

**PLANNING DEPARTMENT
MAJOR SITE PLAN REVIEW
STAFF ANALYSIS**

DATE: January 8, 2020

CASE NO: 2019-0159

APPLICANT: Municipality of Anchorage
Parks & Recreation Department

REPRESENTATIVE: R&M Consultants, Inc.

REQUEST: Major Site Plan Review

LOCATION: Campbell Creek Greenbelt #8, Lots 76 and 76A

COMMUNITY COUNCILS: Taku-Campbell

TAX NUMBER: 013-071-42 and 013-071-43

GRID: SW2230

ATTACHMENTS

1. Maps
2. Application
3. Comments
4. Affidavit of Posting

RECOMMENDATION SUMMARY: Approval with conditions

SITE

Area: ± 9.8 acres
 Zoning: R-2M Mixed Residential
 Topography: Forested, gently rolling
 Existing Use: Parkland
 Utilities: Public water and sewer

COMPREHENSIVE PLAN

Classification: "Park or Natural Area" per the *Anchorage 2040 Land Use Plan*

SURROUNDING AREA

	North	West	South	East
Zoning:	R-2M	PLI & B-1A	R-5	R-2M
	Mixed Residential	Public Lands and Institutions & Local and Neighborhood Business	Low-Density Residential	Mixed Residential

PROPOSAL

The Municipality of Anchorage Parks & Recreation Department is requesting approval of a major site plan review application for the Taku Lake Park South Gateway Improvements project. As the focal point of the south side of Taku Lake Park, the South Gateway area is intended to be “a gathering point, offering a range of highly desirable recreation for all ages and abilities in one easily accessible location,” and “should welcome, orient, and encourage visitors to explore further into the park and provide a safe, natural and exciting place to gather and enjoy their favorite activities” (*Taku Lake Park Master Plan*, pg. 56).

New park elements and improvements at the South Gateway are proposed to include:

- Access, circulation, and parking upgrades
- Improved lighting
- Playground
- Relocated and redesigned skate park
- Picnic area
- Upgraded fitness area
- Restroom facility (permanent or portable)

The South Gateway is directly connected to the Campbell Creek Trail, and users driving to this side of Taku Lake park may continue to access the existing parking lot via Stormy Place.

This site plan follows the *Taku Lake Park Master Plan*, which the Planning & Zoning Commission approved at their August 13th, 2018 meeting (case 2018-0082).

Specifically, the site plan implements the South Gateway Concept within the *Taku Lake Park Master Plan*. Figure 1 on this page provides the preferred overall concept for Taku Lake Park for context.

The following page shows the concept for the South Gateway improvements as proposed in the site plan in this major site plan review application. For ease of comparison, Figure 3 on the subsequent page shows the concept for the South Gateway as previously proposed in the *Taku Lake Master Plan*.



Figure 1 – Taku Lake Park South Master Plan (Overall Concept)



Figure 2 - Taku Lake Park South Gateway Improvements (Currently Proposed)



**Figure 3 – Taku Lake Park South Gateway Improvements
(from underlying Taku Lake Park Master Plan)**

PUBLIC COMMENTS

On October 24th, 2019, a total of 291 public hearing notices were mailed. One comment was received from a resident on neighboring Queen Victoria Drive that raised the following concerns. The full comment letter is available in section 3 of this report.

- Retention of the existing trees east of the tennis courts.
 - Answer: The trees east of the tennis courts are not proposed to be disturbed in any way in this site plan.
- Drainage impacts to an existing ditch near Queen Victoria Drive that consistently fills up with rainwater and meltwater.
 - Answer: All drainage flows resulting from the park upgrades at the Taku Lake Park South Gateway will be kept on-site, and therefore will not impact existing drainage/ponding near Queen Victoria Drive.
- Request to have the park closed between 10pm and 6am due to noise concerns.
 - Answer: The park will be closed from 11pm to 6am, which adheres to the universal park operating hours throughout the Municipality of Anchorage.

AGENCY COMMENTS

None of the reviewing agencies raised objections to this major site plan review. However, the Alaska Department of Transportation & Public Facilities noted that direct access to C Street would not be granted for this site.

APPROVAL CRITERIA FOR MAJOR SITE PLAN REVIEW

An application for administrative or major site plan review shall be approved upon finding that the site plan meets all of the following criteria:

- 1. The site plan is consistent with any previously approved subdivision plat, planned development master plan, or any other precedent plan or land use approval.**

The two most significant prior approvals affecting this site are the *Taku Lake Park Master Plan*, and the conditions of approval from the *Taku Lake Park Master Plan* review (case 2018-0082, Planning & Zoning Commission resolution 2018-023).

Taku Lake Park Master Plan

When considering a master site plan review for a park, AMC 21.05.040G.2.b.ii.(B). requires minor discrepancies from the underlying park master plan to be described and justified. The Parks & Recreation Commission is responsible for identifying major discrepancies between the proposed site plan and the park master plan. They have not identified any major discrepancies in this case. The Parks & Recreation Commission approved this site plan in resolution 2019-08, which is included in the application in section 2 of this report.

There are several minor discrepancies, primarily involving the layout of the proposed park elements. Those discrepancies are as follows (see Figures 2 and 3):

- Changes to the locations of the skate park and the playground.
- Changes to the location of the grill/picnic area.

- Changes to the location of the fitness area.
- Removal of the basketball court.
- Changes to trail alignments.

The applicant states that the majority of the changes were made due to geotechnical constraints that were not able to be identified until this stage of the project. In addition, the basketball court remains under consideration for future improvements. The proposed site plan has also maintained the intent of the *Taku Lake Master Plan*, and the Parks & Recreation Commission has not identified any major discrepancies. Therefore, considering the above, the proposed site plan can be considered to be consistent with the *Taku Lake Park Master Plan*.

Conditions of Planning & Zoning Commission Approval

The *Taku Lake Park Master Plan* (case 2018-0082) was approved at the Planning & Zoning Commission meeting on August 13th, 2018. The commission discussed safety and security due to concerns raised at the meeting, in addition to potential supplemental access to the parking lot from C Street after several residents from Stormy Place testified that they believed their local street would be unsuited to the vehicle traffic demands of the new/upgraded park facilities. The conditions of approval that resulted in Planning & Zoning Commission resolution 2018 are as follows:

1. This approval is subject to the application and plans submitted and on file with the Planning Department.
Status: As mentioned above, the proposed site plan is consistent with the *Taku Lake Park Master Plan*.
2. Verify with the Traffic Engineer that the required parking spaces are provided on site.
Status: The Traffic Department has submitted comments in support of the proposed site plan, noting that all Title 21 requirements have been met for parking and lighting.
3. New soft surface trails shall not be any closer than 25 feet from the current stream bank.
Status: Watershed Management Services supports the proposed site plan and notes that all work is being done outside of the mapped floodplain (and are over 25 feet from the existing stream banks).
4. High priority should be placed on eliminating access from Stormy Place and provide direct access from C Street.
Status: The Alaska Department of Transportation and Public Facilities submitted a comment noting that no access to the park would be permitted from C Street.
5. Amend the Taku Lake Park Master Plan to propose increased visibility from C Street for safety of users in the park.
Status: The project team considered increased visibility from C Street for the safety of park users through the park master plan process, however it was determined that retaining the existing

vegetation for screening/buffering would be a greater overall benefit to park users. In addition, there is a significant grade difference which would limit visibility into the park from C Street even if vegetation was cleared, and the additional lighting being added to the park through this site plan will provide the enhanced security that was requested.

2. The site plan complies with all applicable development and design standards set forth in this title, including but not limited to the provisions in chapter 21.04, Zoning Districts, chapter 21.05, Use Regulations, chapter 21.06, Dimensional Standards and Measurements, and chapter 21.07, Development and Design Standards.

An overview of applicable Title 21 standards is provided below.

21.05 Use Regulations

The proposed development is comprised solely of area and facilities that are designed for a combination of active and passive recreation, and therefore does not include any prohibited uses.

The site plan also conforms with all applicable use-specific standards, specifically 21.05.040G.2.b.ii.(B) (consistency with the governing master plan) and 21.05.040G.2.b.ii.(C) (requirement for the site plan to be approved through a major site plan review).

21.06 Dimensional Standards

The proposed site plan does not contain any structures and therefore conforms to requirements for the R-2M Mixed Residential district listed in Table 21.06-1.

21.07.020 Natural Resource Protection

The development site is located near the Campbell Creek, which carries a minimum streamside zone setback of 25 feet according to 21.07.020B.9 *Stream Setbacks*. Watershed Management Services has not identified any issues with the site plan. Additional drainage and resource protection considerations will be reviewed if necessary when the applicant seeks permits to construct the improvements.

Snow storage is also being provided as required per 21.07.040F.4.b. A total of 2,173ft² of snow storage is provided on the site plan, which exceeds the required minimum of 5% of the paved area.

21.07.080 Landscaping, Screening, and Fences

The site plan proposes to retain existing vegetation to meet the required L2 Buffer Landscaping that is required because this R-2M-zoned site abuts an R-5 Low-Density Residential District. More details are available in the application and site plan drawings in section 2 of this report.

21.07.090 Off-Street Parking and Loading

- Vehicle Parking: 39 parking spaces are provided utilizing the footprint of the existing parking lot, of which 2 are ADA-accessible spaces. When no playfields/ballfields are provided, the parking requirements for the “Park, public or private” use type is determined at the discretion of the planning director and the traffic engineer based upon acceptable estimates and comparable uses. The Traffic Department submitted an official comment stating that the proposed parking layout is acceptable.
- Bicycle Parking: No bicycle parking spaces are required per 21.07.090K since Table 21.07-4 does not require greater than 40 parking spaces. However, 9 bicycle parking racks are identified on the site plan and will accommodate the many bicyclists that frequent Taku Lake Park.

3. The site plan addresses any significant adverse impacts that can reasonably be anticipated to result from the use, by mitigating or offsetting those impacts to the maximum extent feasible.

The primary potential adverse impacts would be to the residential properties in the R-5 Low-Density Residential District to the south, through which vehicles accessing the park will traverse via Stormy Place (a local street). This access exists today. However, residents of Stormy Place raised concerns about additional traffic on their street that could result from the new/upgraded park facilities at the South Gateway.

While the Parks & Recreation Department has attempted to address the potential impacts by retaining existing vegetation, not expanding the existing parking lot, and minimizing off-site light pollution, Stormy Place is the only feasible option for vehicle access to this part of Taku Lake Park. However, Stormy Place is by no means the only access point. The Campbell Creek Trail provides direct non-motorized access to the South Gateway from the north and south, thereby greatly mitigating the reliance on automobile access. There is also a parking lot on the north end of Taku Lake Park off King Street that provides additional vehicle access, meaning that not all vehicles will need to use Stormy Place when accessing the park.

4. The development proposed in the site plan is consistent with the goals, objectives, and policies of the comprehensive plan.

The plans listed below are elements of the comprehensive plan per 21.01.080. Each is assessed for consistency.

- Anchorage Bowl Park, Natural Resource, and Recreation Facility Plan: Taku Lake Park is designated as a Community Use Park in this 2006 plan, and the proposed site plan adheres to this designation by conforming with the underlying *Taku Lake Park Master Plan*. Per the 2006 *Anchorage Bowl Park, Natural Resource, and Recreation Facility Plan* (the “Parks Plan”), Community Use Parks are defined as follows:

“Community parks are larger in size and serve a broader purpose than neighborhood parks. The focus is on meeting the recreation needs of several neighborhoods or a large

section of the community as well as preserving unique landscapes or natural use areas. They allow for group activities and offer other recreational opportunities not feasible, nor perhaps desirable, at the neighborhood level. The primary purpose of a community park is to provide opportunities for social contact with a wide variety of members of different neighborhood, ethnic and socio-economic backgrounds. These parks meet the specialized needs of a broader community; have higher technical design requirements; provide a sense of community; and increase economic development potential. Like neighborhood parks there should be a balance between active and passive recreation activities” (Parks Plan, Appendix B, pg. 5).

The Taku Lake Park South Gateway site plan meets these general criteria through the new facilities and upgrades proposed throughout. In addition, the Parks Plan specifically calls for work in Taku Lake Park to “improve play areas, picnic grounds, and waterfront areas” (Parks Plan, pg. 78).

- Areawide Trails Plan: The 1997 Areawide Trails Plan identifies existing paved multi-use trails running through the South Gateway area, which this site plan retains and improves.
- Anchorage Bicycle Plan: The 2010 Anchorage Bicycle Plan also identifies existing separated multi-use paved trails running through the South Gateway area, which this site plan retains and improves.
- Anchorage 2020, Anchorage Bowl Comprehensive Plan: The proposed site plan does not run counter to any policies in *Anchorage 2020*, and specifically advances the following policies:
 - Policy 44: Design and build public improvements for long-term use.
 - Policy 49: Site plan layout and building design for new development shall consider the character of adjacent development. The Municipality may require layouts and designs to incorporate the functional and aesthetic character of adjacent development.
 - Policy 50: Healthy, mature trees and forested areas shall be retained as much as possible.
 - Policy 67: Critical fish and wildlife habitats, high-value wetlands, and riparian corridors shall be protected as natural open spaces, wherever possible.
 - Policy 70: The ecological and drainage functions of Anchorage’s aquatic resources shall be protected and, where appropriate, restored.
- Anchorage 2040 Land Use Plan: The proposed site plan does not run counter to any policies in the *Anchorage 2040 Land Use Plan*, is consistent with the “Park or Natural Area” land use designation, and specifically advances the following policies:
 - Policy 8.1: Ensure all neighborhoods and communities have access to nearby parks and recreational opportunities that support well-being.

- o Policy 8.2: Provide new and improved trails, greenbelts, and other pedestrian facilities as alternative travel ways connecting open spaces, neighborhoods, and centers.

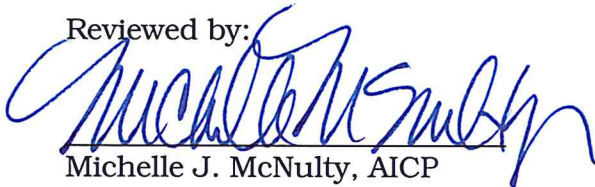
DEPARTMENT RECOMMENDATION

The Department recommends approval of the proposed site plan.

This approval is subject to the petitioner's application, narrative, submittals, and the following plans on file at the Planning Department, except as modified by these conditions of approval:

1. A notice of zoning action, including a copy of the approved resolution, shall be filed with the District Recorder's Office and proof of such shall be submitted to the Planning Department.

Reviewed by:



