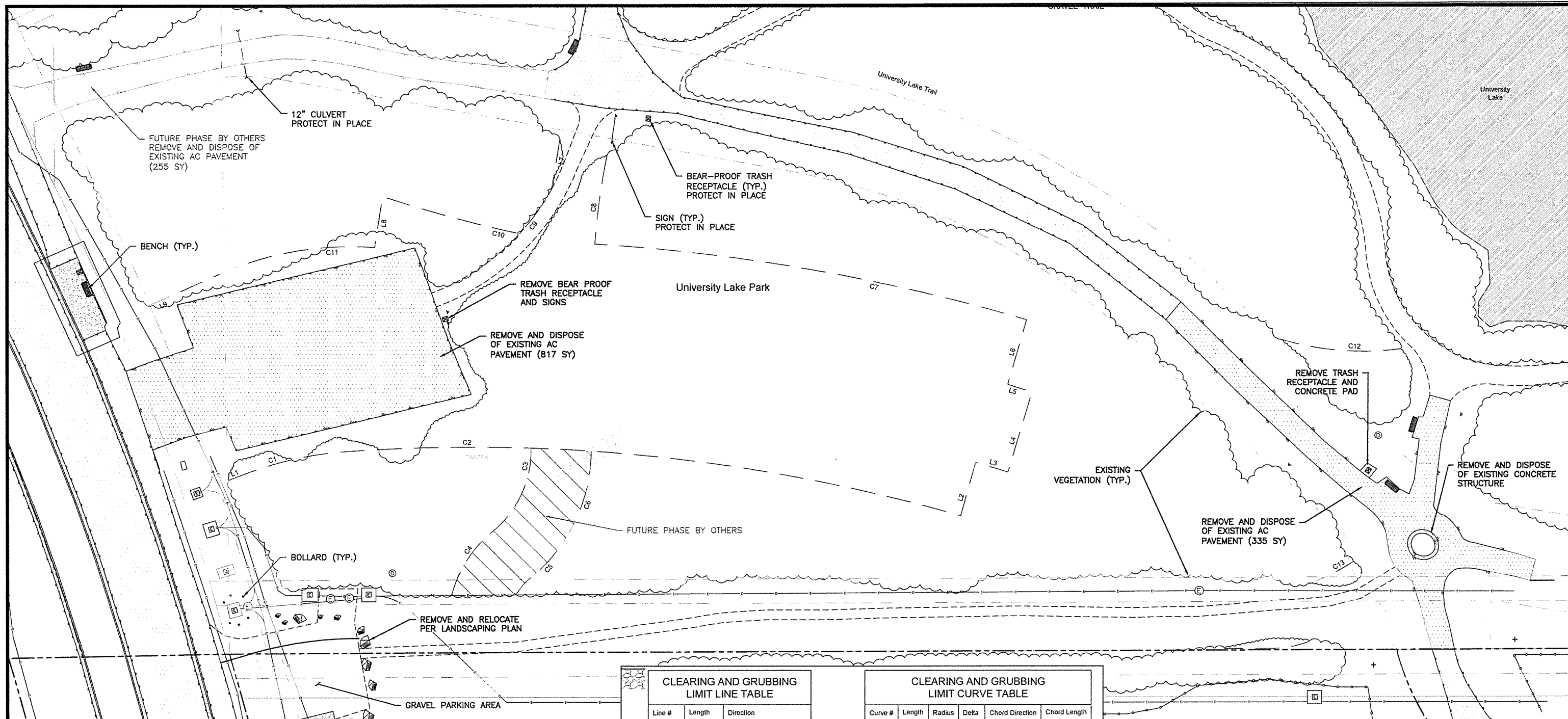


2020 UNIVERSITY LAKE PARK
PARKING LOT IMPROVEMENTS

UNIVERSITY PARK DRIVE
ANCHORAGE, AK 99508

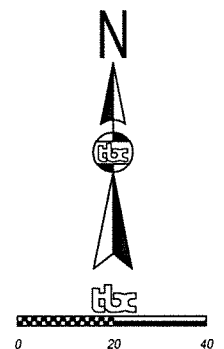
GENERAL NOTES, ABBREVIATIONS,
AND LEGEND

SCALE	HOR. PER PLAN	DATE: 06/19/2020	GRID: SW1736	FIGURE	G2 of 14
	VER. PER PLAN	STATUS: 65%			



Line #	Length	Direction
L1	6.30	N68° 45' 21.30"E
L2	22.75	N15° 30' 13.18"E
L3	13.86	S73° 20' 10.38"E
L4	34.37	N16° 40' 58.01"E
L5	10.44	N72° 25' 39.91"W
L6	27.65	N16° 13' 07.42"E
L7	20.55	S9° 30' 59.33"W
L8	21.28	S8° 44' 30.63"W
L9	31.45	S65° 48' 50.53"W

CLEARING AND GRUBBING LIMIT CURVE TABLE					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	38.77	145.86	15.23	N76° 26' 22"E	38.66
C2	258.07	723.00	20.45	S84° 07' 43"E	256.70
C3	37.71	43.38	49.80	N23° 34' 49"E	36.53
C4	33.01	50.52	37.44	N33° 33' 48"E	32.43
C5	58.30	67.98	49.14	S24° 47' 25"W	56.53
C6	58.30	67.98	49.14	S24° 47' 25"W	56.53
C7	179.70	799.89	12.87	N79° 59' 21"W	179.32
C8	36.81	295.00	7.15	N7° 38' 55"E	36.78
C9	22.35	96.50	13.27	S35° 42' 05"W	22.30
C10	58.06	524.32	6.34	N74° 39' 33"W	58.03
C11	64.96	129.57	28.73	S80° 10' 37"W	64.28
C12	49.57	117.82	24.11	S85° 31' 11"E	49.21
C13	19.33	83.75	13.22	N64° 28' 40"E	19.29

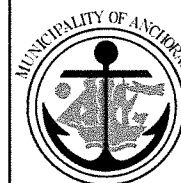


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					TOPOGRAPHY	TBC		ELECTRIC	---										
STAKING					PROFILE	TBC		CABLE TV	---										
					SANITARY SEWER	---		TRAFFIC SIGNAL	---										
ASBUILT					STORM SEWER	---		DESIGN	TBC										
CONTRACTOR		BASIS OF DATA:																	
					WATER	---		QUANTITIES	TBC										
INSPECTOR					GAS	---		MUN. FINAL CHECK											
CONSTRUCTION RECORD		VERTICAL DATUM			PLAN CHECK						REVISIONS								