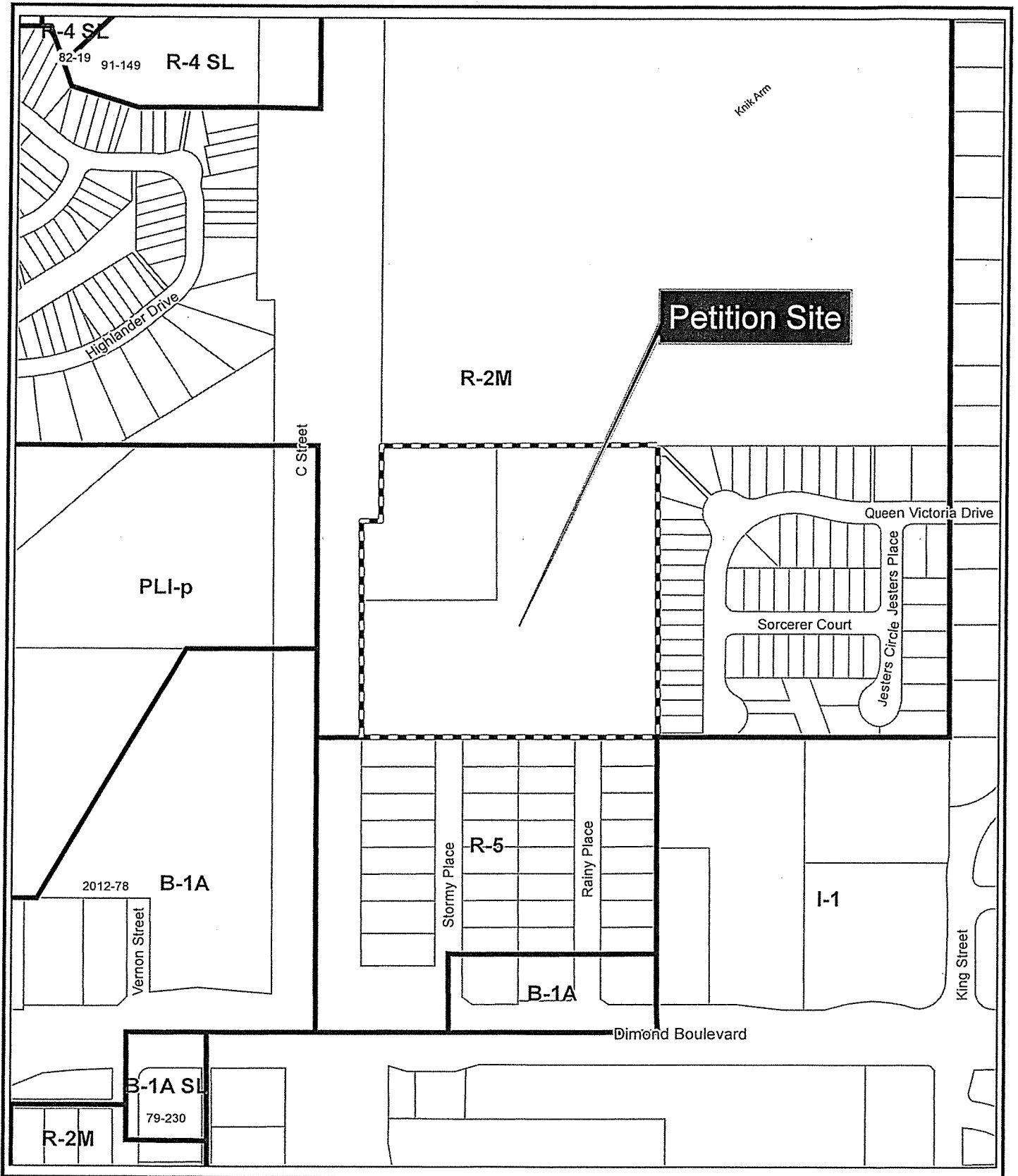
Michelle J. McNulty, AICP
Director

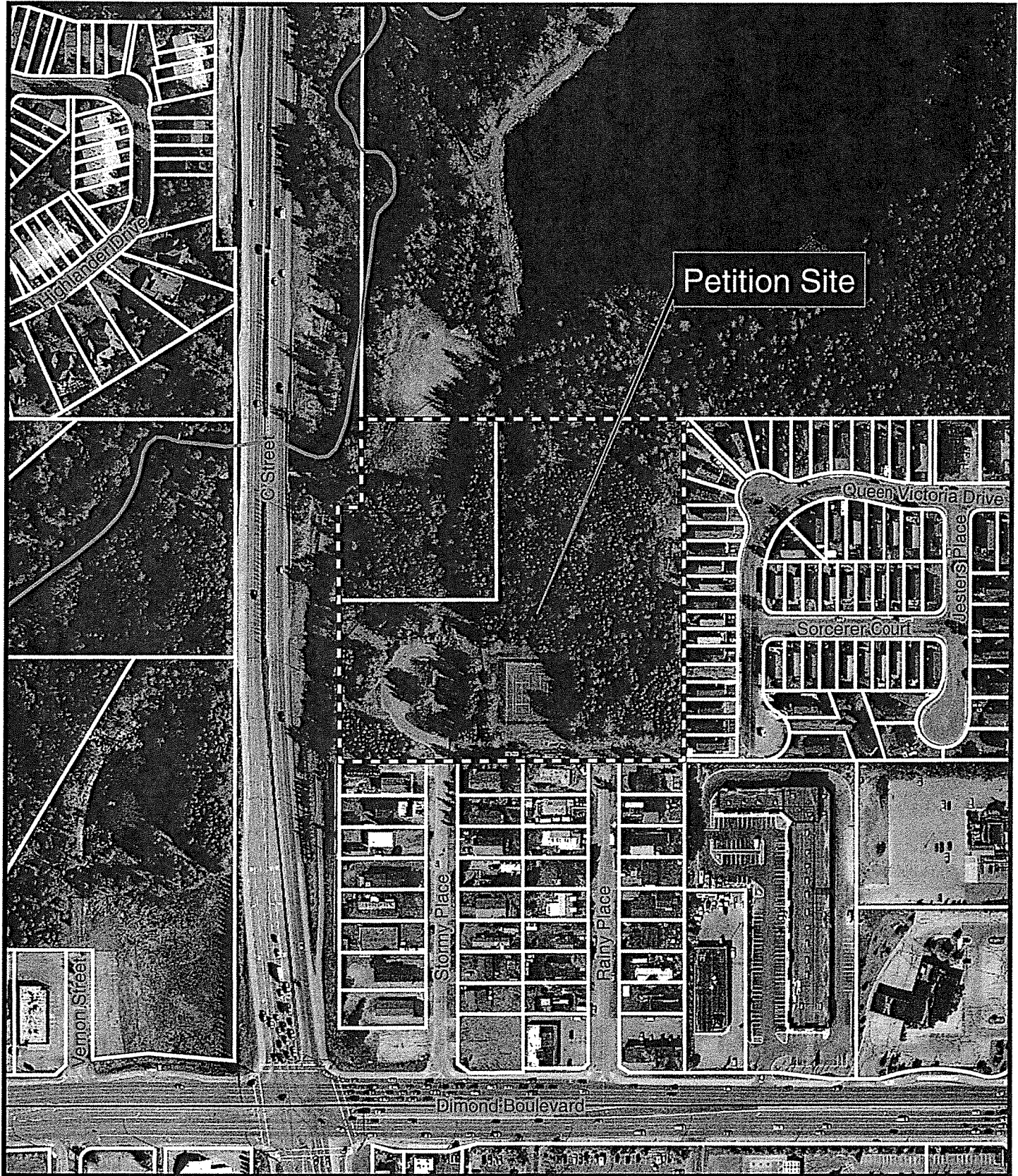
Prepared by:



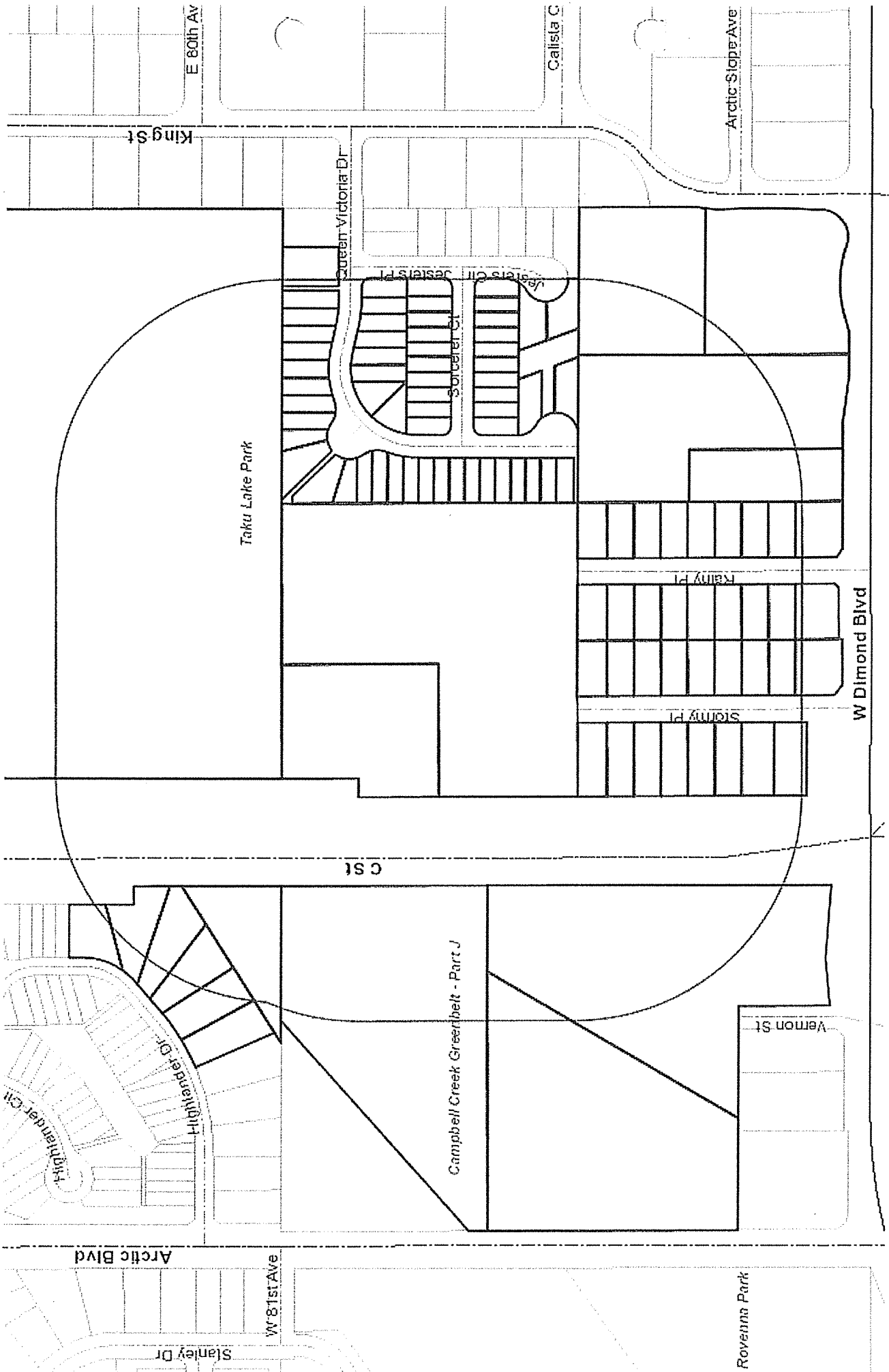
Collin Hodges
Senior Planner

MAPS





Anchorage



2019-0159 PAN map
Distance = 500' (111 fences)

APPLICATION

Application for Major Site Plan Review

Municipality of Anchorage
 Planning Department
 PO Box 196650
 Anchorage, AK 99519-6650

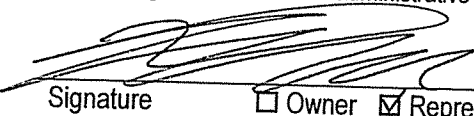
PETITIONER*		PETITIONER REPRESENTATIVE (if any)	
Name (last name first) Keegan, Taylor, MOA Parks & Recreation		Name (last name first) Le, Van, AICP, R&M Consultants, Inc.	
Mailing Address P.O. Box 196650, Anchorage, AK 99519		Mailing Address 9101 Vanguard Drive, Anchorage, AK 99507	
Contact Phone: Day 907-343-4518		Contact Phone: Day 907-646-9659	
Evening		Evening	
Fax		Fax	
E-mail taylor.keegan@anchorageak.gov		E-mail vle@rmconsult.com	

*Report additional petitioners or disclose other co-owners on supplemental form. Failure to divulge other beneficial interest owners may delay processing of this application.

PROPERTY INFORMATION			
Property Tax # (000-000-00-000): 013-071-42-000 and 013-071-43-000			
Site Street Address: 8200 Stormy Place, Anchorage, 99518			
Current legal description: (use additional sheet if necessary) Campbell Creek Greenbelt #08 Lt 76A and Campbell Creek Greenbelt #08 Lot 76			
Zoning: R2M	Acreage: 2.75	Grid #: SW2230	Underlying plat #: 74-0016

SITE PLAN APPROVAL REQUESTED	
Use: Community Use Park	
<input checked="" type="checkbox"/> New SPR	<input type="checkbox"/> Amendment to approved site plan Original Case #:

I hereby certify that (I am)(I have been authorized to act for) owner of the property described above and that I petition for a major site plan review in conformance with Title 21 of the Anchorage Municipal, Code of Ordinances. I understand that payment of the application fee is nonrefundable and is to cover the costs associated with processing this application, and that it does not assure approval of the site plan. I also understand that assigned hearing dates are tentative and may have to be postponed by Planning Department staff, the Planning and Zoning Commission, or Urban Design Commission for administrative reasons.


 Signature Owner Representative (Agents must provide written proof of authorization) October 15, 2019
Date

Van Le, AICP, R&M Consultants, Inc.
 Print Name

Accepted by:	Poster & Affidavit:	Fee:	Case Number: 2019-0159	Requested Meeting Date: 12/11/19
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COMPREHENSIVE PLAN INFORMATION			
Anchorage 2020 Urban/Rural Services: <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Rural			
Anchorage 2020 Major Elements – site is within or abuts:			
<input type="checkbox"/> Major employment center	<input type="checkbox"/> Redevelopment/mixed use area	<input type="checkbox"/> Town center	
<input type="checkbox"/> Neighborhood commercial center	<input type="checkbox"/> Industrial reserve		
<input type="checkbox"/> Transit - supportive development corridor	<input type="checkbox"/> District/area plan area: _____		
Chugiak-Eagle River Land Use Classification:			
<input type="checkbox"/> Commercial	<input type="checkbox"/> Industrial	<input type="checkbox"/> Parks/open space	<input type="checkbox"/> Public lands/institutions
<input type="checkbox"/> Transportation/community facility	<input type="checkbox"/> Alpine/slope affected	<input type="checkbox"/> Special study area	<input type="checkbox"/> Town center
<input type="checkbox"/> Residential at _____ dwelling units per acre	<input type="checkbox"/> Environmentally sensitive area		<input type="checkbox"/> Development reserve
Girdwood- Turnagain Arm Land Use Classification			
<input type="checkbox"/> Commercial	<input type="checkbox"/> Industrial	<input type="checkbox"/> Parks/open space	<input type="checkbox"/> Public lands/institutions
<input type="checkbox"/> Transportation/community facility	<input type="checkbox"/> Alpine/slope affected	<input type="checkbox"/> Special study area	<input type="checkbox"/> Resort
<input type="checkbox"/> Residential at _____ dwelling units per acre	<input type="checkbox"/> Mixed use	<input type="checkbox"/> Rural homestead	<input type="checkbox"/> Reserve

ENVIRONMENTAL INFORMATION (All or portion of site affected)				
Wetland Classification:	<input checked="" type="checkbox"/> None	<input type="checkbox"/> "C"	<input type="checkbox"/> "B"	<input type="checkbox"/> "A"
Avalanche Zone:	<input checked="" type="checkbox"/> None	<input type="checkbox"/> Blue Zone	<input type="checkbox"/> Red Zone	
Floodplain:	<input checked="" type="checkbox"/> None	<input checked="" type="checkbox"/> 100 year	<input type="checkbox"/> 500 year	
Seismic Zone (Harding/Lawson):	<input type="checkbox"/> "1"	<input type="checkbox"/> "2"	<input checked="" type="checkbox"/> "3"	<input type="checkbox"/> "4" <input type="checkbox"/> "5"

RECENT REGULATORY INFORMATION (Events that have occurred in last 5 years for all or portion of site)	
<input type="checkbox"/> Rezoning - Case Number:	
<input type="checkbox"/> Preliminary Plat <input type="checkbox"/> Final Plat - Case Number(s):	
<input type="checkbox"/> Conditional Use - Case Number(s):	
<input type="checkbox"/> Zoning variance - Case Number(s):	<input checked="" type="checkbox"/> Other: Park Master Plan - PZC Approved: 2018-0082
<input type="checkbox"/> Land Use Enforcement Action for	
<input type="checkbox"/> Building or Land Use Permit for	
<input type="checkbox"/> Wetland permit: <input type="checkbox"/> Army Corp of Engineers <input type="checkbox"/> Municipality of Anchorage	

APPLICATION REQUIREMENTS (Only one copy of applicable items is required for initial submittal)	
1 copy required:	<input checked="" type="checkbox"/> Signed application (original) <input checked="" type="checkbox"/> Watershed sign off form, completed <input checked="" type="checkbox"/> 8 1/2" by 11" copy of site plan/building plans submittal
35 copies required:	<input checked="" type="checkbox"/> Signed application (copies) <input checked="" type="checkbox"/> Project narrative explaining: <ul style="list-style-type: none"> <input type="radio"/> the project <input type="radio"/> planning objectives <input type="radio"/> addressing the site plan review criteria on page 3 of this application <input checked="" type="checkbox"/> Site plan to scale depicting, with dimensions: <ul style="list-style-type: none"> <input type="radio"/> building footprints <input type="radio"/> parking areas <input type="radio"/> vehicle circulation and driveways <input type="radio"/> pedestrian facilities <input type="radio"/> lighting <input type="radio"/> grading <input type="radio"/> landscaping <input type="radio"/> loading facilities <input type="radio"/> freestanding sign location(s) <input type="radio"/> required open space <input type="radio"/> drainage <input type="radio"/> snow storage area or alternative strategy <input type="radio"/> trash receptacle location and screening detail <input type="radio"/> fences <input type="radio"/> significant natural features <input type="radio"/> easements <input type="radio"/> project location <input type="checkbox"/> Building plans to scale depicting, with dimensions: <ul style="list-style-type: none"> <input type="radio"/> building elevations <input type="radio"/> floor plans <input type="radio"/> exterior colors and textures <input type="checkbox"/> Assembly Ordinance enacting zoning special limitations, if applicable <input checked="" type="checkbox"/> Summary of community meeting(s)
(Additional information may be required.)	

GENERAL SITE PLAN REVIEW STANDARDS (AMC 21.03.180F.)

The Urban Design Commission or the Planning and Zoning Commission shall review the proposed site plan governed by the general site plan approval criteria for consistency with conformity to the requirements of this title, and the effects of the proposal on the area surrounding the site. Each standard must have a response in as much detail as it takes to explain how your project satisfies the standard. The burden of proof rests with you.

1. The site plan is consistent with any previously approved subdivision plat, planned development master plan, or any other precedent plan or land use approval;
2. The site plan complies with all applicable development and design standards set forth in this title, including but not limited to the provisions in chapter 21.04, *Zoning Districts*, chapter 21.05, *Use Regulations*, chapter 21.06, *Dimensional Standards and Measurements*, and chapter 21.07, *Development and Design Standards*;
3. The site plan addresses any significant adverse impacts that can reasonably be anticipated to result from the use, by mitigating or offsetting those impacts to the maximum extent feasible; and
4. The development proposed in the site plan is consistent with the goals, objectives, and policies of the comprehensive plan.

SPECIAL LIMITATION STANDARDS (if applicable)

The applicable commission shall review the proposed site plan governed by special limitation for consistency with the special limitations, goals, policies and land use designations of the comprehensive development plan and other municipal plans adopted by the assembly, conformity to the requirements of this title, and the effects of the proposal on the area surrounding the site. Each special limitation standard must have a response in as much detail as it takes to explain how your project satisfies the standard. The burden of proof rests with you.



Municipality of Anchorage, Alaska
Anchorage Parks & Recreation

632 W. 6th Avenue, Suite 630
P.O. Box 196650
Anchorage, AK 99519
Tel 907-343-4355
URL www.muni.org/departments/parks



October 8, 2019

RE: Taku Lake Park South Gateway Improvements

To Whom It May Concern:

This Letter Authorizes R&M Consultants, Inc. to represent the Municipality of Anchorage Parks and Recreation Department on the Taku Lake Park South Gateway Improvements for Municipal Planning and Permitting activities. If you have questions or concerns, please contact me at 907-343-4518 or at Taylor.Keegan@anchorageak.gov

Regards,

Taylor Keegan
Park Planner/Project Manager
Anchorage Parks and Recreation

PARKS & RECREATION COMMISSION
Municipality of Anchorage, Alaska

INTRODUCTION

The Anchorage Parks & Recreation Department (PRD) is proposing improvements to Taku Lake Park's South Gateway area, located north of Stormy Place and south of the Campbell Creek Multi-use trail. See Figure 1 Vicinity Map. In 2016-2017, PRD worked with an advisory group comprised of residents, community council members, representatives from user groups and local businesses to update the Master Plan for Take Lake Park. The Master Plan was approved by the Parks & Recreation Commission and the Planning & Zoning Commission in 2018. Improvements proposed to the South Gateway area directly implements the recommendations in the Master Plan (see attached Master Plan South Gateway Concept).

Taku Lake Park is a 53 acre park located along the Campbell Creek Greenbelt in the Taku/Campbell neighborhood in Anchorage. The park is classified as a Community Use Park in the 2006 Anchorage Bowl Park, Natural Resource and Recreation Facility Plan and features both developed facilities and natural areas. The South Gateway area has the highest concentration of developed facilities and is intended to be the most active area of the park. Amenities in the South Gateway area currently include vehicle access and parking lot, two tennis courts, a small skatepark, exercise station, trail access, and the area where the former playground used to be (lost to arson in 2014).

In concurrence with the Taku Lake Park Master Plan, the proposed South Gateway Improvements are designed to be an active year-round destination for individuals and families to gather, recreate and socialize. The South Gateway Improvements have been designed to welcome, orient, and encourage visitors to explore a wider slate of potential recreational interests, to venture further into the park, and provide a natural, exciting, and more safe place to gather and enjoy their favorite activities (see pages 56-61 of Taku Lake Park Master Plan for South Gateway vision and attached Master Plan South Gateway Concept).

LOCATION

The proposed project is located within Taku Lake Park at 8200 Stormy Place, located east of C Street, north of Stormy Place and Rainy Place (accessed from W Dimond Blvd), west of King Street, and south of E 76th Avenue and Foxridge Way. South Gateway Improvements are proposed to occur in the area south of the Campbell Creek Greenbelt multiuse trail, and from the parking lot accessed from Stormy Place, on parcels Campbell Creek Greenbelt Lt 76A and Campbell Creek Greenbelt #08 LT 76.

LAND OWNERSHIP

All parcels of Taku Lake Park and those which host the connecting Campbell Creek Greenbelt are owned by the Municipality of Anchorage and managed by the Parks & Recreation Department. Residential properties border Taku Lake Park South Gateway (Parcel 013-071-42-000) to the south and east. Park land is adjacent to the north (Taku Lake Park) and west (Campbell Creek Greenbelt) as well as C Street to the right.

PROJECT OVERVIEW

Historically, Taku Lake Park has included a tennis court, a skate park, a playground, and a fitness area with adult fitness equipment. The skate park and the adult fitness equipment are in poor condition, and the playground equipment has been removed due to a fire and safety concerns. The proposed improvements to Taku Lake Park will provide a new skate park, a new playground, and a new relocated fitness area. While improved access to the tennis court from the parking lot is proposed in the plans, the tennis court itself is not a part of this redevelopment project.

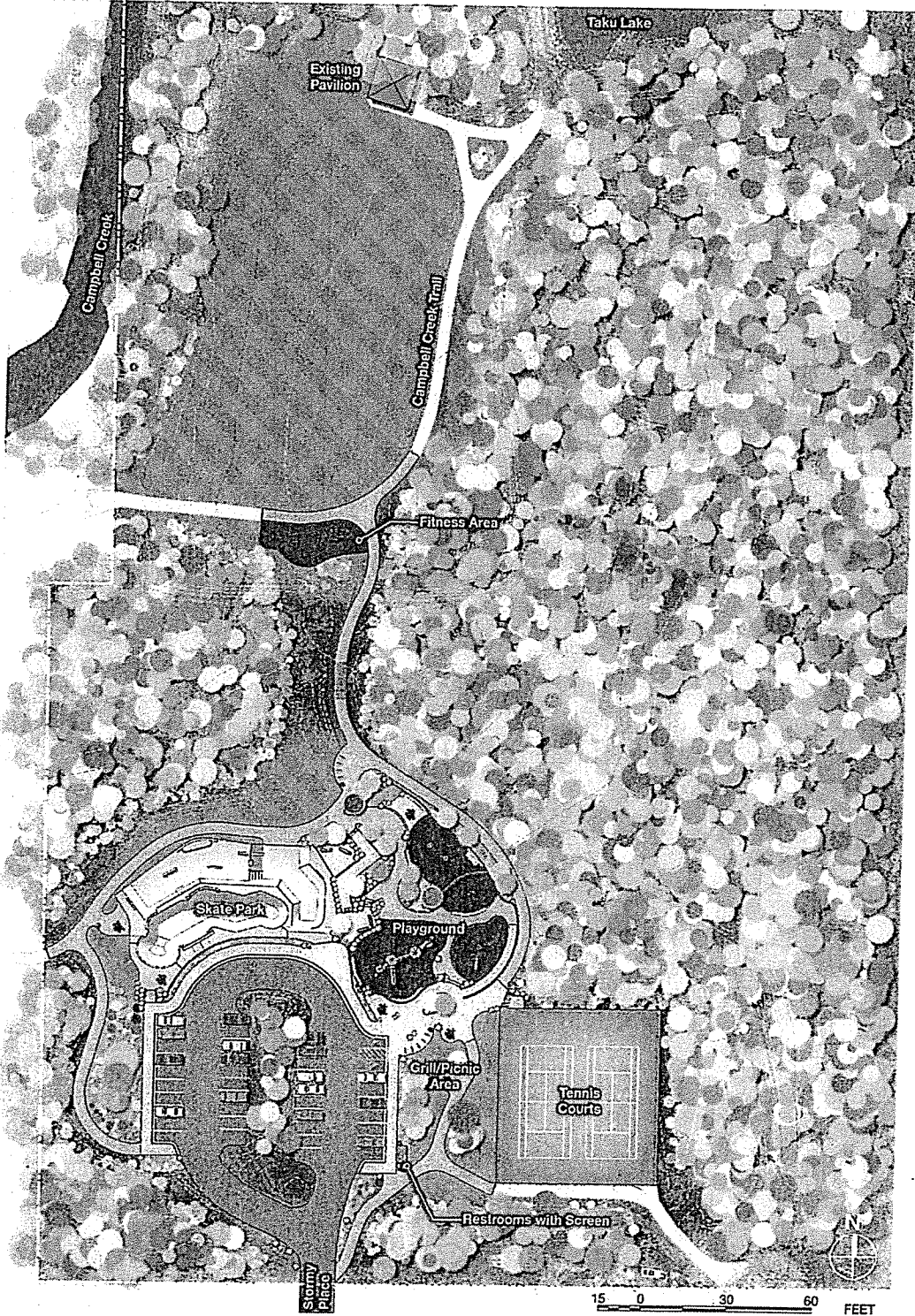
South Gateway Improvements project will occur in approximately 2.75 acres of the park. Improvement features include:

- Upgraded adult fitness station in a new, more visible and accessible location
- New inclusive playground and separate play areas for increased flexibility in active and passive play
- Upgraded, larger concrete skatepark with clearly defined, carefully design separation from other use areas. The spatial relationship of the skatepark to other areas to discourage user conflicts was a high priority during site design.
- Upgraded and realigned trails from the parking lot to the Campbell Creek Greenbelt and new trails providing easy access and circulation around the newly designed activity areas
- Landscaping and natural features
- Improved lighting
- Central theme to brand the South Gateway and Taku Lake Park by incorporating public art

See the *Taku Lake Park South Gateway Improvements Site Plan Rendering* on the next page. For descriptions of specific activity areas proposed in the park, see responses to General Site Plan Review Questions #2, under Use Regulations (page 10).

While the Master Plan concept was the guiding vision for the South Gateway, adjustments had to be made during the design phase to accommodate unforeseen physical constraints. Geotechnical investigations conducted early in the design phase exposed limitations in the soil that lead to a decision to flip the locations of the skatepark and play area as identified in the master plan concept (skatepark to the east and play area to the west of the main pathway). Despite this change from the approved master plan, the vision, intentions, designated activity areas, and goals for the South Gateway remain met or are exceeded in the proposed design.

Taku Lake Park: South Gateway Improvements Major Site Plan Review
Community Use Park Site Plan Review under R2M Zoning Supplemental Application Information

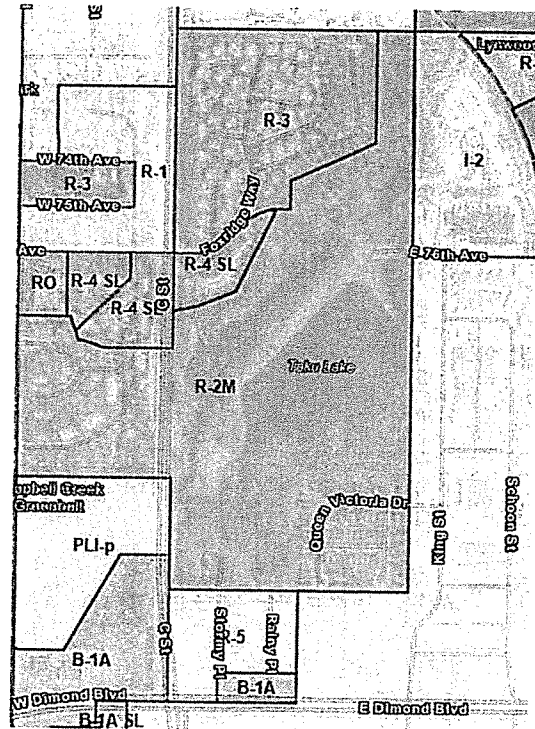


 **IMPROVEMENTS**
Taku Lake Park South Gateway **BETTISWORTH** NORTH 
September, 2019

EXISTING CONDITIONS

ZONING

The property is currently zoned R2M *Mixed Residential District* which is intended primarily for residential areas that allow for single, two and multifamily dwellings. The R2M district permits community gardens and parks as by-right uses. The South Gateway Improvements project proposes a redevelopment to this area of the park and complies with and supports the intent of the R2M zoning district.



LAND USE

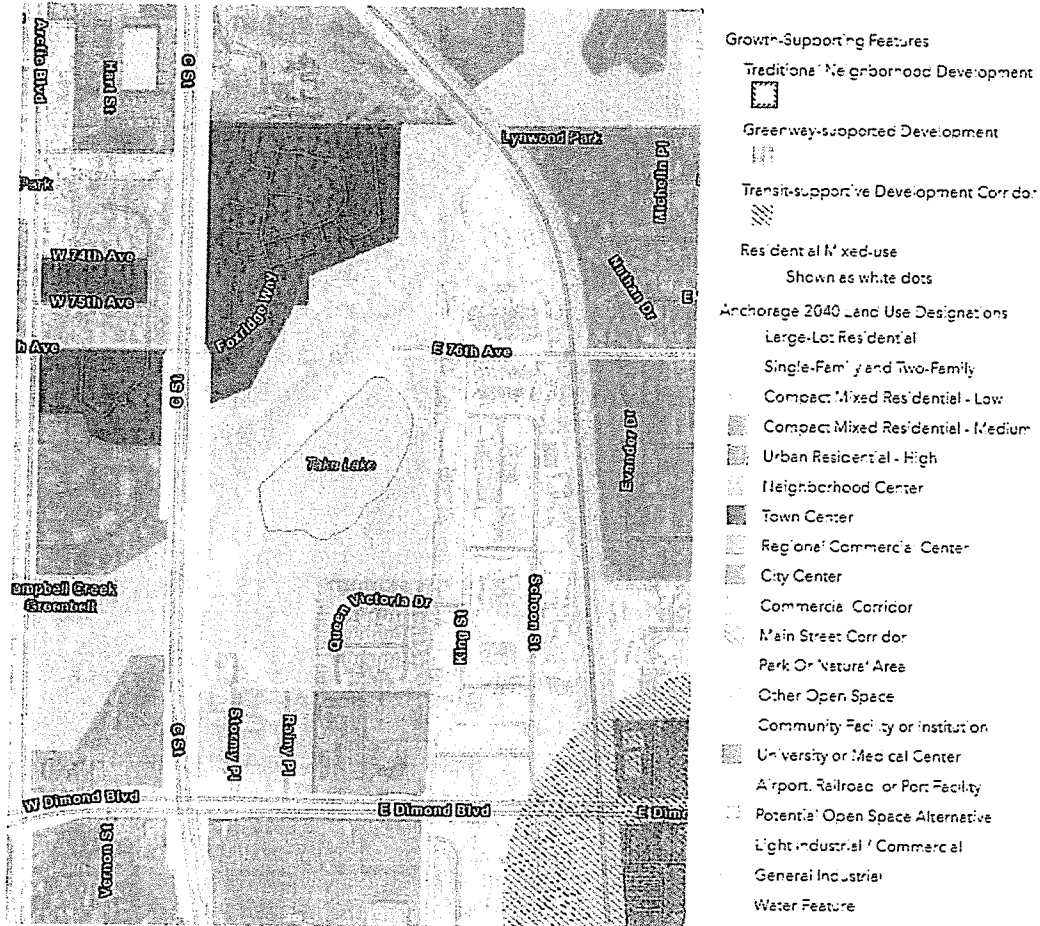
Take Lake Park has been an established community use park since the 1980s when significant development of the park began. Located in the geographic center of the Anchorage Bowl, Taku Lake Park is the only community use park in the area. The park is surrounded by a mix of land uses including residential, commercial, and industrial; providing important separation between land uses historically considered incompatible. To the south and west of the South Gateway area are single-family and two family residential uses. Dimond Blvd, south of the park is a Regional Commercial Center and Corridor as defined by the Anchorage 2040 Land Use Plan Map. The remainder of Taku Lake Park is to the north of the proposed improvement area. The Campbell Creek Greenbelt serves as a non-motorized transportation corridor which traverses southwest to northeast through the park.

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Future Land Use:

The Anchorage 2040 Land Use Plan Map carries forward the existing land uses of Taku Lake Park and the surrounding neighborhood. To the northwest of the park is multi-family housing, to the south, compact mixed housing and commercial uses, and to the east along 76th and King Street to the railroad corridor is light industrial/commercial land use. Dimond Blvd, directly south of the park, is defined by the 2040 Land Use Plan Map as a Regional Commercial Center and Corridor.



SOILS AND TOPOGRAPHY

The ground surface at the South Gateway generally slopes down to the north and west toward Campbell Creek, ranging from elevations. The lowest area of the park is at C Street where Campbell Creek exists the park. Soil profiles encountered below surficial organic soils are consistent with geologic mapping of the area and generally consisted of four generalized soil units; embankment fill, silty surficial soils, coarse-grained fluvial soils, and fine-grained lacustrine soils.

A geotechnical investigation was conducted at the beginning of the South Gateway Improvements design effort to understand any constraints the site may have. The investigation explored subsurface conditions

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in order to develop geotechnical recommendations for construction of proposed structures and pavements. Both shallow groundwater and highly frost susceptible soils were encountered in the area where the skatepark was proposed in the master plan concept. For an in-ground concrete structure at this site, it would be critical that the base layers underlying the concrete be well drained and the structure should either be designed to accommodate seasonal movement associated with frost, or designed to prevent frost heaving in the underlying soil. For this reason, the proposed design features the concrete skatepark in a different location, where the soils are less frost susceptible, the soil less saturated and the groundwater deeper. The playground and other improvements proposed in this eastern portion of development area are significantly lighter, have less impervious surfaces, and are less susceptible to seasonal frost. Additional fill will be brought in to ensure all developed facilities are secure and will last into the foreseeable future.

DRAINAGE

Minimal existing stormwater management infrastructure exists within the limits of Taku Lake Park South Gateway development area. Runoff currently infiltrates into existing vegetation or drains generally northwest via overland flow toward Campbell Creek. There are currently 6 small diameter culverts that allow drainage to pass under asphalt drive lanes and sidewalks to vegetated areas.

WETLANDS

According to the *Anchorage Wetlands Management Plan*, there are waterways on site. Campbell Creek is adjacent to the site to the northwest, and Taku Lake Park is to the north. See Form 2 Watershed Sign-Off. Municipal mapped wetlands occupy low areas adjacent to Campbell Creek, northwest of the site, but are not present or immediately adjacent to the Taku South Gateway area, where redevelopment is proposed.

ACCESS, PARKING, & ONSITE CIRCULATION

The South Gateway is accessed by a parking lot located at the end of Story Place, a short unimproved local road accessible from westbound lands on Dimond Boulevard. The parking lot has 38 spaces, including two ADA spaces, with a two-way loop for ease in navigation.