Department of
Parks and
Recreation

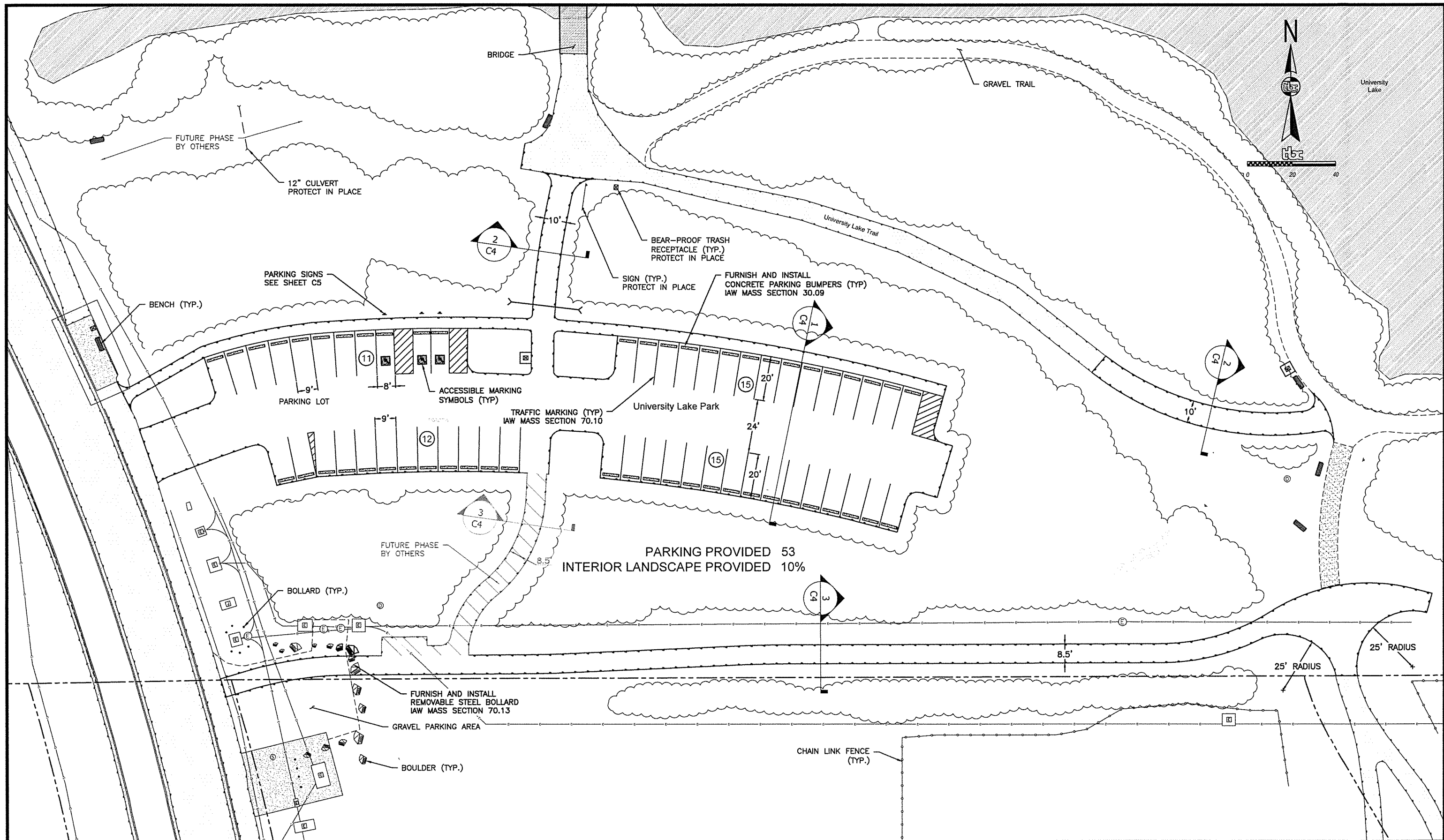
Municipality of
Anchorage

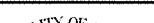
2020 UNIVERSITY LAKE PARK
PARKING LOT IMPROVEMENTS

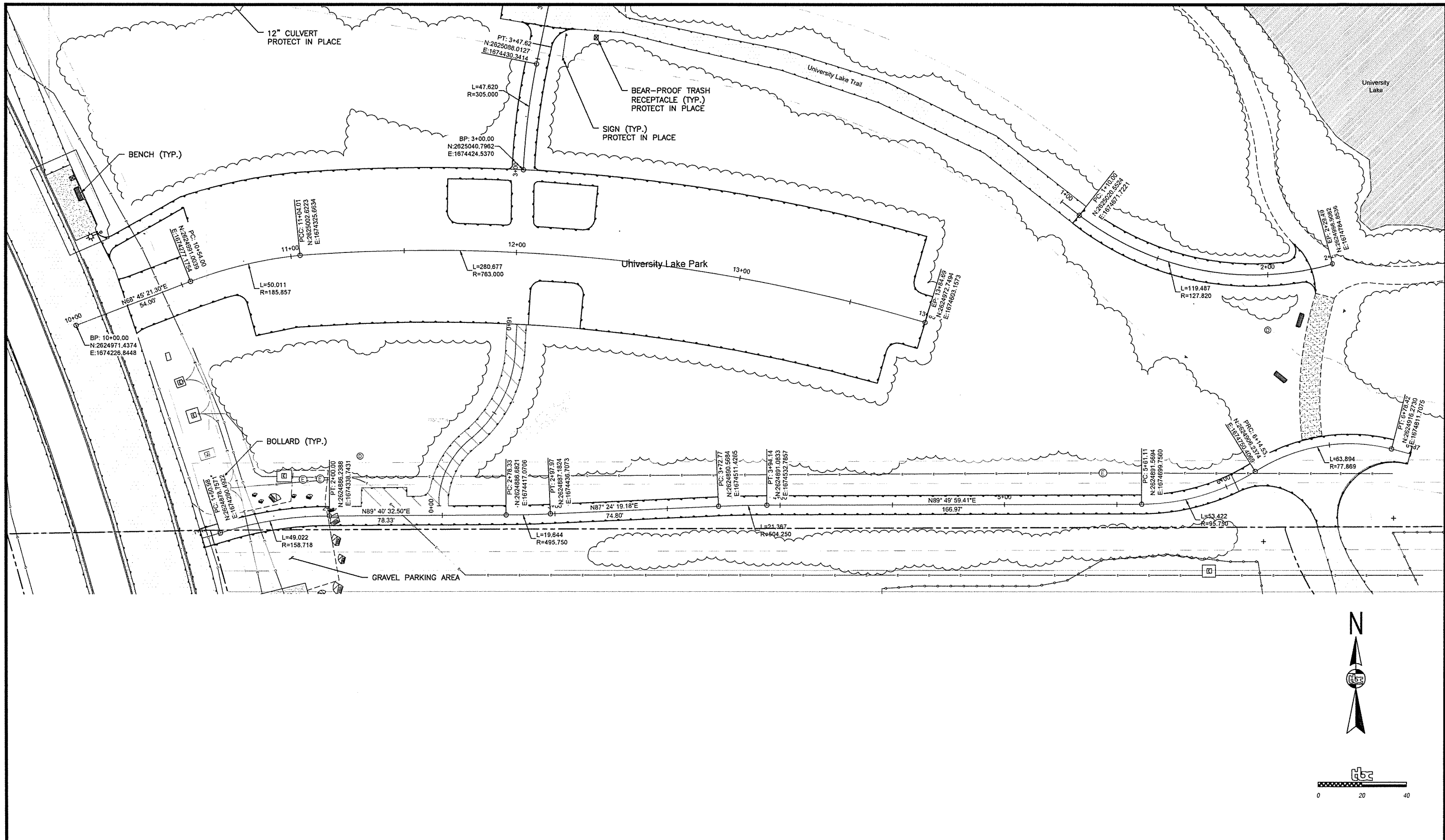
UNIVERSITY PARK DRIVE
ANCHORAGE, AK 99508

DEMOLITION PLAN

SCALE	HOR. PER PLAN	DATE: 06/19/2020	GRID: SW1736	FIGURE	G4 of 14
	VER. PER PLAN	STATUS: 65%			

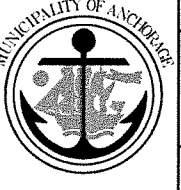


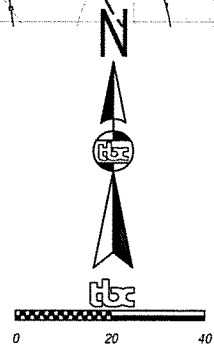
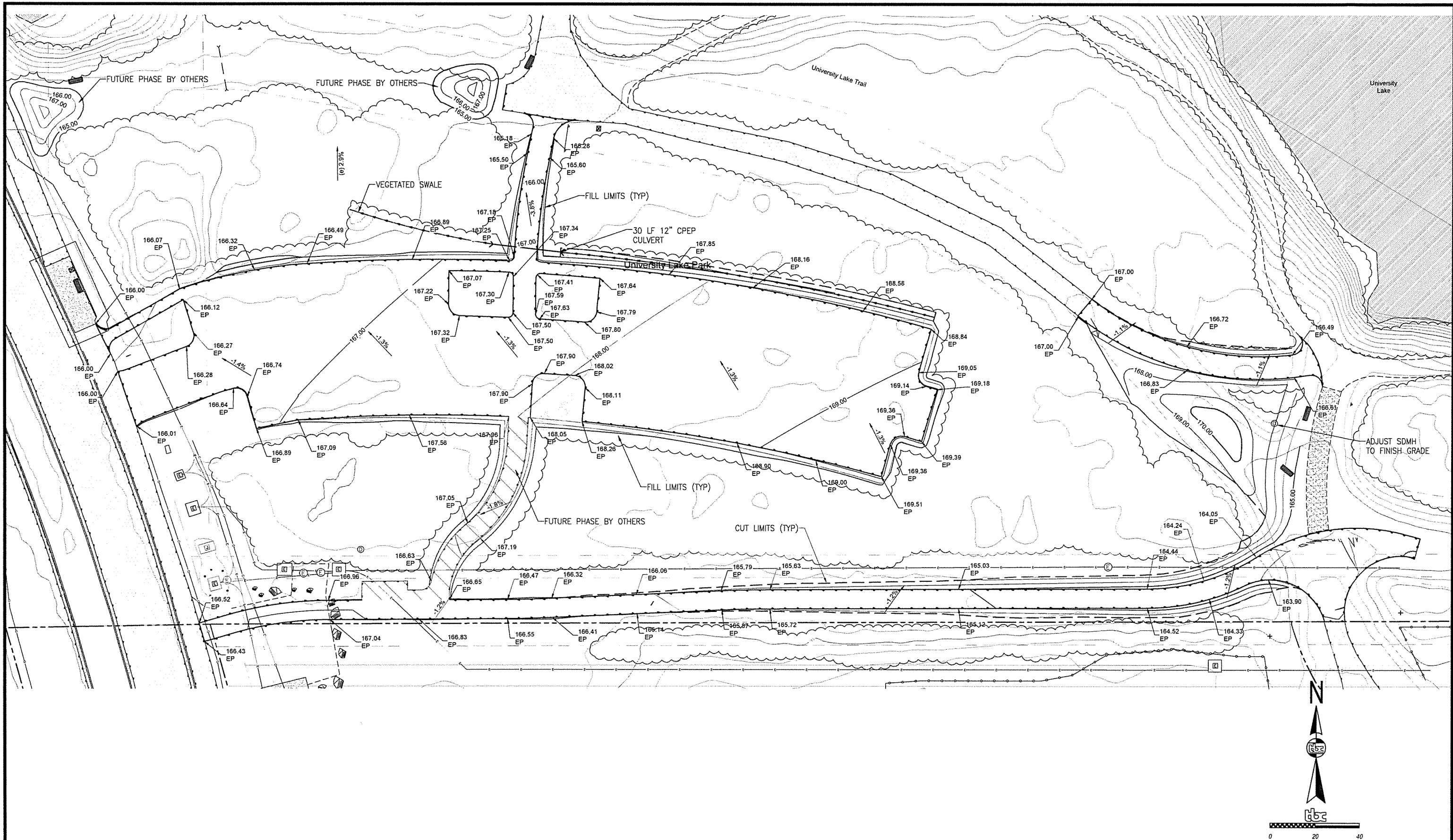
														 The Boutet Company, Inc. 601 E. 57th Place #102 Anchorage, AK 99518 Ph. 907-525-8958 F. 907-525-6779 License No. AECC957		Department of Parks and Recreation Municipality of Anchorage		Healthy Parks  Healthy People		 MUNICIPALITY OF ANCHORAGE		2020 UNIVERSITY LAKE PARK PARKING LOT IMPROVEMENTS																																																																																																																											
UNIVERSITY PARK DRIVE ANCHORAGE, AK 99508 SITE PLAN																																																																																																																																																	
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FIELD BOOKS	BM NO.	LOCATION	ELEV.	DATA	DRAWN BY	CHECKED BY	DATA	DRAWN BY	CHECKED BY	REV	DATE	DESCRIPTION	BY	REV																																																																																																																																			
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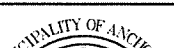