The Campbell Creek trail is one of Anchorage's premier multi-use trails providing non-motorized access to Taku Lake Park from areas throughout the city. The trail traverses the park from north to south, connecting use areas within the park. The Campbell Creek trail enters Taku Lake Park at the C Street underpass and continues north, joining the northernmost part of the South Gateway area before the trail turns to the north. The trail is paved 8-10 feet wide and groomed in the winter.

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A network of paved and soft surface trails bring non-motorized park users through the South Gateway and into the rest of Take Lake Park. Campbell Creek trail serves as the primary corridor running north to south through most of the park.

LANDSCAPING AND VEGETATION

Existing vegetation at Taku Lake Park is predominantly comprised of large stands of native vegetation made up of young to medium aged spruce, birch, aspen, cottonwood, and an accompanying understory of typical native shrubs such as cranberry and devils club. Forested areas are interspersed with clearings, and transitional areas consisting of willow, devil's club and cow parsnip, cranberry, fireweed, yarrow, and various grasses.

A large area of mowed lawn abuts the Campbell Creek Trail to the north, and the play area, skatepark, and parking lot are nestled in a densely forested area to the south.

UTILITIES AND LIGHTING

Utilities run throughout Taku Lake Park, providing access to sewer, water and power. Currently, only lighting is developed within the park and is installed along the Campbell Creek trail and paved multi-use trail connected the North and South Gateways. Lighting is provided in the parking lot, skatepark, playground and pavilion areas in the South Gateway area.

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COMMUNITY MEETING INFORMATION – AMC 21.03.202C

Parks Bonds passed in 2016 and 2018 allowed the planning and site design process for the South Gateway to begin in fall of 2018 with field survey and geotechnical investigations. Since then, two public workshops have been held and the original Taku Lake Park Master Plan Advisory committee members invited to those events. Workshop #3 of the joint master plan and South Gateway process (Workshop #1 for the South Gateway Improvements design) was held on May 11th, 2019 at the Blue and Gold Boardshop and focused on the skatepark design. Workshop #4 (#2 of the South Gateway design) was held on July 13th, 2019 at the Spenard Recreation Center and solicited feedback all areas of the South Gateway, including the playground, skatepark, adult fitness area, place making and the integration of public art.

Mailed public notice was sent out in compliance with AMC 21.03 for Workshop #4 at Spenard Recreation Center. This location was chosen because the regular community council meetings were not occurring over the summer months and other public locations closer to the park (aka. Elementary schools) were closed for the summer and unavailable for weekend public meeting use. Further, Spenard Recreation Center features a small skatepark and other activity areas that Taku Lake Park users may also enjoy at the Recreation Center, trying to attract more attendance at the workshop.

The following is a summary of the public involvement completed during the site plan design development for Taku Lake Park South Gateway Improvements, which meets the community meeting requirement. See Attachment 5. Public Meeting Summary.

DATE	OUTREACH	OUTREACH OBJECTIVE
5-1-19	Facebook Event Created	Invite to Workshop #3
5-2-19	Constant Contact Email Invite Sent	Invite to Workshop #3
5-11-19	Workshop #3 – Skatepark Design	Interactive workshop focused on skatepark design with current and future users on what they would like to see.
6-19-19	Postcard Mailing to 865 addresses	Invite to Workshop #4
6-27-19	Constant Contact Email Invite Sent	Invite to Workshop #4
7-1-19	Flyers Posted in and around Taku Lake Park	Invite to Workshop #4
7-9-19	Constant Contact Email Reminder Sent	Invite to Workshop #4
7-13-19	Workshop #4 – South Gateway Design	Interactive workshop guiding decision on proposed improvements
9-12-19	Parks & Recreation Commission Meeting	Review, Passed and Approved a Resolution in Support of the proposed Improvements
9-25-19	Pre Application Conference with MOA Planning	Agency review of proposed improvements prior to application submittal to address any concerns.

GENERAL SITE PLAN REVIEW STANDARDS (AMC 21.03.180F.) APPLICATION QUESTIONS

1. THE SITE PLAN IS CONSISTENT WITH ANY PREVIOUSLY APPROVED SUBDIVISION PLAT, PLANNED DEVELOPMENT MASTER PLAN, OR ANY OTHER PRECEDENT PLAN OR LAND USE APPROVAL;

The Taku Lake Park Master Plan was approved by the Parks & Recreation Commission and the Planning & Zoning Commission in 2018. The Master Plan provides a framework for the future management, maintenance and development of the park. As defined in the Master Plan through the public process, the vision for Taku Lake Park is *"a safe, outdoor recreation destination that balances its natural green space and accessible waterways with a variety of unique, year-round activities for people of all ages and abilities, providing the community a natural oasis within the context of residential, commercial and industrial development."* Improvements proposed through this project meet the vision of the overall park and directly implements the plan for the South Gateway, ensuring it is consistent with the previously approved master plan. Modifications in placement of activity areas have been made between the planning and design phase of the South Gateway due to geotechnical constraints and considerations. The changes were made to construct the same desired park, environment, and activity spaces in a more economical, lasting way in the most appropriate location.

The Taku Lake Park Master Plan calls for the following improvements that will be implemented through this project (see Taku Lake Park Master Plan pages 56-61):

- Access, Circulation and Parking: upgrades to access and circulation to support the development of new facilities in the South Gateway. Facilities are to be connected via ADA accessible paved trails. Vehicle access is from Stormy Place and maintains the existing 38 parking spaces, continue to manage the existing parking lot as a year-round facility. Develop paved trails in concert with construction of new facilities to facilitate safe circulation. Provide additional lighting to improve safety and user experience.
- Play Area: an accessible, inclusive and unique destination play area with creative and interesting features that attract visitors to the park year-round. Should complement other facilities, helping to give the South Gateway area a cohesive feel and strong identity; incorporate public art or artful features to provide visual interest, increase ownership and offer playful expression within a public setting.
- Skatepark: construct a permanent skatepark facility suitable for hosting small to moderately sized events, accommodate daily use by a variety of skill levels, and provide a mix of features for all levels of the skate community.
- Central Picnic Area: incorporate a centrally located picnic area with amenities to support use of area recreation facilities by individuals, families and groups
- Fitness Area: improve the fitness area to improve accessibility, visibility and usability
- Amenities and Restroom Facility: develop a permanent restroom facility or portable toilet facilities with a decorative screen fence, if a permanent facility is not feasible. Provide amenities such as

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picnic tables, benches, trash cans, grills and hot coal bins to support use. Incorporate area lighting and maintain clear lines of site from adjacent areas to discourage misuse and vandalism

2. THE SITE PLAN COMPLIES WITH ALL APPLICABLE DEVELOPMENT AND DESIGN STANDARDS SET FORTH IN THIS TITLE, INCLUDING BUT NOT LIMITED TO THE PROVISIONS IN *CHAPTER 21.04, ZONING DISTRICTS, CHAPTER 21.05, USE REGULATIONS, CHAPTER 21.06, DIMENSIONAL STANDARDS AND MEASUREMENTS, AND CHAPTER 21.07, DEVELOPMENT AND DESIGN STANDARDS;*

ZONING DISTRICTS: TITLE 21.04.020.F. R-2M: MIXED RESIDENTIAL DISTRICT

The proposed site plan is consistent with the allowable uses under the R-2M Mixed Residential District. In addition to the variety of single, two, and multifamily dwellings allowed in the district, parks and community gardens are permitted uses. Taku Lake Park is an established community use park which supports the residential and wider commercial development around the area, including its connectivity to the Campbell Creek Greenbelt.

The proposed community use park is a permitted use under the R-2M zoning and the proposed site plan complies with the existing zoning designation. There is intent to rezone the property to Parks and Recreation (PR) designation at a later date, as part of a larger MOA Parks and Recreation Department effort to bring its existing parks into compliance with New Code Title 21. The planned uses and design will continue to be permitted in the PR District, once rezoned.

USE REGULATIONS: TITLE 21.05.040. G PARKS AND OPEN AREAS

Taku Lake Park fall under the Parks and Open Areas category of Community Uses. The category includes land uses focusing on natural areas, large areas consisting mostly of vegetative landscaping or outdoor recreation, community gardens, or public squares. Accessory uses may include clubhouses, playgrounds, maintenance facilities, concessions, caretaker's quarters, and parking. Parks are to be used principally for active and/or passive recreation and to serve ecological and aesthetic functions.

Taku Lake Park is located in the Anchorage Bowl and is guided by the Taku Lake Park Master Plan, 2018, approved by the Parks & Recreation Commission and the Planning and Zoning Commission. The proposed improvements are in alignment with the approved Master Plan, satisfying AMC 21.05.040.G.2.b.i.

SOUTH GATEWAY USE AREAS & FACILITIES

Instead of flattening out space for the different park activity areas, the design team worked with the existing grade of the site so that the playground and skate park are integrated into the landscape. Multiple access routes for varying abilities were included in the design in order to resolve access challenges due to the multi-level approach. Stairs, ramps, and pathways allow access to all sides of the playground and skate park for people of all abilities. Landscape boulders and rock walls are used in combination with concrete retaining walls to lend a more natural look to the playground.

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Park benches, seat walls, and picnic tables and will be provided throughout the park. The benches and tables are positioned for a variety of experiences and inclusive to a variety of abilities. Some are immediately adjacent to the parking lot or the main circulation routes for easy access, and others are tucked into the landscape and the playground for a more intimate setting. It should be noted that while more intimate settings are provided in the design, there are not visually isolated spaces in the new park, and visual transparency is maintained between the trails, parking area, and playground. The placement of the benches in the playground allows parents and caregivers to comfortably and easily keep an eye on the younger users of the playground. ADA accessible tables are provided in the spaces adjacent to accessible routes and all park benches have backs and arms.

Bike racks for 10 bikes are located adjacent to the parking lot, and bike racks for 8 bikes are located adjacent to the bike trail and the north end of the playground.

The proposed South Gateway Improvements site plan includes the following main elements which support the intended use as a community use park (see *Taku Lake Park South Gateway Improvements Site Plan Rendering*, Figure C2 Proposed Site Plan, Figures L3 and L4 Landscape Plan).

SKATEPARK

The design for the Taku Skatepark was based off public input and buy in received at 2 public meetings conducted during the summer of 2019 as well input from City staff. Existing terrain at other skateparks in the Anchorage area were also considered when developing the concept for the Taku Skatepark. The site has an approximate 8ft elevation change which resulted in a terraced design to work with the grade changes. The skatepark starts approximately 3-4ft below the adjacent parking lot sidewalk. This will provide for a great viewing experience for spectators and passerby's as they will be above the park looking down into it. The bowl element in the first terrace is a long snake run style bowl that varies in depth from 4ft deep to 8ft deep, accommodating skill levels from an intermediate to advanced level. It features a signature "whale tail" extension to tie in with Anchorage's history as a whale watching destination and provide a unique identity to the skatepark. From the bowl, the skatepark drops down another level to the adjacent street course which features a variety of ledges, rails, banks and other urban inspired features that accommodate users of all ability levels. There are also smaller transitional features throughout the street course that allow users to build their transitional skills prior to stepping up to the bowl. The park features a "Blue and Gold" color scheme to reflect the state flag and features the big dipper and North Star from the flag in the flat bottom of the skatepark.

PLAYGROUND

The playground is split into play areas for 5-12 year-olds and 2-5 year-olds, a swing area, and a sandbox. The playground equipment in the 5-12 year-old area includes a large composite structure with two climbing net towers connected with a net bridge, multiple slides, spinners, agility climbers, and ladders. It also includes a multi-person spinner with a transfer platform for smaller kids and people with disabilities. The 2-5 year old play area includes a composite structure with a slide, wobble bridge, an interactive panel, and a balance component. The two disc swings and the friendship swing are separated from the larger play

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composites for safer circulation within the play areas. The sand box is tucked in a corner of the playground to provide respite from the noisier activities, and to keep sand off of the safety surfacing. The safety surfacing will be artificial turf surfacing with appropriate safety padding.

A public design workshop in July of 2019 identified support for a birch forest themed playground. The “grass” safety surfacing turf combined with the thinner profiles of the poles for the net climbers and the interspersed planting beds will suggest a birch forest. The playground will reflect its forested surroundings in color and theme, while providing opportunities for people of all ages and abilities to play.

FITNESS AREA

The fitness area will be relocated to north of its current position so that it is directly adjacent to the Campbell Creek Trail. The existing fitness equipment is underutilized and hard to see from the trail at its current location. The new location will provide more visibility and more opportunities for a higher volume of use. MOA PRD will provide the adult fitness equipment for this project.

DIMENSIONAL STANDARDS AND MEASUREMENTS: TITLE 21.06

The minimum lot requirements in the R-2M district are 50 feet in width and at least 6,000 square feet of area for all uses. The maximum lot coverage is 40%. Campbell Creek Greenbelt Lot 76A is 331,143 square feet and Lot 76 is 97,574 square feet, exceeding the minimum area requirement. There are no proposed structures in the project that qualify towards lot coverage. All minimum lot dimension, setback, and height requirements are met.

BUILDING SETBACKS

The minimum yard requirements in the R-2M district are 20-feet in the front, 5-feet on the sides, and 10-feet in the rear. No structures are proposed for the site, and all play equipment and specialty use areas are within the required minimum yard setbacks.

MAXIMUM HEIGHT

The maximum height of structures in the R-2M district is 30 feet. No structures are proposed for the site.

SIGHT DISTANCE TRIANGLES: 21.06.030.C.8

No proposed landscape plantings or obstructions, such as signs, are proposed within the Sight Distance Triangles. The existing Taku Lake Park sign is proposed to be refurbished and relocated in place.

DEVELOPMENT AND DESIGN STANDARDS: TITLE 21.07

21.07.090 OFF-STREET PARKING AND LOADING

Off-street paved parking currently exists at the south end of the Taku Lake Park South Gateway area. The looped parking lot has 39 existing 9' x 20' parking spaces, two of which are signed as ADA-accessible stalls and are adjacent to a shared access aisle. The parking lot will remain in its current configuration as part of the overall site improvements project. Minor improvements include reconfiguring the ADA-accessible stalls and aisle to meet current ADA regulations.

The site falls under the *Park and Open Area* use category which does not have a specific minimum parking count requirement. The number of parking spaces will remain the same and will still meet the standards outlined in *21.07.090 Off-Street Parking and Loading*. The existing number of parking spaces is anticipated to accommodate proposed use of the park after improvements are installed.

21.07.020.B.4.A WATER COURSES

No buildings, accessory structures or parking lots are located within 25-feet from the ordinary high-water mark/banks of nearby Campbell Creek as defined by MOA mapping tools, site survey, and sign-off by MOA Watershed (see Watershed Sign-off Form).

21.07.020.B.6 DEVELOPMENT STANDARDS: B.6.B ACTIVITIES, USES AND STRUCTURES ALLOWED IN A REQUIRED WATER COURSE OR WETLAND SETBACK WITHOUT PRIOR APPROVAL

No new or modified uses are proposed within the required wetland or watercourse setback. MOA Watershed Management has reviewed the proposed design ahead of this application submittal and has no objections to the South Gateway Improvements based on its proximity to Campbell Creek and Taku Lake (see Watershed Sign-Off form).

21.07.040 DRAINAGE, STORM WATER TREATMENT, EROSION CONTROL, AND PROHIBITED DISCHARGES

Minimal existing stormwater management infrastructure exists within the limits of Taku Lake Park South Gateway development area. Runoff currently infiltrates into existing vegetation or drains generally northwest via overland flow toward Campbell Creek. There are currently 6 small diameter culverts that allow drainage to pass under asphalt drive lanes and sidewalks to vegetated areas. Because of the direct adjacency of the project to Campbell Creek, stormwater management design will employ Low Impact Development (LID) and Best Management Practices (BMP) strategies to minimize potential impacts to water quality. The proposed site plan includes an improved, yet still simple and efficient drainage system at the new parking lot and maintains natural vegetation for parking lot and park stormwater and snowmelt runoff management.

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The grading plan has been designed and coordinated to provide positive drainage away from pedestrian and parking areas, similar to the current overall drainage pattern. Storm drainage is re-routed around new park amenities such as the skatepark and play equipment, and into naturally vegetated low areas between the proposed development and Campbell Creek. Negative impact from drainage or snow melt to adjacent neighbors is mitigated, as the site drains away from the neighborhoods to the northwest, farther into the park and towards Campbell Creek.

21.07.040.F SNOW STORAGE

The designated snow storage area for on-site snow clearing is located southwest of the parking lot on an existing turf strip with approximately 2,173 square feet of available space. The existing asphalt parking lot area is 20,186 square feet and requires a minimum of 1,009 square feet of snow storage area (5% minimum per 21.07.040.F.4.b, nonresidential use). The turf area is bordered on both sides by mature trees and drains away from the adjacent residential lot. Snowmelt and stormwater runoff is directed to non-pedestrian areas. Anchorage Parks and Recreation will remove snow if the snow volume fills the designated snow storage area. Parks will also regularly maintain the area, including seasonal cleanup of sediment and debris remnants resulting from snow melt.

21.07.060 TRANSPORTATION AND CONNECTIVITY

21.07.060.D STREETS AND ON-SITE VEHICLE CIRCULATION

Vehicle access to Taku Lake Park South Gateway is via Stormy Place, off West Dimond Blvd. Stormy Place is a paved Local Street with 60' ROW width and on-street gravel parking. West Dimond Blvd. is a Class IIIA Major Arterial, owned and maintained by the Alaska Department of Transportation & Public Facilities (DOT&PF). The 24-ft wide paved park driveway has a gate that can be locked after park hours. The driveway leads to the existing looped asphalt parking area.

The parking area will be signed for one-way traffic flow to ensure orderly circulation for visitor parking and loading/unloading as well as efficient access for emergency and maintenance vehicles. New perimeter concrete sidewalk is planned along the west, north and east sides of the parking lot and will allow for passenger-side drop off near the parks amenities at the north end loop. See [Figure C2 Proposed Site Plan](#).

21.07.060.E STANDARDS FOR PEDESTRIAN FACILITIES

All pedestrian walkways, paths, and trails meet standards as applicable. Concrete walkways and asphalt paths will be constructed with the 8+ plus typical widths throughout the site. Sidewalks provide paved, ADA compliant accessibility from the parking lot to all developed activity areas and Campbell Creek trail. All paved walkways and multi-use trails will meet the ADA Standards for Accessible Design. See [Figure C2 Proposed Site Plan](#) and [Figures L2 – L4 Title 21 Code Study and Landscape Plan](#).

21.07.060.F PEDESTRIAN AMENITIES

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The site improvements for the South Gateway include pedestrian amenities in support of its function as a Community Use Park. Campbell Creek Trail, a multi-use path accesses the South Gateway from the remainder of the park as well as the greenbelt to the west and north. Bike racks for 10 bikes will be located adjacent to the parking lot, and bike racks for 8 bikes will be located adjacent to the bike trail and the north end of the playground. Benches, picnic tables, bear-proof trash cans, and other pedestrian amenities will be provided throughout the South Gateway. A portable toilet facility will be located at the southeast end of the parking lot for visitor convenience and will be screened appropriately.

21.07.080 LANDSCAPING, SCREENING, AND FENCES

The Taku Lake Park Master Plan identified the need to balance natural areas with developed recreation areas. The proposed landscape plan preserves the existing stands of native vegetation wherever possible on the periphery of the new facilities, while providing new plantings throughout the playground and adjacent to the parking lot.

During the Master Plan, it was identified by the community that sight lines should be maintained into the park, predominantly from C Street and the existing parking lot. This project will include strategic sight line clearing to facilitate the community's wishes to improve perceptions of safety and increase visibility into the park. Anchorage Parks and Recreation Department will be selectively clearing the vegetation under the direction of their staff arborist.

21.07.080.C LANDSCAPE PLAN

New landscape planting beds are integrated into the design of the playground and along the south edge of the existing parking lot. The planting plan will include native birch trees, and hardy shrubs and perennials to satisfy MOA Title 21 Land Use Regulations and to maintain an aesthetic and natural park setting. The project will provide parking lot perimeter landscaping as described below.

At a minimum, disturbed areas will receive topsoil and be re-seeded with either lawn seed mix or no-mow wildflower seed mix to match the character of the surrounding existing conditions. All of the species selected for this project will be native or cold hardy. The plant schedule identifies the species and size of the plant materials. Plant selections and locations are informed by the Anchorage Parks and Recreation Department's long history of operations and maintenance experience. Species selected were identified for their aesthetic, ease of maintenance, and long-term survival. See attached Landscape Sheets, [Figures L1 through L10](#).

21.07.080.E.2.B PARKING LOT LANDSCAPING AND 21.07.080.E.2.C PARKING LOT INTERIOR LANDSCAPING

The existing parking lot consists of 39 spaces, including two van accessible parking spaces with an eight-foot access aisle. No parking lot interior landscaping is required by code, but the parking lot does include a large interior landscape island with a dense stand of native trees and shrubs that will remain undisturbed by the proposed improvements. The north, east, and west sides of the parking lot do not abut a property

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line, and are not visible to surrounding properties due to dense stands of existing vegetation that will remain primarily undisturbed during the course of this project. The appurtenant driveway abuts the south property line and will be provided with L2 buffer landscaping in compliance with 21.07.080.

Large stands of native vegetation currently exist between the parking lot and the R-5 zoned neighborhood directly to the south. Meeting the L2 buffer landscaping requirements on the south side of the parking lot would require removing approximately 800 square feet of existing native plant material. The proposed plan proposes preservation and protection of the stand of native plant material, supplemented with additional new plantings to meet the L2 buffer landscaping requirements.

Existing white spruce trees 10 feet or more in height and birch trees 6 inches or greater caliper were identified and located by field observation and field measurements in the area directly south of the parking lot. The Title 21 Code Study Sheet in the attached Landscape Sheets provides the substitution calculations used to meet the L2 buffer landscape requirements. Though several large cottonwoods occur in these areas, no cottonwoods were included in the substitution count.

21.07.080.G.2 REFUSE COLLECTION

Five 70-gallon trash receptacles are provided in the park. All of the trash receptacles provided will be bear-proof, and will be located for easy access by the public and by the Park's maintenance staff.

21.07.080.G.3 SERVICE AND OFF-STREET LOADING AREAS

No service or loading areas are required for the Park. The two-way circular traffic flow of the existing parking lot will remain, providing adequate servicing and loading areas without dedicating a space or blocking access.

21.07.080.G.4 MECHANICAL AND ELECTRICAL EQUIPMENT

No mechanical equipment is proposed, however two portable toilet facilities (port-a-potties) will be located at the southeastern end of the parking lot, near the grill and picnic area for visitor convenience. The portable toilet facilities will be properly screened. Electrical equipment will be limited to small transformer(s) and switch panel(s) for lighting controls.

21.07.080.H FENCES

No fences other than those used for screening purposes are proposed.

21.07.100 EXTERIOR LIGHTING

New parking lot, pathway, skatepark, play area, and fitness pad lighting will be installed on existing poles where practical and on new poles where needed. An architectural feature light near the new play area will

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also be installed to accent future art in the area. Power service will also be installed on the new/existing poles in the skatepark area.

Power for the skatepark and exterior site lighting will be limited to an existing MOA load center in the area. The existing load center is located in the southwest corner of the south gate entrance to the park. See Figures E0-E2 Electrical Plans for approximate location.

LED site lighting fixtures, for parking lot will be mounted to existing 30-foot poles, for play area will be mounted to 30-foot poles, for skatepark will be mounted to 30-foot poles, and for pathway/fitness pad will be mounted to existing and new 15-foot poles. They will be located to maximize efficiency while adequately lighting all areas of the improvements. The architectural feature light proposed near the play area will provide additional light and improve visibility of art pieces in the future. All site lighting has been located to provide adequate clear zones from pedestrian and vehicle circulation areas.

21.11.060 SIGNAGE

The existing wooden park sign will be rehabilitated by park maintenance staff and reset in its current position.

A location for a future Kiosk.2 wayfinding sign has been included in the design, and has identified in the plans, but installation of the wayfinding sign will not be included in this project.

3. THE SITE PLAN ADDRESSES ANY SIGNIFICANT ADVERSE IMPACTS THAT CAN REASONABLY BE ANTICIPATED TO RESULT FROM THE USE, BY MITIGATING OR OFFSETTING THOSE IMPACTS TO THE MAXIMUM EXTENT FEASIBLE;

The South Gateway area is currently underutilized due to the conditions of existing facilities; the playground was lost to arson in 2014 and the skatepark and fitness areas are outdated and no longer meet the needs of users. New and improved facilities will reestablish this destination area of Taku Lake Park and bring with it increased safety through activation, improved site lines and lighting.

The parking lot is not being expanded and alternative access via the Campbell Creek trail will mitigate potential negative transportation related impacts to the adjacent neighbors on Stormy Place. New park facilities and lighting are set back from adjacent neighborhoods and as much existing mature vegetation is being retained as possible to adequately buffer active areas of the park from residents.

No environmental pollution is anticipated as a result of the proposed development. Prior to the start of ground disturbing activities, the contractor will be required to prepare a Storm Water Pollution Prevention Plan (SWPPP). The Contractor will be required to implement the plan during construction. The plan will identify the methods to be used to control erosion and sediment discharge during construction. Any noise associated with construction will be regulated through the permitting process. The park development has also been designed to minimize off-site light pollution.

4. THE DEVELOPMENT PROPOSED IN THE SITE PLAN IS CONSISTENT WITH THE GOALS, OBJECTIVES, AND POLICIES OF THE COMPREHENSIVE PLAN.

ANCHORAGE 2020 – ANCHORAGE BOWL COMPREHENSIVE PLAN

Anchorage 2020 is the comprehensive plan for the Anchorage Bowl. Adopted in 2001, *Anchorage 2020* provides land use policies and specific actions to guide decision makers over the twenty-year life of the plan. The 2018 Taku Lake Park Master Plan and the proposed South Gateway Improvements project supports the *Neighborhood Identity and Vitality, Natural Open Space, the Parks, Trails, and Recreation* goals of the *Anchorage 2020 Comprehensive Plan*.

- *Neighborhood Identity and Vitality: A variety of safe, pleasant, and distinctive neighborhoods responsive to the diverse needs of residents, with good access to schools, recreation, natural areas and community facilities.*
- *Safety: A community where people and property are safe*
- *Harmony with Nature: An urban place that develops in harmony with its natural setting and is mindful of its natural hazards.*
- *Natural Open Space: A network of natural open spaces throughout the community that preserves and enhances Anchorage’s scenic vistas, fish, wildlife, and plant habitats and their ecological functions and values.*
- *Water Resources: Water resources and watersheds that are protected and enhanced for their enduring viability and values.*
- *Parks, Trails, and Recreation: A sustainable and accessible system of recreational facilities, parks, trails and open spaces that meets year round neighborhood and community wide needs.*

Development of the South Gateway as proposed also support fulfillment of the following Anchorage 2020 policies:

- ***Policy #7- Avoid incompatible uses adjoining one another:*** The Community Use Park improvements and adjacent residential development are compatible uses. The Taku Lake Park South Gateway improvements have been designed in context with the surrounding development and are intended to increase positive recreation activities, deter illegitimate activities, and provide the community enriching natural and built environment that supports adjacent residential neighborhoods.
- ***Policy #42 – Northern city design concepts shall guide the design of all public facility projects, including parks and roads:*** Winter city design has been used throughout the development of the proposed improvements. In addition to the overall facility improvements, snow storage, melt, drainage, and lighting were given specific consideration to ensure the public facility would provide recreational opportunities year-round.

Taku Lake Park: South Gateway Improvements Major Site Plan Review

Community Use Park Site Plan Review under R2M Zoning Supplemental Application Information

- *Policy #50 - Healthy, mature trees and forested areas shall be retained as much as possible:* existing, healthy and mature trees are being kept in place as much as feasible and will continue to provide a natural vegetative buffer between the park and the surrounding developed areas.

ANCHORAGE BOWL PARK, NATURAL RESOURCES, AND RECREATION FACILITY PLAN

The Anchorage Bowl Park, Natural Resources, and Recreation Facility Plan (Park Plan) provides a model for applying a systematic approach to the planning of parks, recreation, and natural use areas. The Park Plan classifies Taku Lake Park as a Community Use Area or Community Park. Community Parks serve a broader purpose and population than local and neighborhood parks. They provide opportunities for social interaction across neighborhoods, and increase the economic development potential of an area.

The Park Plan identifies broad strategies for improving Community Use Areas/Parks including “upgrades to existing parks and expanding facilities where possible to improve use, meet ADA and safety issues.” Additional strategies include improvements to “access, trails, and connections” with specific recommendations for Taku Lake Park to “improve play areas, picnic grounds and waterfront areas.” Redesign and development of Taku Lake Park may be appropriate to achieve the safety and use improvements desired.

The proposed South Gateway Improvements project meets the intent of a Community Park and implements recommendations of the Park Plan. Improvements to the South Gateway are specifically design to be inclusive and provide a variety of micro environments to suit a range of recreation desires. The skatepark will be the largest in Anchorage, creating a new destination and opportunity for expanded recreation in the community. The South Gateway Improvements proposes to provide better access to activity areas via trails within the park, provide new pedestrian amenities, and directly implements the recommendation to improve the play areas.

PRELIMINARY SCHEDULE AND ESTIMATED COSTS

The project is scheduled to start construction in the summer of 2020 and be completed in summer 2021.

ESTIMATED COSTS

<u>Plant Material Budget:</u>	\$55,640 (Landscaping Planting, Seeding+ Boulders)
<u>Total Landscape Budget:</u>	\$665,890 (Minus Parking, Lighting, Construction Costs, & Excavation)
<u>Civil Site work:</u>	\$241,387
<u>Electrical:</u>	\$133,570
<u>Skatepark:</u>	\$738,457

The shown estimated costs include all phases and activities; it is anticipated some construction costs will be mitigated by work completed by MOA Parks & Recreation Department staff.

FEASIBILITY

The following cost estimates and assumptions were current as of June 2019.

Current Funds Available = \$1,040,000

2016 Parks Bond	\$400,000
2018 Parks Bond	\$250,000
Anchorage Park Foundation	\$350,000
Challenge Grant	\$40,000

Expended Funds to Date = \$114,813

Taku Lake Park Master Plan	\$61,338
South Parking Lot Gate	\$3,800
Survey and Geotech	\$49,675

Construction Estimate and Goal = \$1,900,000

Design Services	\$200,000
Skatepark	\$500,000
Play Area	\$750,000
Lighting, Site Work, etc.	\$415,000
Landscaping	\$35,000

Total Anticipated Funds Expended = \$2,014,813

Remaining Amount to Fundraise = \$974,813

Taku Lake Park: South Gateway Improvements Major Site Plan Review

Community Use Park Site Plan Review under R2M Zoning Supplemental Application Information

FORMS & ATTACHMENTS

- | | |
|---|--|
| 1 | Taku Lake Park South Gateway Master Plan Concept |
| 2 | Watershed Sign-Off Form |
| 3 | Plat SW2230 |
| 4 | Parks & Recreation Commission Resolution No. 2019-08 |
| 5 | Pre-Application Meeting Summary and Sign in |
| 6 | Public Meeting Summaries |

LIST OF FIGURES

- | | |
|--------------|-----------------------------------|
| G1 | Vicinity Map |
| C1 | Existing Site & Demolition Plan |
| C2 | Proposed Site Plan |
| C3 | Proposed Grading & Drainage Plan |
| L1 | Landscape Schedule and Key Plan |
| L2 | Title 21 Code Study |
| L3 | Landscape Plan |
| L4 | Landscape Plan |
| L5 | Landscape Enlargement - Furniture |
| L6 | Landscape Enlargement - Plantings |
| L7-L10 | Landscape Details |
| SP 1.1 | Skatepark Renderings |
| SP 1.2 | Skatepark Site Plan |
| SP 1.3 | Skatepark Coping Materials |
| SP 1.4 | Skatepark Concrete Materials |
| SP 3.1 & 3.2 | Skatepark Details |
| E0 | Electrical Legend |
| E1 | Electrical Demolition Plan |
| E2 | Electrical Remodel Plan |

FORMS & ATTACHMENTS

South Gateway
preferred alternative

Campbell Creek

Upgrade Existing Pavilion Lighting

Revegetate Trail Edge

Open Lawn

Widen Trail Curve Radii

Soft Surface Forest Trails

Existing Forest

Skatepark

Play Area

Picnic Area

Swings

0-2.5 play

Basketball

Fitness

Pavilion + Restrooms

Existing Forest

Existing Parking (38)

Existing Tennis

Gate

Greenfield

Stormy Place

Rainy Place

WMS WATERCOURSE MAPPING SUMMARY

Per the requirements for watercourse verification outlined in Project Management and Engineering Operating Policy and Procedure #8 and Planning Department Operating Policy and Procedure #1 (effective June 18, 2007), MOA Watershed Management Services has inspected the following location for the presence or absence of stream channels or other watercourses, as defined in Anchorage Municipal Code (21.35).

- Project Case Number or Subdivision Name: Taku Lake Park South Gateway Improvements
- Project Location, Tax ID, or Legal Description: Site Address: 8200 Stormy Place, 99518
Legal: Campbell Creek Greenbelt Lt 76A and Campbell Creek Greenbelt #08 Lot 76
- Project Area (if different from the entire parcel or subdivision): _____

In accordance with the requirements and methods identified, WMS verifies that this parcel, project area, or application:

X ~~Y~~ ~~N~~ **DOES NOT** contain stream channels and/or drainageways, as identified in WMS field or archival mapping information.*

_____ **DOES** contain stream channels and/or drainageways **AND** these are located and identified on submittal documents in general congruence with WMS field and archival mapping information.
*New or additional mapping IS NOT REQUIRED.**

_____ Contains stream channels and/or drainageways **BUT** one or more streams or other watercourses:

- are **NOT** shown on submittal documents, or
- are **NOT** depicted adequately on submittal documents for verification, or
- are **NOT** located or identified on submittal documents in general congruence with WMS field and archival mapping information.

*New or additional mapping IS REQUIRED and must be re-submitted for further review and verification.**

_____ Presence of stream channels and/or drainageways is unknown **AND** field verification is not possible at this time. WMS will verify as soon as conditions and prioritized resources allow.

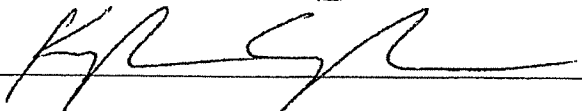
* Streams omitted in error by WMS or others remain subject to MOA Code and must be shown in new mapping upon identification of the error.