2020 UNIVERSITY LAKE PARK PARKING LOT IMPROVEMENTS											
UNIVERSITY PARK DRIVE ANCHORAGE, AK 99508											
HORIZONTAL CONTROL PLAN											
HOR. PER PLAN				DATE: 06/19/2020		GRID: SW1736		FIGURE		C2 of 14	
VER. PER PLAN				STATUS: 65%							

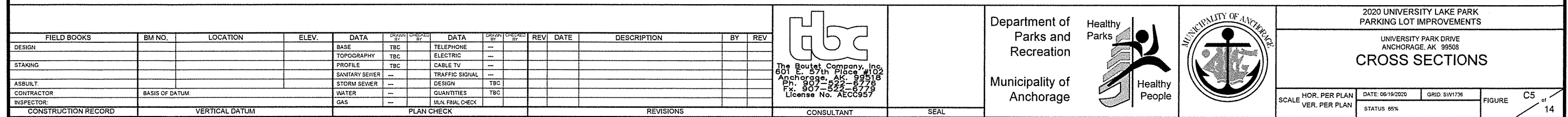
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ASBUILT				PROFILE	TBC		CABLE TV							
CONTRACTOR				SANITARY SEWER			TRAFFIC SIGNAL							
INSPECTOR				STORM SEWER			DESIGN	TBC						
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CONSTRUCTION RECORD				VERTICAL DATUM				PLAN CHECK				REVISIONS		

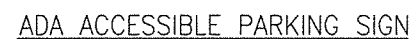
 The Boutet Company, Inc. 601 F. 57th Place, #102 Anchorage, AK 99518 Ph. 907-522-6778 Fax 907-522-8779 License No. AEC0957			Department of Parks and Recreation Municipality of Anchorage	 Healthy People	
SEAL					



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FIELD BOOKS	BM NO.	LOCATION	ELEV.	DATA	DRAWN BY	CHECKED BY	DATA	DRAWN BY	CHECKED BY	REV	DATE	DESCRIPTION	BY	REV																																																																																																																																																																				
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				UNIVERSITY PARK DRIVE ANCHORAGE, AK 99508				DRIVEWAY GRADING PLAN																			
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INSPECTOR									GAS		---		MUL. FINAL CHECK		TBC												
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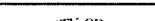


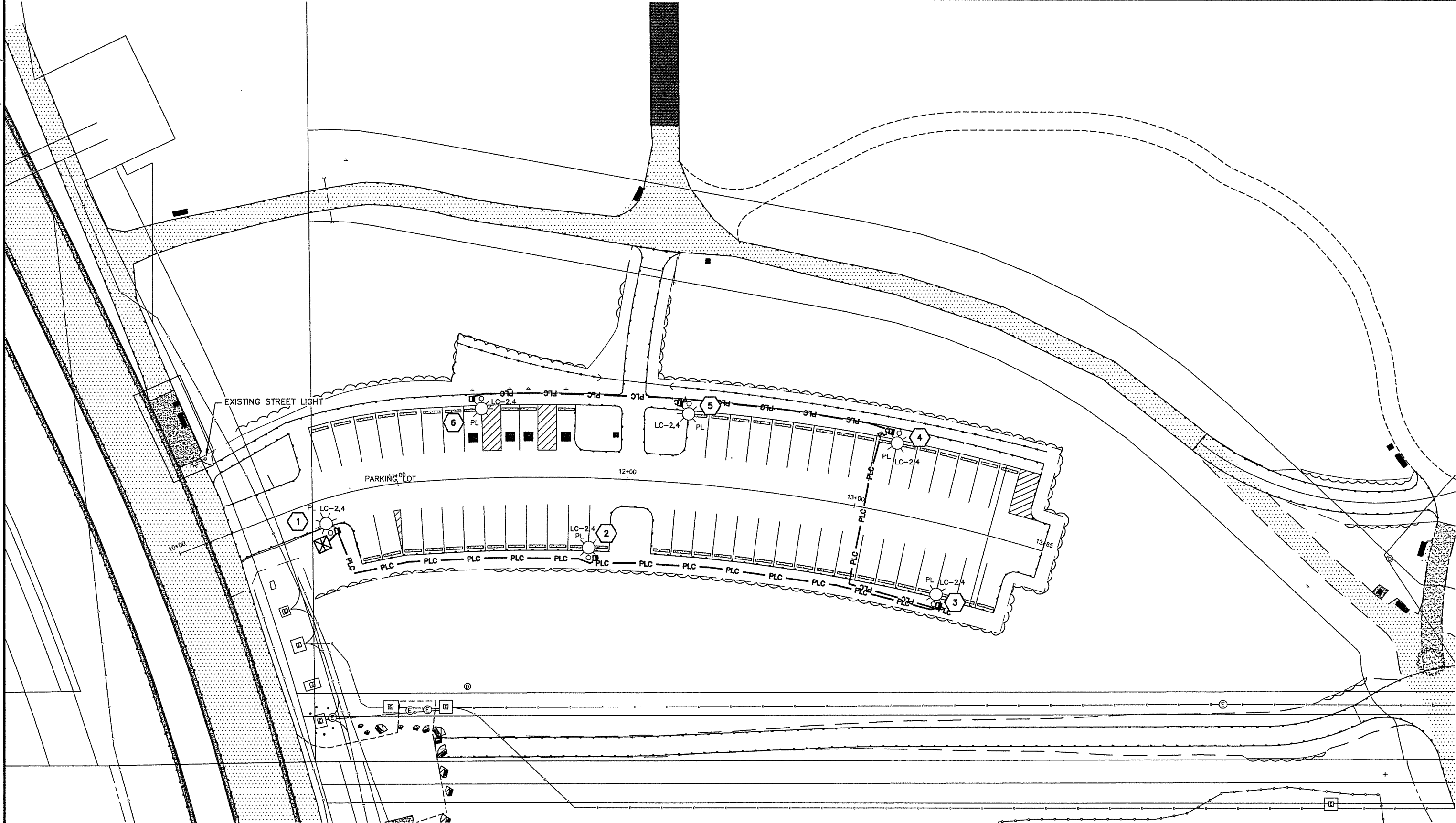


-
- Diagram illustrating the dimensions and paint specifications for the wheelchair symbol:
- Overall height: 41" MIN.
 - Overall width: 36" MIN.
 - Blue background paint.
 - 4" MIN. WIDE WHITE PAINT (for the symbol).
 - 4" WIDE WHITE PAINT (for the border).