ADDITIONAL INFORMATION:

- | | | | | |
|----------------------------|---------------------------------------|--|--------------------------------------|--------------------------------|
| <input type="checkbox"/> Y | <input checked="" type="checkbox"/> N | WMS written drainage recommendations are available. | <input type="checkbox"/> Preliminary | <input type="checkbox"/> Final |
| <input type="checkbox"/> Y | <input checked="" type="checkbox"/> N | WMS written field inspection report or map is available. | <input type="checkbox"/> Preliminary | <input type="checkbox"/> Final |
| <input type="checkbox"/> Y | <input checked="" type="checkbox"/> N | Field flagging and/or map-grade GPS data is available. | | |

Inspection Certified By:

Date:



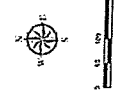
10/3/19

SW2230 Grid Map

- Parcel Line
- Deeded Parcel Line
- Subdivision Boundary
- Subdivision Address
- Exemant Line
- Exemant Centreline
- Road Centreline
- Phase Road Centreline
- Section Line
- Phase Road Centreline
- Phase Road
- Stream Centreline
- Monument
- BLM Monument
- Witness Corner
- Beaving Break
- Lot Number
- Block Number
- Subdivision Name
- BLM Lot Number
- Section Number
- ADOT

1/4 SECTION 7 T12N R31W

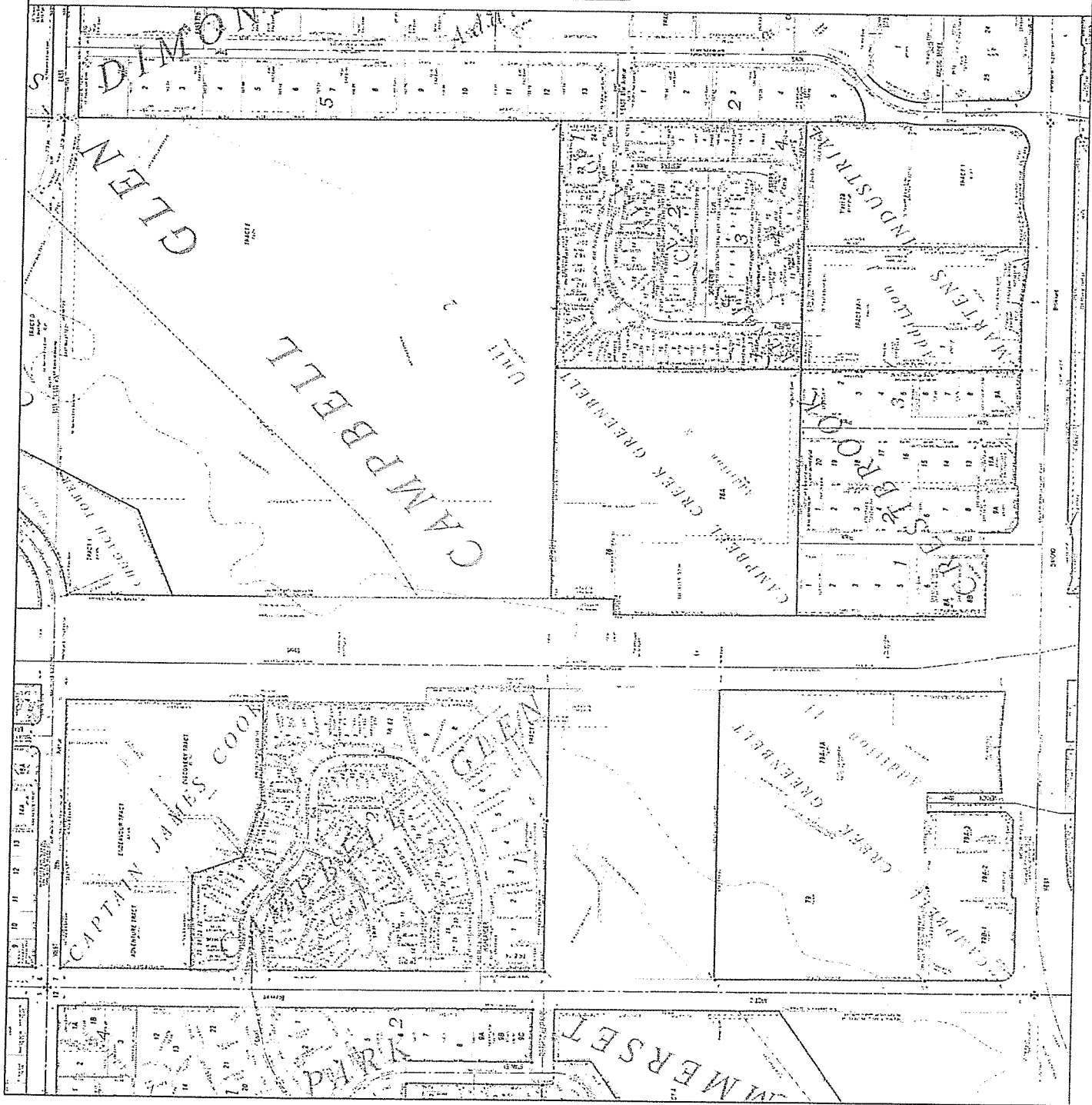
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9	10	11	12
13	14	15	16



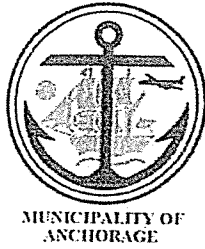
This map is derived from the current best available aerial photography and is not a survey. It is intended for general information only and should not be used for legal purposes. The Municipality of Anchorage is not responsible for any errors or omissions on this map.



Municipality of Anchorage
 2230 SW 2230
 Anchorage, Alaska 99503
 Phone: (907) 571-1234
 Fax: (907) 571-1235



MOA 1/4 Section Grid Map
 NW 1/4 Sec 7 T12N R31W
 JUN 30, 2015
 GRID 6V0230



Municipality of Anchorage, Alaska
Parks & Recreation Commission

632 W. 6th Avenue, Suite 630
P.O. Box 196650
Anchorage, AK 99519
Tel 907-343-4355
URL www.muni.org/departments/parks



PRC RESOLUTION NO. 2019-08
Taku Park South Gateway Improvements

WHEREAS, the Anchorage Parks and Recreation Commission serves in an advisory capacity to both the Mayor and the Assembly; and

WHEREAS, the Anchorage Parks and Recreation Commission has the responsibility and duty to provide for the long term vision of our park system by ensuring that a balance of parks, natural resources, and recreation facilities provides for the health, welfare, and safety of all residents of the Anchorage Bowl; and

WHEREAS, Taku Lake Park is a 53 acre park located along the Campbell Creek Greenbelt in the Taku/Campbell neighborhood of Anchorage; and

WHEREAS, the Anchorage Parks and Recreation Department collaborated with local community members and stakeholders on the 2018 *Taku Lake Park Master Plan* to identify improvements proposed for the South Gateway; and

WHEREAS, the Parks and Recreation Department has continued to work with the community throughout the design development process soliciting input from the community advisory group, skatepark users, local businesses, and the general public through a series of workshops and design meetings; and,

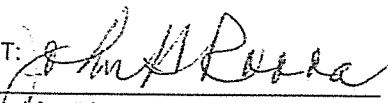
WHEREAS, the proposed South Gateway improvements include skatepark upgrades, a new inclusive playground, picnic areas, circulation improvements, safety upgrades and lighting, landscaping, and new amenities;

WHEREAS, the proposed improvements are intended to serve the larger community offering a range of highly desirable recreational opportunities for families and individuals of all ages and abilities; therefore,

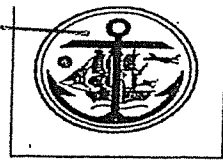
BE IT RESOLVED that the Anchorage Parks and Recreation Commission approves the Taku Lake Park South Gateway 2020 Improvements project.

PASSED AND APPROVED by the Anchorage Parks and Recreation Commission this ^{12th} ~~9th~~ day of September, 2019.


Jon Dyson, Chair
Parks and Recreation Commission

ATTEST: 
John Rodda, Director
Parks & Recreation Department

PARKS & RECREATION COMMISSION
Municipality of Anchorage, Alaska



Municipality of Anchorage/Development Services Department
4700 Elmore Road, Anchorage, AK 99507

Project Name: Taku Lake South Gateway Project #: _____

Meeting held at: Room 170, Planning Date/Time: 9/24/19 @ 2pm

	NAME (please print)	AGENCY / DEPARTMENT	PHONE	EMAIL
1	Collin Hodges	MOA Planning	343-7938	collin.hodges@anchorageak.gov
2	VAN. LE	RPM Consultants	646 9659	vle@rpmconsult.com
3	Randy Rissic	MUS - Traffic	343-8415	Rissicr@mus.org
4	Francis McLaughlin	MOA Current Planning	343-8003	mclaughlinfd@muni.org
5	Marc Guzik	MOA - Private Dev.	243-8115	guzikm2@muni.org
6	Jeffrey Urbanus	MOA - WMS	8023	urbanusjd@muni.org
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Notes: _____

Taryn Oleson

From: Van Le
Sent: Wednesday, September 25, 2019 8:53 AM
To: Taryn Oleson
Subject: FW: Taku Lake

Taku Pre-App Summary below and a few checklist items. I sent plans to WSM.

Waiting for sign in from yesterday also to include in packet.

Van Le, AICP Manager – Planning Department

R&M CONSULTANTS, INC. | 9101 Vanguard Drive | Anchorage, Alaska 99507
907.646.9659 direct | 907.242.1578 mobile

[Facebook](#) | [LinkedIn](#) | rmconsult.com

Innovating Today for Alaska's Tomorrow

From: McLaughlin, Francis D. [mailto:francis.mclaughlin@anchorageak.gov]
Sent: Tuesday, September 24, 2019 3:35 PM
To: Van Le <VLe@rmconsult.com>
Subject: Taku Lake

Hi Van,

Here's a summary of the issues raised at the pre-app meeting:

- Provide a community meeting summary and justification for holding the meeting away from the Taku/Campbell Community Council meeting.
- Explain the discrepancies between the master plan and development plan (i.e. geotech cause the skate park and playground locations to be swapped)
- Private development wants to see how drainage and snow melt are handled (e.g. not running onto neighbors); stormdrain location
- WMS asked to see early construction drawings because of new green infrastructure requirements in the DCM; trails within the project area must meet stream setbacks, which does not appear to be an issue with this project

Thank you,
Francis

Francis McLaughlin
Planning Department
343-8003

Taku Lake Park South Gateway Improvements
SKATEPARK DESIGN WORKSHOP

WORKSHOP #3
 Saturday, May 11, 2012
 Blue & Gold Foodshop
 3:00 PM - 5:00 PM

NAME	EMAIL	WHAT NEIGHBORHOOD DO YOU LIVE IN?	HOW DID YOU HEAR ABOUT THE OPEN HOUSE?
Nathan Wolt	wold.nathan7@gmail.com	Kincaid	FRiENDS
Nikoshane Santa Ana	niko.santana@yahoo.com	Jewel Lake	social media
MATT YODER	PUNKYODA@hotmail.com	GIRDWOOD	EdOs
Deneray Kulkowski	deneray.kulkowski@gmail.com	Jewel Lake	insta
Sam Tung	Samtung76@gmail.com	Ocean View	insta
Randy Rennie	RandyRennie@outlook.com	Sperard	(insta) Jason @ Blue & Gold
Daniel Redman	Daniel.Redman@live.com	Mukbepp	Blue & Gold
Zack Crater	zckcrater@yahoo.com		
Evan Sharp	evansharp92@hotmail.com	Dimond	Ancorage Parks Foundation
Brian Berube	brianberube2008@gmail.com	East Anch.	Blue & Gold

Taku Lake Park: South Gateway Improvements
SKATEPARK DESIGN WORKSHOP

WORKSHOP #3
 Saturday, May 11, 2019
 Blue & Gold Boardshop
 8:00 PM - 5:00 PM

NAME	EMAIL	WHAT NEIGHBORHOOD DO YOU LIVE IN?	HOW DID YOU HEAR ABOUT THE OPEN HOUSE?
Rory Hauser	Rory@RMHPLAERACING.com	Brain Park	IG
Uriah Martinez @whosrich	uriah.martinez310@hotmail.com	Biglake	BAG
Victor Hess	Victorjhess@gmail.com	Valley	BtG
Michael Estrella	MichaelamSteffin@gmail.com	Valley	BtG
Caedon Larson	caedon.larson@gmail.com	Green Brook	Bluet Crest!!
John Rosenberry	JohnRosenberry@AOL.com	Girdwood	BtG
Casey Concell	Casey.Concell@gmail.com	Eagle River	BIG
Sydney / Maxim	isap@aol.net	Golden View	Blue School
Doug Molyneux	d.molyneux@gei.net	Campbell Green	e-mail
Blake Hulse	LAMULLI AND KAIL@YAHOO.COM	Campbell Creek	FACEBOOK

Taku Lake Park: South Gateway Improvements
SKATEPARK DESIGN WORKSHOP

WORKSHOP #3
 Saturday, May 11, 2019
 Blue & Gold Boardshop
 3:00 PM - 5:00 PM

NAME	EMAIL	WHAT NEIGHBORHOOD DO YOU LIVE IN?	HOW DID YOU HEAR ABOUT THE OPEN HOUSE?
Crysta Srendson	crystajean@hotmail.com	Dimond / Cranberry	Facebook
Jonathan Severson	JMSeverson@CCI.NET	Grand Lake	Just Kipped in!
Bryon Beachem	Paul.Beachem@gmail.com	Huffman	Insta
Cameron Jimme	Cameron.jimme@gmail.com	Valley - + the Moon	Social media
BRENDA CRAIG	Brendacraig3@gmail.com	Dimond	Insta
Rodney Glenn	midnightrider92@gmail.com	Huffman	social media

TAKU LAKE PARK

SOUTH GATEWAY IMPROVEMENTS 2020

MUNICIPALITY OF ANCHORAGE PARKS AND RECREATION

Anchorage Parks & Recreation is designing improvements for Taku Lake Park, guided by the 2018 approved master plan. Improvements are scheduled for construction in 2020 and focus on the South Gateway Area.

Proposed improvements include stakepark upgrades lead by Grindline Skateparks Inc., a new inclusive playground, picnic areas, circulation improvements, safety upgrades and lighting, as well as new amenities.

But we need your help with the design! Join us at the hands on workshop.

South Gateway Design Workshop

Saturday

July 13, 2019

(1-3 PM)

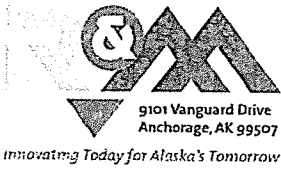
City of Anchorage, Parks & Recreation
700 W. 48th Ave
Anchorage, AK

For more information, visit the project page:
<http://bit.ly/TakuLakeParkSouthGateway>

Taylor Keegan, Project Manager
MOA Parks & Recreation
keeganth@muni.org | 343-4518



Van Le, AICP, Project Planner
R&M Consultants, Inc.
vle@rmconsult.com | 646-9659



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**TAKU LAKE PARK
SOUTH GATEWAY
IMPROVEMENTS**

**DESIGN
WORKSHOP
July 13, 2019**

<http://bit.ly/TakuLakeParkSouthGateway>

Address

Taku Lake Park South Gateway Design



South Gateway Design Workshop

Saturday July 13, 2019

1:00 PM – 3:00 PM

Spenard Recreation Center

2020 W 48th Ave Anchorage, AK

Staff in Attendance:

Taylor Keegan	Project Manager	MOA Parks & Recreation
Van Le, AICP	Planner/Public Involvement	R&M Consultants, Inc.
Taryn Oleson, AICP	Planner/Public Involvement	R&M Consultants, Inc.
Mark Kimerer, ASLA	Landscape Architect	Bettisworth North
Eric Jones	Landscape Architect	Bettisworth North
Micah Shapiro	Chief Executive Officer	Grindline Skateparks Inc.

Meeting Attendance: 13 attendees signed in

Meeting Materials: PowerPoint Presentation
Comment Forms, Playground Survey Forms
Display boards, maps and concept renderings

Meeting Goal: To present the concept (35% level of design) and gather feedback on multiple project design elements including the skatepark, playground equipment, picnic and lawn area, and the incorporation of public art.

Meeting Summary

The community workshop began at the advertised time of 1:00 PM. As attendees arrived, they signed in and were given an overview of the meeting agenda and objectives by Taryn. The meeting was workshop style with a formal presentation at the beginning of the event followed by an informal breakout session with stations to collect input on different park amenities or activity areas. At 1:15 pm, Van and Mark gathered attendees to the seating area for a brief presentation on what we have heard so far, an overview of available funding sources, where the design of the south gateway has progressed to, and what we are requesting guidance from the public on (see attached PowerPoint Presentation). Micah provided an overview of the results of the previous skatepark design workshop and presented the skatepark concept, including key features that were incorporated based on feedback received.