ACCESSIBLE MARKING SYMBOL

1. ALL NON-ADA TRAFFIC MARKINGS SHALL BE 4-INCH WHITE.
2. NON ADA STALLS SHALL BE 9 FEET WIDE.
3. ADA VAN ACCESS AISLES ARE 8 FEET WIDE MINIMUM AND ADA CAR ACCESS AISLES ARE 5 FEET WIDE MINIMUM.
4. ADA ACCESSIBLE TRAFFIC MARKINGS SHALL BE 4-INCH BLUE FOR SPACES/AISLES/CURB STRIPING.

														 The Boutel Company, Inc. 601 E. 57th Place #102 Anchorage, AK 99518 Ph. 907-522-1775 Fax. 907-522-1776 License No. AEC0957				Department of Parks and Recreation		Healthy Parks						2020 UNIVERSITY LAKE PARK PARKING LOT IMPROVEMENTS			
FIELD BOOKS				BM NO.	LOCATION			ELEV.	DATA		DRAWN BY	CHECKED BY	DATA	DRAWN BY	CHECKED BY	REV	DATE	DESCRIPTION			BY	REV							
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VERIFY SCALE

THIS BAR REPRESENTS ONE INCH ON ORIGINAL DRAWING.

IF BAR IS NOT ONE INCH, ADJUST DRAWING SCALE ACCORDINGLY.

FULL SIZE SCALE
HORZ SCALE: 1"=30'
VERT SCALE:

DATA	DRAWN BY	CHECKED BY	DATA	DRAWN BY	CHECKED BY	REV	DATE	DESCRIPTION	BY
BASE			TELEPHONE						JHP
TOPOGRAPHY			ELECTRIC						JHP
PROFILE			CABLE TV						JHP
SANITARY SEWER			TRAFFIC SIGNAL						
STORM SEWER			DESIGN						
WATER			QUANTITIES						
GAS			MUN. FINAL CHECK						

PLAN CHECK

REVISIONS

RECORD DRAWING

Note: To be filled out on original drawings upon project completion.

1. DATA PROVIDED BY: _____
This will serve to certify that these Record Drawings are a true and accurate representation of the project as constructed.
CONTRACTOR: _____
BY: _____ TITLE: _____
DATE: _____

2. DATA TRANSFERRED BY: _____
COMPANY: _____
DATE: _____

3. Based on periodic field observations by the Engineer (or an individual under his/her direct supervision), the Contractor-provided data appears to represent the project as constructed.
DATA TRANSFER CHECKED BY: _____
COMPANY: _____
BY: _____ TITLE: _____
DATE: _____

Department of Parks and Recreation

Healthy Parks

Municipality of Anchorage

Healthy People

The Boutet Company Inc.
501 East 57th Place, Suite 102
Anchorage Alaska, 99518
PHONE (907) 524-8778 FAX (907) 524-8779

Northern Engineering Consulting, LLC
4810 KOWAL CIRCLE
ANCHORAGE, AK 99507
PHONE (907) 382-1406
SERVICES@NORCON.EDU
AKELAS

SEAL

2019 UNIVERSITY LAKE PARK
PARKING LOT IMPROVEMENTS
UNIVERSITY PARK DRIVE
ANCHORAGE AK 99508
ILLUMINATION
SITE PLAN

HORZ SCALE: 1"=30'
VERT SCALE: 1"=10'

DATE: 3/25/2020 GRID: SW1735

STATUS: NOT FOR CONSTRUCTION

SHEET E1 of E2

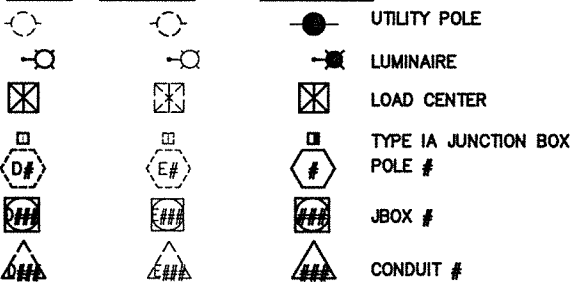
LUMINAIRE SCHEDULE

CALLOUT	SYMBOL	MODEL	DESCRIPTION	MOUNTING	LAMP	BALLAST	INPUT WATTS	VOLTS	QUANTITY	NOTE 1	NOTE 2
PL		LITHONIA LIGHTING DSX1 LED P1 40K BLC MVOLT DDBXD	LED AREA 40K BACK LIGHT CONTROL MVOLT 5708 LUMENS	POLE	(1) LED,	ELECTRONIC	54	240	6	WITH 7 PIN RECEPTACLE	WITH ROUND ALUMINUM POLE, COLOR MATCHED TO LUMINAIRE

CONTRACTOR TO VERIFY FIXTURE COUNT

TRAFFIC & LIGHTING LEGEND

DEMO EXISTING PROPOSED



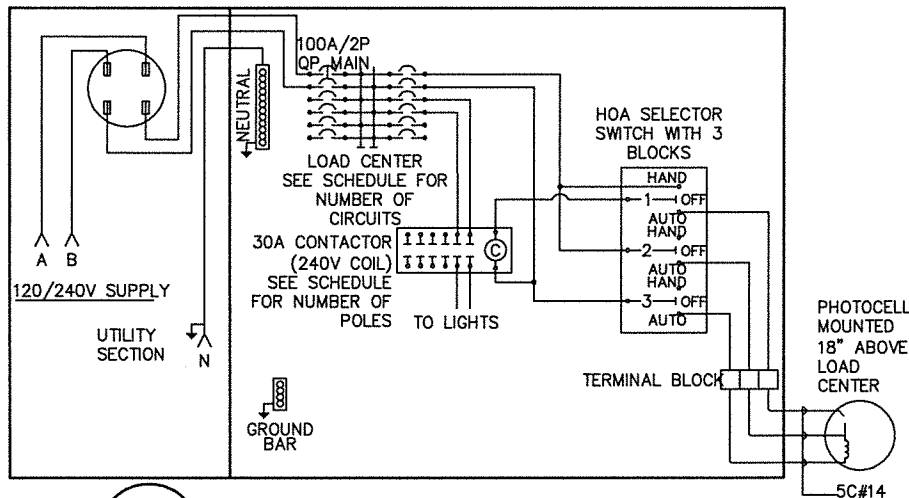
— ELC — — EBC — — PBC — BRANCH CIRCUIT CONDUIT
— DLC — — ELC — — PLC — LIGHTING CONDUIT

THIS PROJECT MEETS MUNICIPALITY OF ANCHORAGE
MINIMUM DESIGN CRITERIA FOR PARKING LOT LIGHTING OF
0.2FC, 20:1 UNIFORMITY (MAX TO MIN) NOT EXCEEDED,
(SEE SCHEDULE)

James H. Parker
JAMES H. PARKER, PE

ARC FLASH NOTES:

- UTILITY TRANSFORMER IS ASSUMED TO BE 25KVA, WITH 40' OF FEEDER CONDUCTOR.
- ARC FLASH PPE REQUIREMENTS: PPE 1.
- PROVIDE ARC FLASH WARNING LABEL AS PER NFPA 70E 130.5 ARC FLASH RISK ASSESSMENT (H) (3) INDICATING EITHER 3.1 OR 3.2 BUT NOT BOTH
- 3.1. INCIDENT ENERGY AND CORRESPONDING WORKING DISTANCE
- 3.2. THE REQUIRED PPE.
- CALCULATED 3/24/20.



1 LOAD CENTER TYPE 1A WIRING DIAGRAM

SCALE: NONE

LUMINAIRE NOTES:

- PROVIDE ONE SPARE TYPE "PL" LUMINAIRE TO MOA STREET MAINTENANCE.

ARC-FLASH SCHEDULE

DEVICE	VOLTAGE	WORKING DISTANCE	INCIDENT ENERGY (CAL/CM²)
LC	240V	19"	10.42

VERIFY UTILITY TRANSFORMER AND SIZE AND LOCATION. CHANGE AIC RATING AS REQUIRED.

PARKING LOT
PHOTOMETRIC
SCHEDULE

AVERAGE FOOT-CANDLES	1.21
MAXIMUM FOOT-CANDLES	1.81
MINIMUM FOOT-CANDLES	0.18
MINIMUM TO MAXIMUM FC RATIO	0.10
MAXIMUM TO MINIMUM FC RATIO	10.09
AVERAGE TO MINIMUM FC RATIO	6.76

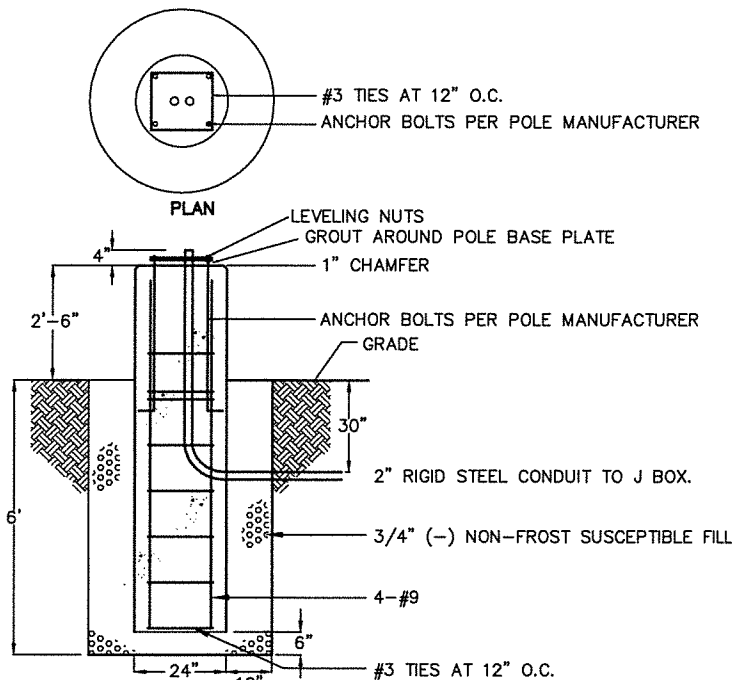
LOAD CENTER NO. <u>LC</u>												
TYPE: <u>1A</u> LOCATION: _____												
<u>100</u> AMPS MAIN LUGS, <u>100</u> MAIN BREAKER <u>240/120V 2P 3W</u> SINGLE PHASE 3 WIRE												
<u>10,000</u> AMPS INTERRUPT CAPACITY <u>4,808</u> AVAILABLE FAULT CURRENT												
CKT. DESCRIPTION	BRKR	KVA	AMPS				AMPS	KVA	BRKR	CKT. DESCRIPTION		
MAIN	100/2	0	0	1	2	3	1.69	0.324	20/2	LIGHTING		
LIGHTING CONTROL	20/2	0	0	5	6	7	0	0	20/2	SPARE		
SPACE	-/1	0	0	9	10	11	0	0	20/2	SPARE		
SPACE	-/1	0	0	11	12	13	0	0	20/2	SPARE		
TOTAL CONNECTED KVA BY PHASE: A: 0.162				B: 0.162				TOTAL CONNECTED AMPS BY PHASE: A: 1.35				B: 1.35
CONN. KVA				NEC CALC. KVA				CONN. KVA				NEC CALC. KVA
LIGHTING	0.324	0.405	(125%)					HEATING	0	0	(100%)	
LARGEST MOTOR	0	0	(125%)					CONTINUOUS	0	0	(125%)	
OTHER MOTORS	0	0	(100%)					NONCONTINUOUS	0	0	(100%)	
RECEPTACLES	0	0	(50%>10)					NONCOIN/DIVERSE	0	0	(N/A)	
								TOTAL KVA	0.324	0.405		
BALANCED PHASE AMPS: 1.69 (100% OF NEC CALCULATED KVA)												
PHASE BALANCE PERCENT: PHASE A: 100% PHASE B: 100%												

LUMINAIRE STATIONING SCHEDULE

POLE #	LUMINAIRE MOUNTING HEIGHT	MAST ARM LENGTH	NORTHING	EASTING	NOTES
1	30	1	2624980.4370	1674292.3603	
2	30	1	2624969.5019	1674404.8117	
3	30	1	2624949.3471	1674555.5122	
4	30	1	2625024.4339	1674540.2935	
5	30	1	2625037.2548	1674448.5825	
6	30	1	2625039.4340	1674358.0270	
LC			2624975.3297	1674289.0644	

NOTES:

- COMPLY WITH 2017 EDITION OF THE NEC AND ALL MOA MODIFICATIONS AND M.A.S.S 2015.
- ALL WORK TO BE PERFORMED BY ALASKA LICENSED ELECTRICIANS.
- LIGHT POLES: MAST ARM LENGTH AS PER SCHEDULE. FOUNDATIONS, POLES AND ARMS SHALL BE DESIGNED FOR 100 MPH WINDS AND 130 MPH GUSTS IN CONFORMANCE WITH MASS 2015. A COPY OF THE DESIGN COMPUTATIONS SHALL BE SUPPLIED BY THE MANUFACTURER IN ADDITION TO THE STANDARD SHOP DRAWINGS AND MATERIALS SUBMITTALS PRIOR TO INCORPORATION OF ANY LUMINAIRE, POLE OR MAST ARM INTO THE PROJECT. REFER TO MOA STANDARD SPECIFICATIONS SECTION 80.05 ARTICLE 5.1 AND SECTION 80.06 ARTICLE 6.1.
- BRANCH CIRCUIT WIRE: 3C/#8 XHHW UNLESS NOTED OTHERWISE, STRANDED COPPER WITH OVERALL POLYETHYLENE JACKET. ALL TAPS AND SPLICES SHALL BE DIRECT BURIAL RATED. PROVIDE A GROUND WIRE IN ALL CONDUITS, SIZE AS NOTED.
- CONDUIT SCHEDULE: 2" RIGID STEEL CONDUIT (RSC) OR 2" SCHEDULE 40 PVC, BURIED 30". IF PVC IS USED, ALL ROAD CROSSINGS, 90° SWEEPS AND THE RUN FROM THE LOAD CENTER TO THE JUNCTION BOX AT THE BASE OF THE LOAD CENTER SHALL BE RSC.
- JUNCTION BOXES: TYPE 1-A WITH "LIGHTING" ON COVER.
- ALL JUNCTION BOXES SHALL BE INSTALLED ON THE LEFT SIDE OF THE POLE AS SEEN FROM THE PARKING LOT.
- HAND HOLES ON THE POLES SHALL BE ON THE LEFT SIDE.
- INSERT A LAMINATED COPY OF THE CIRCUIT DIRECTORY INSIDE OF THE LOAD CENTER.
- INSERT A LAMINATED COPY OF THE POWER AND CONTROL ONE LINE DIAGRAM INSIDE OF THE LOAD CENTER WITH THE FOLLOWING INFORMATION: LOAD CENTER IDENTIFICATION (A, B, ETC.), PROJECT NAME, MUNICIPAL PROJECT NUMBER AND SERVICE VOLTAGE.
- PROVIDE SCOTCHCAL 220 LABELS ON FRONT OF LOAD CENTER "LU" AND "MOA".
- PROVIDE A PHENOLIC LAMINATED LABEL "MAXIMUM FAULT CURRENT OF 4,808 AMPS, CALCULATED 03/24/2020".
- ALL EQUIPMENT, POLES, FOUNDATIONS AND JUNCTION BOXES SHALL BE A MINIMUM OF 2' BACK OF THE PARKING LOT ASPHALT.
- REFER TO ASSOCIATED M.A.S.S. DETAILS:
 - 80-2 (CONCRETE FOUNDATION LOAD CENTER TYPE 1A)
 - 80-30 (HDPE/PVC TRANSITION DETAIL)
 - 80-31 (TYPE 1A JUNCTION BOX)
 - 80-36 (LOAD CENTER ENCLOSURE TYPE 1A).



SECTION

1 CONCRETE LIGHT POLE BASE

SCALE: NONE

VERIFY SCALE

THIS BAR REPRESENTS
ONE INCH ON ORIGINAL
DRAWING.

IF BAR IS NOT ONE
INCH, ADJUST DRAWING
SCALE ACCORDINGLY.

FULL SIZE SCALE
HORZ SCALE: 1"=30'
VERT SCALE:

DATA	DRAWN BY	CHECKED BY	DATE	DESCRIPTION	BY
BASE				TELEPHONE	JHP
TOPOGRAPHY				ELECTRIC	JHP
PROFILE				CABLE TV	JHP
SANITARY SEWER				TRAFFIC SIGNAL	
STORM SEWER				DESIGN	
WATER				QUANTITIES	
GAS				MUN. FINAL CHECK	
PLAN CHECK					REVISIONS

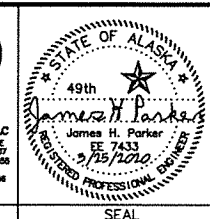
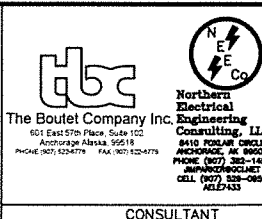
RECORD DRAWING

Note: To be filled out on original drawings upon project completion.