Taku Lake Park South Gateway Design

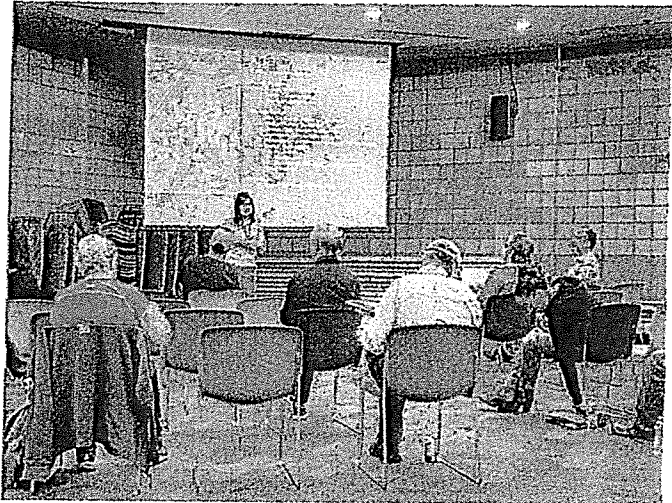
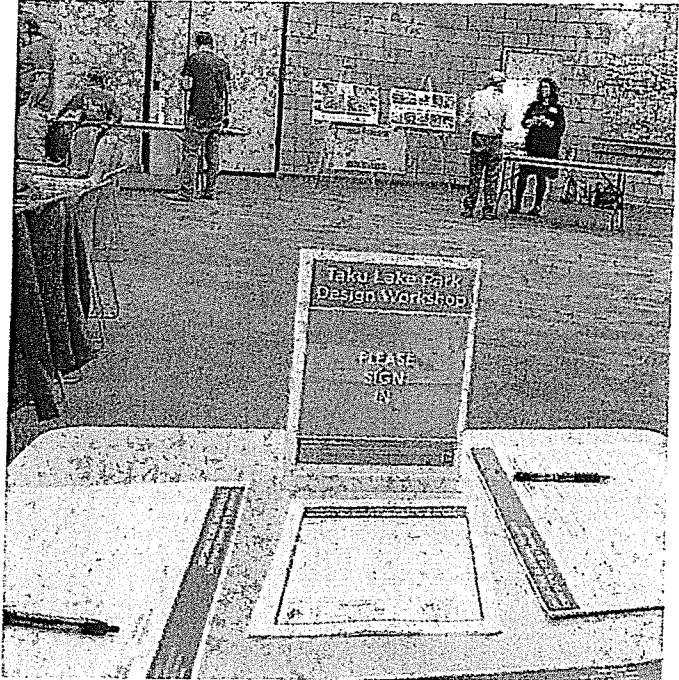
Following the presentation the group broke off into stations hosted by Mark, Eric, Taylor and Micah.

Micah staffed a station presenting details of the skatepark to facilitate discussion, answer questions and receive comments on how to improve the concept design. Taylor and Eric staffed a station focused on the future playground, asking attendees to provide input on the style of play structures they would like to see. Mark staffed a station on the other active areas of the park, including the picnic and lawn areas, fitness station, and encouraged discussion on the incorporation of public art, placemaking, and overall design of the South Gateway.

After about 30 minutes of breakout, attendees gathered back as a large group to hear the project team report back what they heard at the stations. The following is a summary of the information collected at those stations:

Skatepark:

- Make the wall from the sidewalk to the bowl deck skateable
- Increase the height of the china banks
- Make sure ledge is not cantilevered
- Add curbs to the north edge of the skatepark
- Make sure park is bike friendly
- Raise bowl extension so bards don't fly into bowl if people jump down stairs at west end of the skatepark
- Perimeter transitions could be improved
- Jason took a board and some comment forms back to Blue and Gold and will get additional feedback over the next week or so.

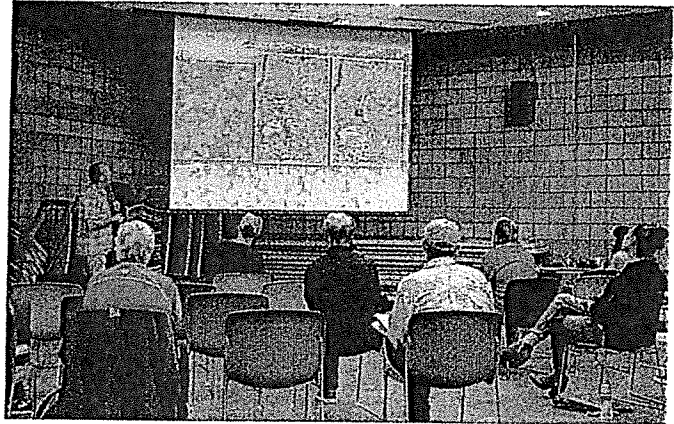


Taku Lake Park South Gateway Design

- There was a request to have the skatepark be more bike friendly. While the skatepark is bike friendly and has features that bikes will enjoy, they will apply more to the BMX type bike and not provide the experience comparable to a pump track with dirt jumps and other bike skill features that support mountain bikes. That type of facility should be separate from the skatepark as the facility and user group needs are significantly different and could pose a conflict if shared within a close space.

Overall Design, Fitness, Picnic, Placemaking and Art:

- The overall layout of the south gateway spaces is appropriate considering site analysis.
- Birch theme was supported.
- Consider adding a few bike features to the park...not a pump park but a few beginner skill building features.
 - Team Response: referring back to the master plan, mountain bike and skill building features were not identified as a preferred need of the Taku community, but is something that could be added in future phases of Taku Lake Park's development. Funding for this first South Gateway development will be allocated to activity areas identified in the master plan.
- If the skatepark expands, it will do so toward the southwest instead of the north. This will help mitigate increased user conflicts with the multi-use trail on the north side, provide the opportunity to incorporate more features into the skatepark, and to increase the curvature of the pathway leading from the parking lot to the Campbell Creek trail to prevent high speed traffic.
- Repurposing the tennis court for other uses, creating a multi-use court, was well liked.
- Add some tree groupings to the grill and picnic area and allow it to be used for badminton and other small scale activities.
- A fitness area that implements a challenge course approach seems more popular and could attract a wider user group.
- Consider putting money for art into the finish and character of the play, fitness and skate features instead of providing a standalone art piece, unless additional funding can be secured for a large installation.



Taku Lake Park South Gateway Design

- Provide lighting at the skate and play areas for longer use during shoulder seasons.

Playground:

- Whimsy v Simple survey leaned more toward the simple end of the spectrum (function focused)
- A nature inspired branding for the play equipment was preferred to a more themed branding.
- Overall responses were more positive to the idea of creating pockets of play for different play types. More separation between play spaces to allow for quieter areas.
- A barrier between the skatepark and the play spaces was desired to keep kids contained in the playground and minimize conflict with skatepark users.

Summary of the breakout sessions concluded and attendees took the opportunity to provide final comments and words of encouragement, support, and gratitude for the project moving forward to improve the highly valued Taku Lake Park. Van provided an overview of the next steps and schedule for the project. Comments received today will be considered and incorporated into the design as the project team prepares for 65% design and a public hearing before the Urban Design Commission. The 65% design will be shared with the public and other opportunities to comment will include at the Parks & Recreation Commission hearing and the Urban Design Commission Public hearing.

The meeting concluded at 3:10 PM.

Taku Lake Park: South Gateway Improvements
SOUTH GATEWAY DESIGN WORKSHOP

WORKSHOP #4
 Saturday, July 16, 2011
 Spensard Recreation Center
 1:00 PM - 3:00 PM

NAME	EMAIL	WHAT NEIGHBORHOOD DO YOU LIVE IN?	HOW DID YOU HEAR ABOUT THE OPEN HOUSE?
Sam Chansen 907-229-2881 website	helga.horrible@gmail.com	Renaissance Village	park Alien Alien, & neighbors E-MAIL
FRANK RAST	FRANK.RAST@AOL.NET	SAND LAKE	
ARLSONS (3)	arlsonsc@gmail.com	Hill Street	3/ues'gar
Nikoshane Santa Ana	nikosantaana@yahoo.com	Jewel Lake	Blue & Gold Boardstop
Dennis Drinka	d.glaske@gmail.com	Takya	
Jason Bergstede		Jewel lake	Blue & Gold
Chase Ruesch	chase.ruesch@gmail.com	Chugach	FRINDLINE
Pam Schmitz	j.schmitz@qiaska.net	TAKU	
Evan Sharp	evansharp92@hotmail.com	Downtown	Grainline/emaar

*

Taku Lake Park: South Gateway Improvements
SOUTH GATEWAY DESIGN WORKSHOP

WORKSHOP #4
 Saturday, July 13, 2019
 Spensard Recreation Center
 1:00 PM - 3:00 PM

NAME	EMAIL	WHAT NEIGHBORHOOD DO YOU LIVE IN?	HOW DID YOU HEAR ABOUT THE OPEN HOUSE?
Jeff Kravitz	jkravitz51349@gmail.com	Kirk River	Grindline
Doug Molyneux	dmolyneux@gci.net	Campbell Glen	e-mail from Mom

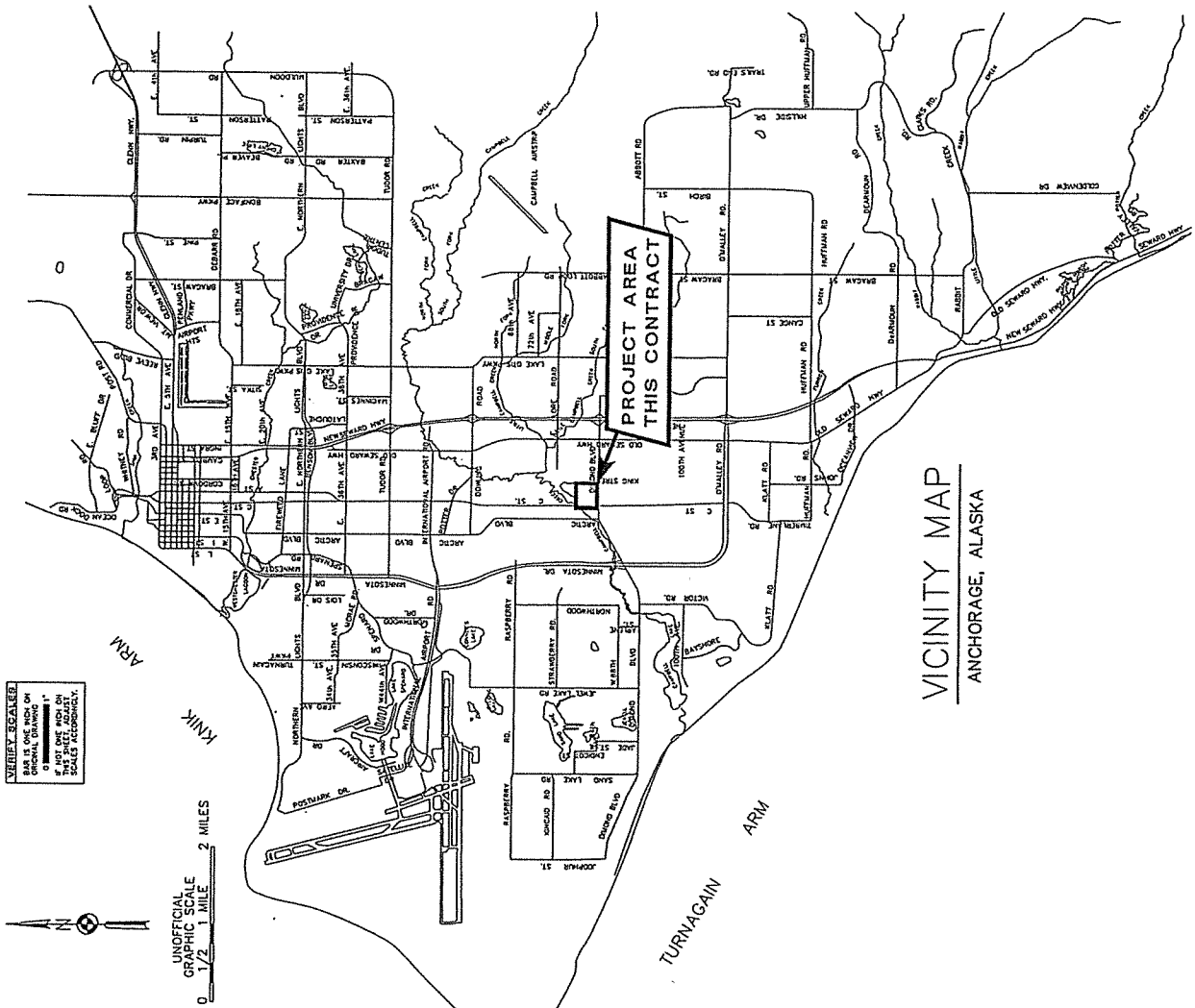
FIGURES



MUNICIPALITY OF ANCHORAGE
TAKU LAKE PARK
SOUTH GATEWAY
IMPROVEMENTS

REVIEW SET
9/18/2019

UDC SUBMITTAL
OCT. 2019
SHEETS ARE
11x17 HALF SIZE



SHEET NO.	SUBJECT
01	COVER SHEET & VICINITY MAP
02	PROPOSED GRADING AND DRAINAGE PLAN
03	PROPOSED SITE PLAN
04	PROPOSED GRADING AND DRAINAGE PLAN
05	LANDSCAPE SCHEDULE AND KEY PLAN
06	LANDSCAPE PLAN
07	LANDSCAPE PLAN
08	LANDSCAPE PLAN
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39	LANDSCAPE PLAN
40	LANDSCAPE PLAN
41	LANDSCAPE PLAN
42	LANDSCAPE PLAN

CIVIL & SURVEY

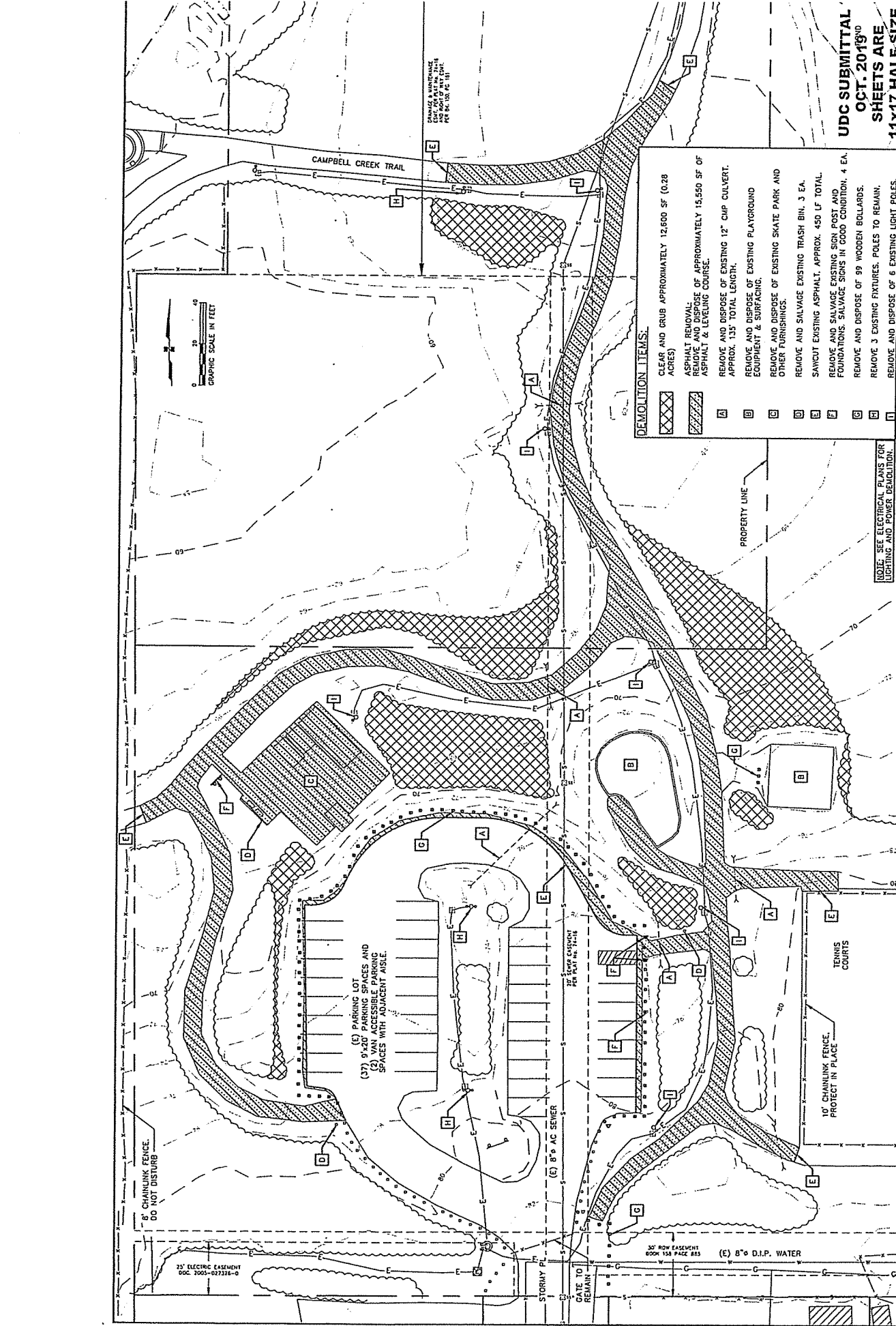
R&M CONSULTANTS, INC.
 2101 Vinland Drive - Anchorage, Alaska - 99503
 phone: 907.532.1707 - fax: 907.532.3403
 rmcconsult.com - email: rmc@rmcconsult.com

LANDSCAPING

BETTSWORTH-INORTH
 ARCHITECTS AND PLANNERS
 5600 EDUALLI STREET SUITE 210
 ANCHORAGE, ALASKA
 phone: 907.532.1707 - fax: 907.532.3403

ELECTRICAL

RISA Engineering, Inc.
 42314 Fire Avenue
 Anchorage, AK 99503
 Phone: 907.532.1707
 Fax: 907.532.3403



GRAPHIC SCALE IN FEET
0 20 40

CAMPBELL CREEK TRAIL

PROPERTY LINE

(E) PARKING LOT
(37) 9'x20' PARKING SPACES AND
(2) VAN ACCESSIBLE PARKING
SPACES WITH ADJACENT AISLE.

10' CHAINLINK FENCE.
PROTECT IN PLACE.