- DATA PROVIDED BY: _____
This will serve to certify that these Record Drawings are a true and accurate representation of the project as constructed.
CONTRACTOR: _____
BY: _____ TITLE: _____
DATE: _____
- DATA TRANSFERRED BY: _____
COMPANY: _____
DATE: _____
- Based on periodic field observations by the Engineer (or an individual under his/her direct supervision), the Contractor-provided data appears to represent the project as constructed.
DATA TRANSFER CHECKED BY: _____
COMPANY: _____
BY: _____ TITLE: _____
DATE: _____

Department of
Parks and
Recreation

Municipality of
Anchorage



2019 UNIVERSITY LAKE PARK
PARKING LOT IMPROVEMENTS
UNIVERSITY PARK DRIVE
ANCHORAGE AK 99508
ILLUMINATION
DETAILS

HORZ SCALE: 1"=20'

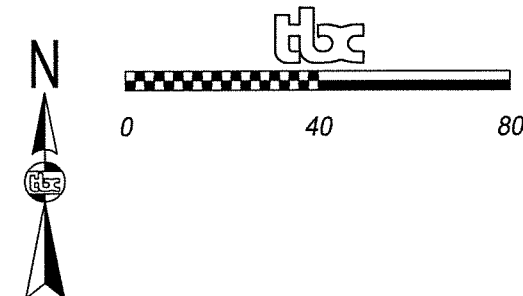
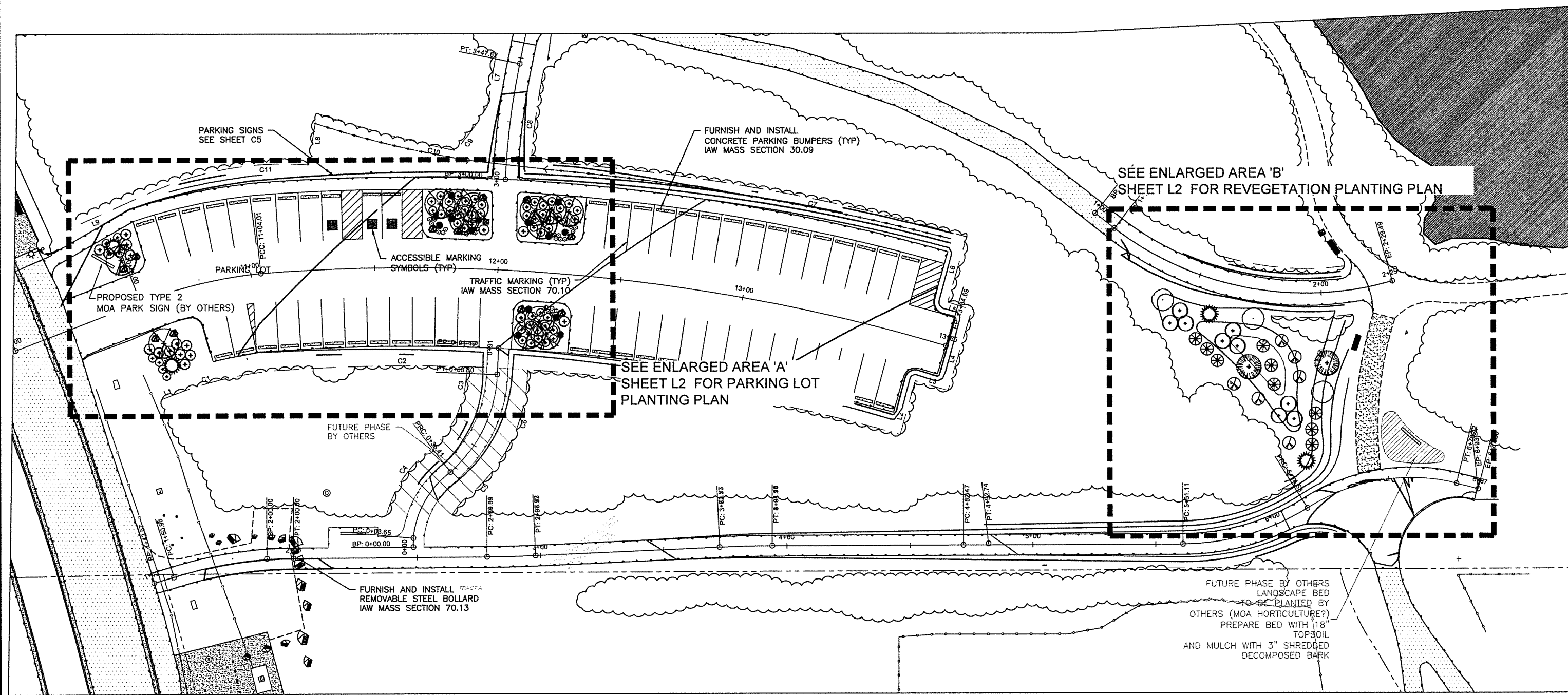
VERT SCALE: 1"=4'

DATE: 3/25/2020

GRID: SW1735

STATUS: NOT FOR CONSTRUCTION

SHEET E2 of E2



2020 UNIVERSITY LAKE PARK PARKING LOT IMPROVEMENTS											
UNIVERSITY PARK DRIVE ANCHORAGE, AK 99508											
LANDSCAPE PLAN											
FIELD BOOKS		BM NO.	LOCATION	ELEV.	DATA	DRAWN BY	CHECKED BY	DATA	DRAWN BY	CHECKED BY	REV
DESIGN:					BASE	TBC		TELEPHONE			
STAKING:					TOPOGRAPHY	TBC		ELECTRIC			
ASBUILT:					PROFILE	TBC		CABLE TV			
CONTRACTOR:					SANITARY SEWER			TRAFFIC SIGNAL			
INSPECTOR:					STORM SEWER			DESIGN	TBC		
CONSTRUCTION RECORD					WATER			QUANTITIES	TBC		
					GAS			MUN. FINAL CHECK			
BASIS OF DATUM:				PLAN CHECK				REVISIONS			
VERTICAL DATUM											

The Boulet Company, Inc.
601 E. 57th Place #102
Anchorage, AK 99518
Ph. 907-522-8778
Fx. 907-522-8779
License No. AECC957

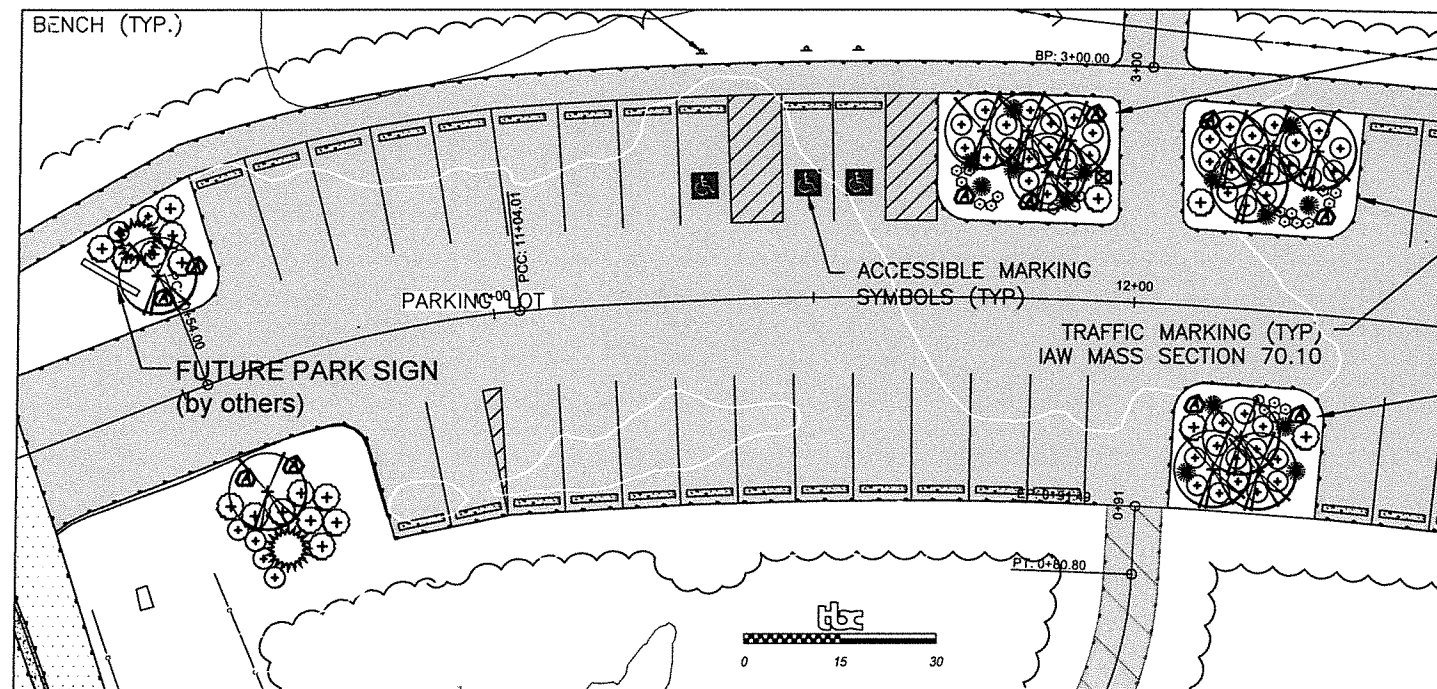
Department of
Parks and
Recreation

Municipality of
Anchorage

Healthy
Parks
Healthy
People

MUNICIPALITY OF ANCHORAGE

SCALE	HOR. PER PLAN	DATE: 05/28/2020	GRID: SW1736	FIGURE	L1 of L3
	VER. PER PLAN	STATUS: 95%			



ENLARGED AREA 'A' : PARKING LOT PLANTING PLAN

PLANTING AREA 1

Interior Landscape 1; 558sf
Required:
3.72 (4) trees
22.32 (23) shrubs Or
12 Shrubs + 33 Perennials
Shown:
4 Trees
18 shrubs + 15 Perennials

PLANTING AREA 2

Interior Landscape 2; 543 sf
Required:
3.62 (4) trees
21.72 (22) shrubs Or
11 + 33 Perennials
Shown:
4 Trees
18 Shrubs + 12 Perennials

PLANTING AREA 3

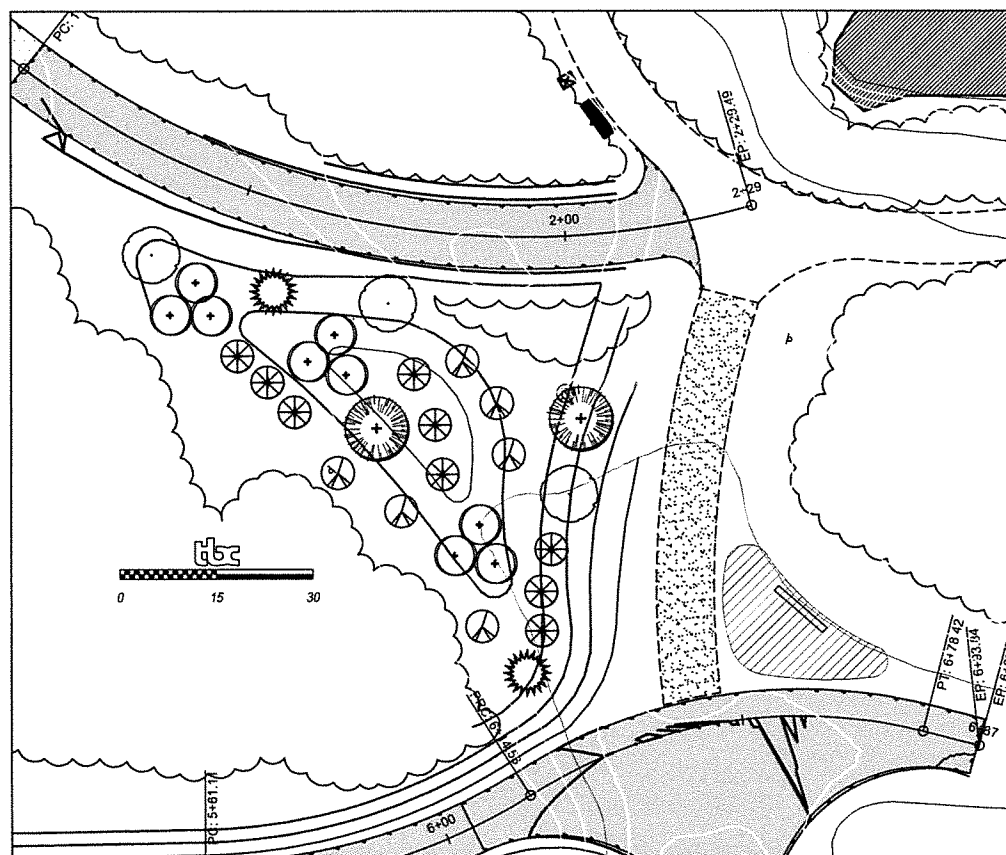
Interior Landscape 3; 455 sf
Required:
3.03 (3) trees
18.2 (18) shrubs Or
9 Shrubs + 27 Perennials
Shown:
3 Trees,
15 Shrubs + 9 Perennials

PARKING LOT PLANTING SCHEDULE

QTY	SYMBOL	LATIN NAME	COMMON NAME	SIZE	FURNISHED	NOTES
EVERGREEN TREES						
2		LARIX SIBERICA	SIBERIAN LARCH	2" CALIPER B&B OR 10' HT. MIN.		
DECIDUOUS TREES						
13		BETULA PAPYRIFERA	ALASKA PAPER BIRCH	2" CAL. B&B		SINGLE STEM
SHRUBS						
53		Cornus alba 'Jefreb'	Little Rebel Red-Twig Dogwood	18" HT.	POTTED	#5 CT.
18		Rosa rugosa	Rugosa Rose	18" HT.	POTTED	
SHRUBS, GRASSES & PERENNIALS						
22		Beregnia cordifolia 'Winter Glow'	'Winter Glow' Heart-Leaved Bergenia	6" HT.	POTTED	#1 CT.
14		Deschampsia cespitosa	Tufted Hair Grass	14" HT.	POTTED	#1 CT.
MISCELLANEOUS						
		2" TOPSOIL & SCHEDULE-D SEED MIX Schedule D: Revegetation Mixture 2-3 lbs Per - 1000 sq/ft 60% Tufted Hairgrass 'Nortran' 15% Red Fescue 'Boreal' 15% Red Fescue 'Arctared' 10% Annual Rye				
11		BOULDER-A				

LANDSCAPING NOTES

- LANDSCAPE PLANTING DETAILS AND MATERIALS SHALL BE IN ACCORDANCE WITH THE MOST CURRENT VERSION OF THE MUNICIPALITY OF ANCHORAGE STANDARD SPECIFICATIONS (M.A.S.S.) UNLESS OTHERWISE NOTED.
- ALL PLANT MATERIAL SHALL CONFORM TO AMERICAN STANDARD FOR NURSERY STOCK, ANSI 260.1-2014.
- RESTORE AREAS DISTURBED BY CONSTRUCTION WITH 2" TOPSOIL AND TYPE D SEED UNLESS OTHERWISE INDICATED ON PLANS.
- CONTRACTOR TO GUARANTEE PLANT ESTABLISHMENT THROUGH MAINTENANCE. WARRANTY PERIOD SHALL BE ONE GROWING SEASON FROM DATE OF INSTALLATION, IN ACCORDANCE WITH M.A.S.S.
- MULCH: PARKING LOT LANDSCAPE AREAS SHALL RECEIVE MIN 18" DEPTH TOPSOIL AND MIN. 3" RIVER ROCK MULCH UNLESS OTHERWISE INDICATED ON PLANS.
- ALL DECIDUOUS TREES IN PARKING LOT AREA SHALL RECEIVE MOOSE PROTECTION FENCING PER 3/L2.
- ALL DECIDUOUS TREES IN REVEGETATION AREA SHALL RECEIVE MOOSE & BEAVER PROTECTION FENCING PER 3/L2.

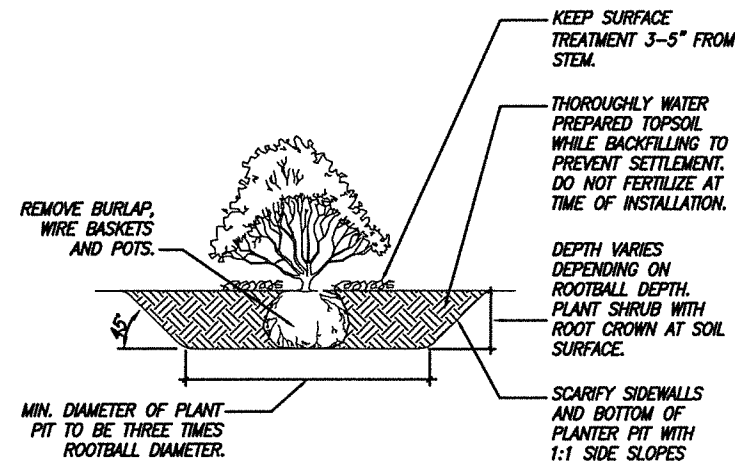


ENLARGED AREA 'B' : REVEGETATION PLANTING PLAN

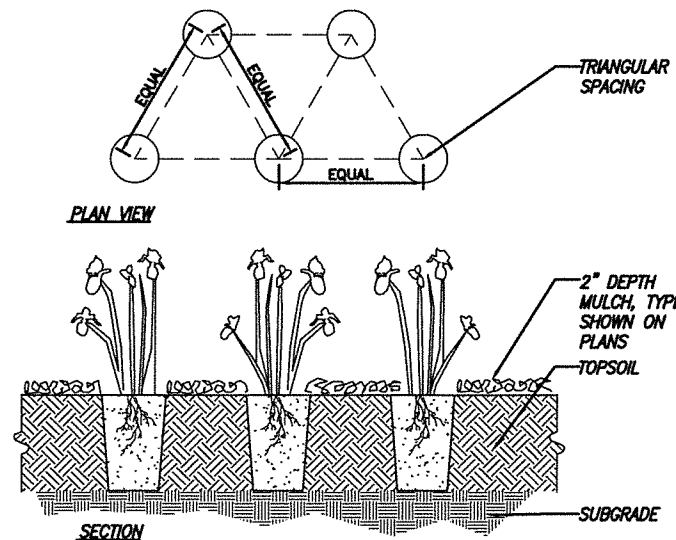
REVEGETATION PLANTING SCHEDULE

QTY	SYMBOL	LATIN NAME	COMMON NAME	SIZE	FURNISHED	NOTES
EVERGREEN TREES						
2		Picea glauca 'Alaskana'	Alaska White Spruce	2" caliper or 6' ht. min.	B&B	
2		LARIX SIBERICA	SIBERIAN LARCH	2" CALIPER B&B OR 10' HT. MIN.		
DECIDUOUS TREES						
9		BETULA PAPYRIFERA	ALASKA PAPER BIRCH	1-1.5" CAL.	POTTED OR B&B	
SHRUBS						
6		ALNUS SP.	NATIVE ALDER	36" HT.	POTTED	#2 CT.
3		AMELANCHIER ALNIFOLIA	NATIVE SERVICEBERRY	48" HT.	POTTED	#15 CT.
9		VIBURNUM EDULE	NATIVE Highbush CRANBERRY	24" HT.	B&B	

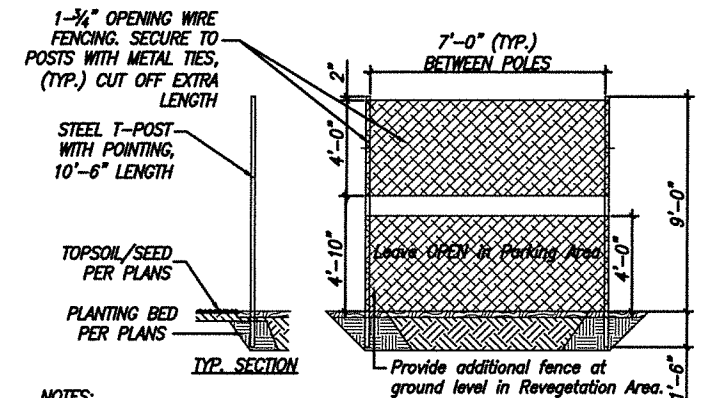
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CONSTRUCTION RECORD																WATER								QUANTITIES		TBC																	
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1 SHRUB PLANTING
L2 SCALE: NTS

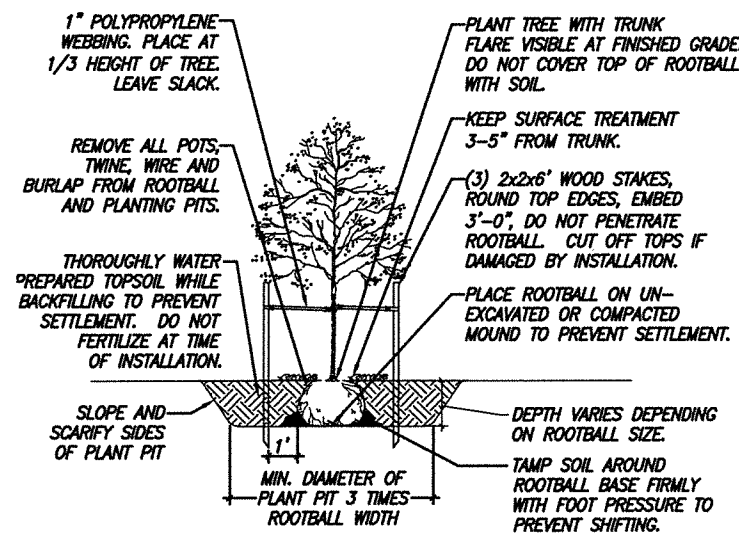


2 PERENNIAL PLANTING
L2 SCALE: NTS

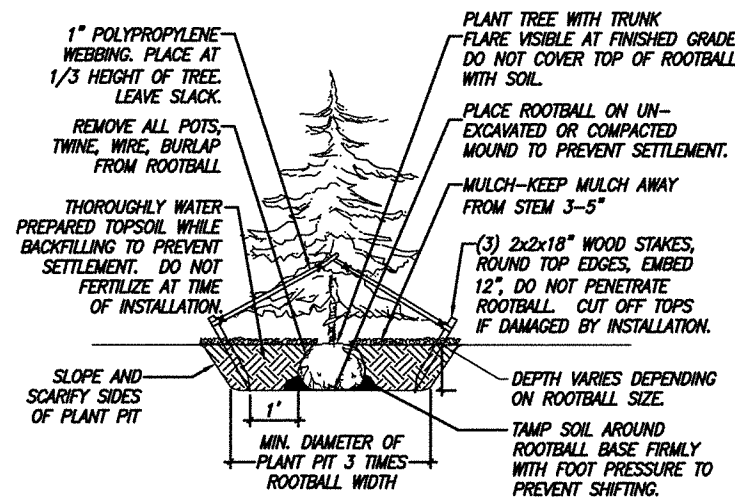


- NOTES:
1. MOOSE & BEAVER PROTECTION FENCING REQUIRED AROUND ALL NEW DECIDUOUS TREES IN REVEGETATION AREA. UPPER FENCE (MOOSE PROTECTION ONLY) REQUIRED IN PARKING LOT.
 2. FOR INDIVIDUAL TREES, 3 POSTS REQUIRED PER TREE.
 3. FOR TREE GROUPINGS, PLACE POLES AS NECESSARY SO THAT NETTING DOES NOT TOUCH BRANCHES.

3 MOOSE & BEAVER PROTECTION
L2 SCALE: NTS

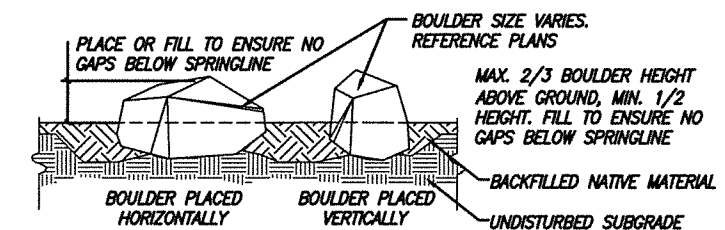


4 DECIDUOUS TREE PLANTING-STAKED
L2 SCALE: NTS



5 EVERGREEN TREE PLANTING-STAKED
L2 SCALE: 1"=1'-0"

LANDSCAPE BOULDER SIZING SCHEDULE		
BOULDER SYMBOL	CIRCUMFERENCE (± 2 FT.)	HEIGHT (± 0.5 FT.)
A	12 FT.	4'
B	9 FT.	3'



- NOTES:
- 1) LOCATION AND ORIENTATION OF PLACED ROCKS SHALL BE FIELD VERIFIED BY OWNER'S REPRESENTATIVE.
 - 2) ROCKS SHOULD BE NO HIGHER THAN 24" ABOVE ANY ADJACENT GRADE.
 - 3) CIRCUMFERENCE REFERS TO THE LARGEST CIRCUMFERENCE OF THE BOULDER.
 - 4) HEIGHT IS MEASURED PERPENDICULAR TO AXIS USED FOR DETERMINING CIRCUMFERENCE.

6 LANDSCAPE BOULDERS
L2 SCALE: NTS

The Boutet Company, Inc. 601 E. 57th Place, #102 Anchorage, AK 99518 Ph. 907-522-8778 Fx. 907-522-8779 License No. AEC0957 Department of Parks and Recreation Healthy Parks Municipality of Anchorage Healthy People										2020 UNIVERSITY LAKE PARK PARKING LOT IMPROVEMENTS UNIVERSITY PARK DRIVE ANCHORAGE, AK 99508 LANDSCAPING DETAILS																																																																																																																																											
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