TENNIS COURTS

8' CHAINLINK FENCE.
DO NOT DISTURB.

25' ELECTRIC EASEMENT
DOC. 7000-10033

STORMY PL

30' ROW EASEMENT
BOOK 158 PAGE 885

(E) 8" Ø D.I.P. WATER

(E) 8" Ø AC SEWER

30' ROW EASEMENT
BOOK 158 PAGE 885

30' ROW EASEMENT
BOOK 158 PAGE 885

30' ROW EASEMENT
BOOK 158 PAGE 885

30' ROW EASEMENT
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BOOK 158 PAGE 885

30' ROW EASEMENT
BOOK 158 PAGE 885

30' ROW EASEMENT
BOOK 158 PAGE 885

CHANGING & MAINTENANCE
AND NORTH OF THE TRAIL
FOR THE USE OF THE TRAIL

DEMOLITION ITEMS:

A CLEAR AND GRUB APPROXIMATELY 12,600 SF (0.28 ACRES)

B ASPHALT REMOVAL. REMOVE AND DISPOSE OF APPROXIMATELY 15,550 SF OF ASPHALT & LEVELING COURSE.

C REMOVE AND DISPOSE OF EXISTING 12" CMP CULVERT. APPROX. 135' TOTAL LENGTH.

D REMOVE AND DISPOSE OF EXISTING PLAYGROUND EQUIPMENT & SURFACING.

E REMOVE AND DISPOSE OF EXISTING SKATE PARK AND OTHER FURNISHINGS.

F REMOVE AND SALVAGE EXISTING TRASH BIN. 3 EA.

G SAWCUT EXISTING ASPHALT. APPROX. 450 LF TOTAL.

H REMOVE AND SALVAGE EXISTING SIGN POST AND FOUNDATIONS. SALVAGE SIGNS IN GOOD CONDITION. 4 EA.

I REMOVE AND DISPOSE OF 99 WOODEN BOLLARDS.

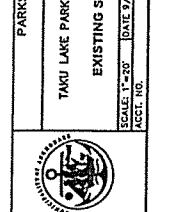
J REMOVE 3 EXISTING FIXTURES. POLES TO REMAIN.

K REMOVE AND DISPOSE OF 6 EXISTING LIGHT POLES.

NOTE: SEE ELECTRICAL PLANS FOR LIGHTING AND POWER DEMOLITION.

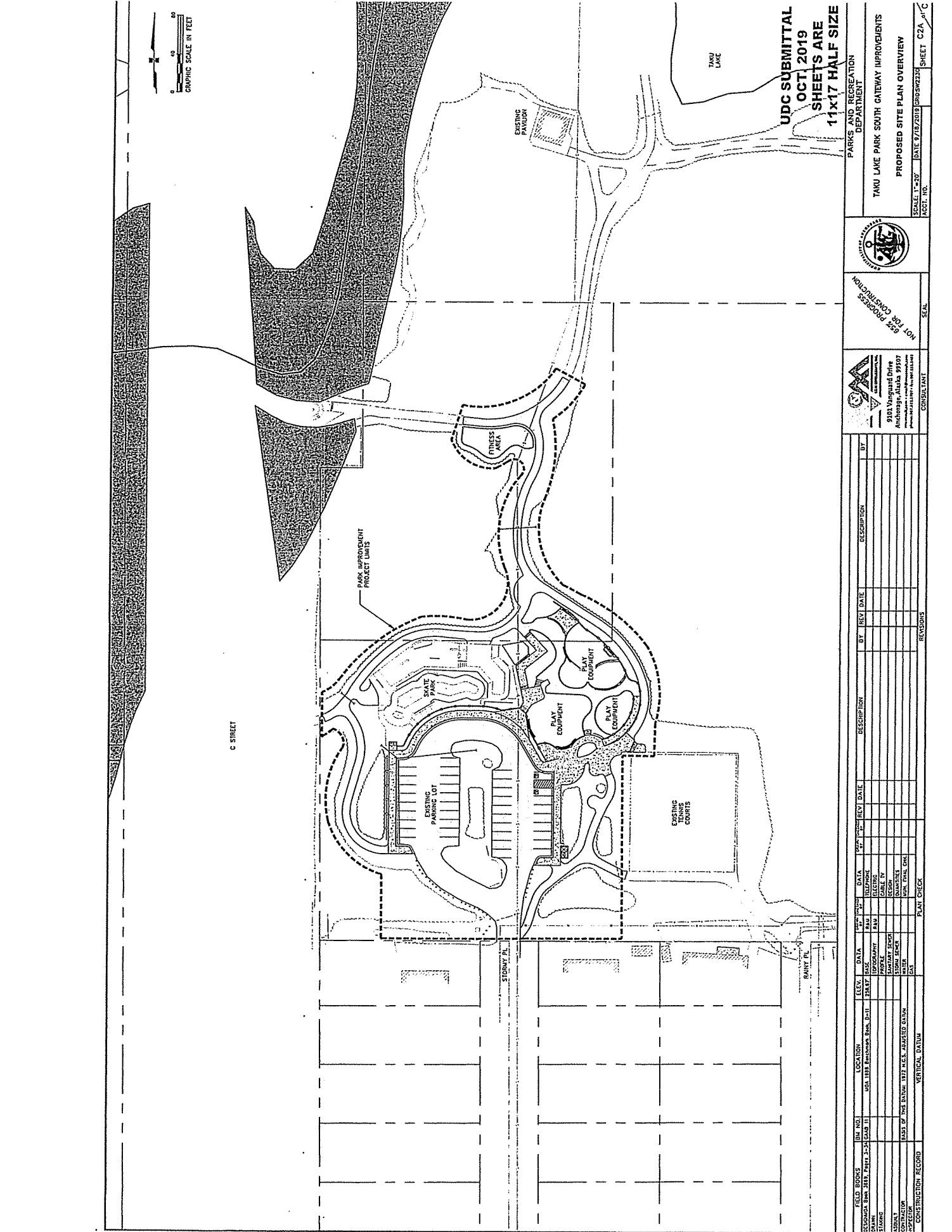
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OCT. 2019ND
SHEETS ARE
11x17 HALF-SIZE

PARKS AND RECREATION
DEPARTMENT
TAKU LAKE PARK SOUTH GATEWAY IMPROVEMENTS
EXISTING SITE & DEMOLITION PLAN
SCALE: 1"=30'
ACCT. NO. DATE: 7/19/2018 (REVISED) SHEET C1 OF C



NOT FOR CONSTRUCTION
3101 VANDERBILT DRIVE
ANCHORAGE, ALASKA 99507
CONSULTANT

FIELD BOOKS	BM NO.	LOCATION	ELEV.	DATA	DATE	BY	REVISION
SECTION 1	100	100	100	100	100	100	100
SECTION 2	100	100	100	100	100	100	100
SECTION 3	100	100	100	100	100	100	100
SECTION 4	100	100	100	100	100	100	100
SECTION 5	100	100	100	100	100	100	100
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UDC SUBMITTAL
 OCT. 2019
 SHEETS ARE
 11x17 HALF SIZE

PARKS AND RECREATION
 DEPARTMENT
 TAKU LAKE PARK SOUTH GATEWAY IMPROVEMENTS
 PROPOSED SITE PLAN OVERVIEW

SCALE: 1"=50'
 DATE: 7/10/2019
 PROJECT NO.: 0505-5W2213
 SHEET: C2A OF C



CONSULTANT
 9301 Vanguard Drive
 Anchorage, Alaska 99507
 Phone: 907.562.8800
 Fax: 907.562.8801
 Website: www.vanguardaia.com

NO.	DATE	BY	REV.	DESCRIPTION

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NO.	DATE	BY	REV.	DESCRIPTION

PLAN CHECK

REVISIONS

SEAL

NOT FOR CONSTRUCTION

DATE: 7/10/2019

PROJECT NO.: 0505-5W2213

SHEET: C2A OF C

PROPOSED SITE PLAN OVERVIEW

TAKU LAKE PARK SOUTH GATEWAY IMPROVEMENTS

PARKS AND RECREATION DEPARTMENT

OCT. 2019

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OCT. 2019

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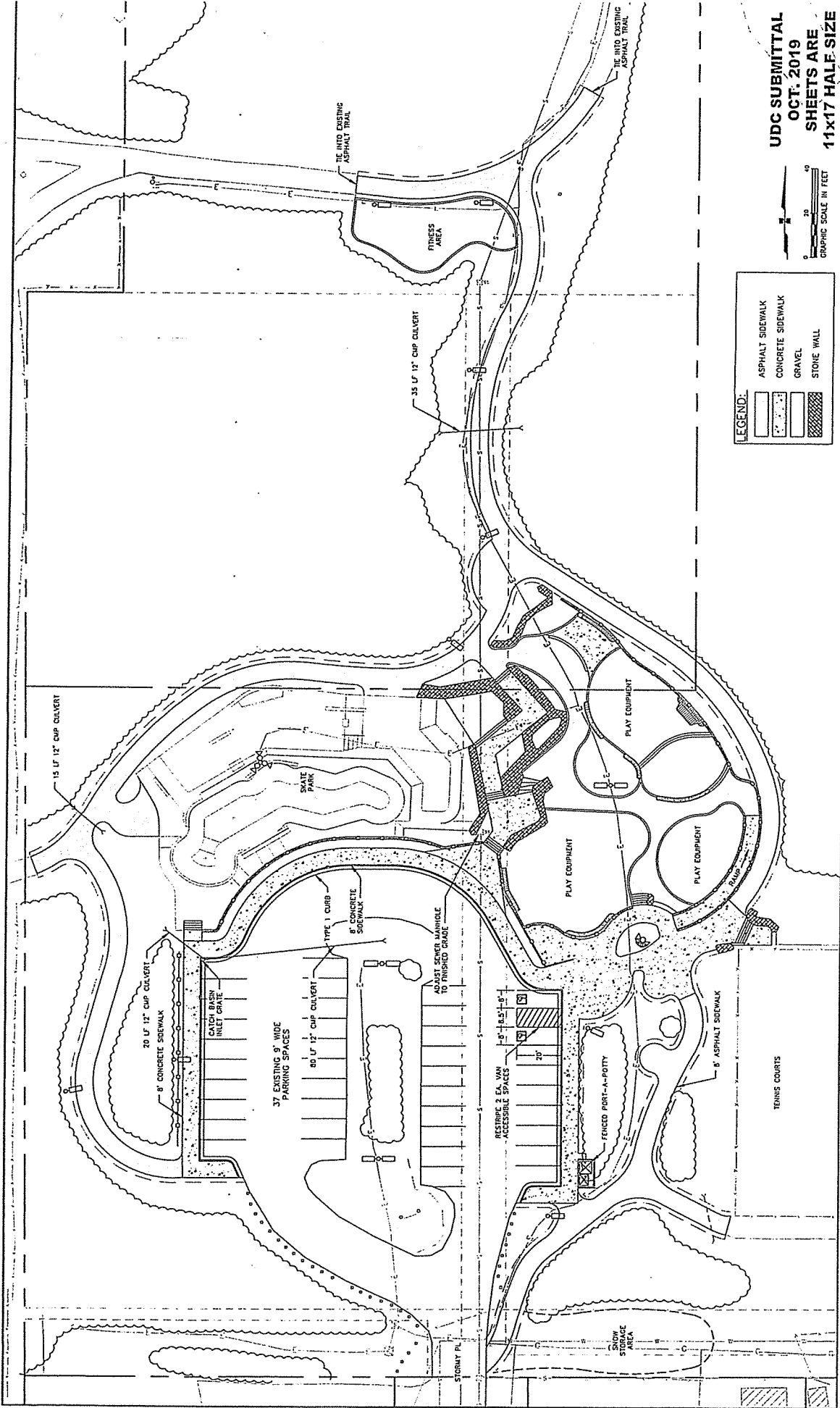
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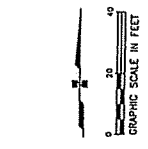
OCT. 2019

UDC SUBMITTAL

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UDC SUBMITTAL
OCT. 2019
SHEETS ARE
11x17 HALF SIZE



LEGEND:

[Pattern]	ASPHALT SIDEWALK
[Pattern]	CONCRETE SIDEWALK
[Pattern]	GRAVEL
[Pattern]	STONE WALL

		PARKS AND RECREATION DEPARTMENT TAKU LAKE PARK SOUTH GATEWAY IMPROVEMENTS PROPOSED SITE PLAN SCALE: 1"=30' DATE: 9/10/2019 09:53:23 ACCT. NO. SHEET C2 of C	
		PCL CONSULTANT PCL Consulting Inc. 1000 West 10th Street Regina, Saskatchewan S4P 0R6 Phone: (306) 373-1111 Fax: (306) 373-1119	
NOT FOR CONSTRUCTION		SEAL	
FIELD BOOKS SECONDARY BOOK 2018 PAGES 2-24 (24 of 24) DRAWING NUMBER SHEET NUMBER CONTRACTOR SUPERVISOR	LOCATION 1000 WEST 10TH STREET, REGINA, S4P 0R6 DATA DATE 10/10/2019 DATA TIME 10:10:10 DATA USER J. B. BROWN DATA PROJECT TAKU LAKE PARK SOUTH GATEWAY IMPROVEMENTS DATA SHEET 001 DATA DATE 10/10/2019 DATA TIME 10:10:10 DATA USER J. B. BROWN DATA PROJECT TAKU LAKE PARK SOUTH GATEWAY IMPROVEMENTS DATA SHEET 001	REVISIONS BY DATE DESCRIPTION	PLAN CHECK DATE BY DATE DESCRIPTION

PLANT SCHEDULE

1. DECIDUOUS TREE PLANTING

QTY.	SYMBOL	ABBV.	LATIN NAME	COMMON NAME	SIZE	FURNISHING NOTES
14	BP	BETULA PAPERIFERA	PAPER BIRCH	7" O.D.	B88	SINGLE STELA
6	BPM	BETULA PAPERIFERA	MULTI-STEM PAPER BIRCH	1" O.D.	B88	MULTI-STEM; EACH STELA TO BE 1" O.D. MIN.

2. SHRUB PLANTING

QTY.	SYMBOL	ABBV.	LATIN NAME	COMMON NAME	SIZE	FURNISHING NOTES
20	RR	ROSA RUGOSA	ROSE	FOX GLOVE	#2	POTTED 18" HT. MIN.
17	SJ	SPRAEA JAPONICA	SPRAEA	ANTHONY WATERER	#2	POTTED 18" HT. MIN.
28	VT	VEIBURDIA TRILOBIS	AMERICAN CHAMBERBERRY	#3	POTTED 18" HT. MIN.	

3. PERENNIAL PLANTING

QTY.	SYMBOL	ABBV.	LATIN NAME	COMMON NAME	SIZE	FURNISHING NOTES
25	CA	CALAMAGROSTIS X ACUTIFLOPA	FEATHER REED GRASS	WALNUT	#3	POTTED N/A
123	CC	CORNUS CANADENSIS	BUNCHBERRY	WINE	#2	POTTED N/A
40	DC	DESCHAMPSA CESPIITOSA	TUFTED HARGRASS	WINE	#3	POTTED N/A
200	DCP	DESCHAMPSA CESPIITOSA	DWARF TUFTED HARGRASS	WINE	#2	POTTED N/A

MISCELLANEOUS

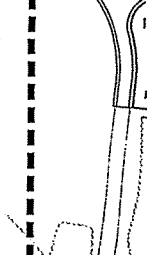
QTY.	SYMBOL	DESCRIPTION	NOTES
4	PARK BENCH	SEE ZLI0	EXISTING DECIDUOUS TREE
3	ADA TABLE	SEE SA10	EXISTING EVERGREEN TREE
3	TABLE	SEE SA10	STONE WALL
5	TRASH RECEPTACLE	SEE M10	BOULDER IN WALL
9	BIKE RACK	SEE LA10	BOULDER IN PAVEMENT
9	LANDSCAPE EDGING	ALGEBURM;	SEE SA7
4	TOPSON AND SCHEDULE A SEED MIX	SEE SE7	SEE ZL7
4	TOPSON AND SCHEDULE A SEED MIX	TO LOTS OF DISTURBANCE (TYP.)	SEE SA7

GENERAL LANDSCAPE NOTES:

- ALL PLANTS SHALL BE NURSERY GROWN UNLESS OTHERWISE SPECIFIED.
- ALL PLANTS SHALL BE RECEIVED BY THE CONTRACTOR WITH PROPER CARE AND PROTECTION. ALL PLANTS SHALL BE PROTECTED BY SHREDDERED BARK MULCH TO A MINIMUM DEPTH OF 2" UNLESS OTHERWISE SPECIFIED.
- ALL DISTURBED AREAS NOT WITHIN PLANTING BEDS SHALL RECEIVE 4" MINIMUM TOP SOIL AND SEED PER SCHEDULE AS NOTED ON PLANS.
- REFER TO SHEET L7 FOR LANDSCAPE PLANTING DETAILS.
- BOULDERS SHALL BE PLACED AS NOTED ON PLANS UNLESS OTHERWISE SPECIFIED.
- ALL DECIDUOUS TREES SHALL RECEIVE MOOSE PROTECTION FENCING PER DETAIL 111A.
- GRASSING VEGETATION TO BE SAVED AND PROTECTED SHALL RECEIVE PROTECTION FENCING PER DETAIL 21A.

LANDSCAPE ABBREVIATIONS

ADA	AMERICANS WITH DISABILITIES ACT	DA	DIAMETER
BAB	BALLED AND BURLAP	HC	HOLE
CALL	CALLIPER	HT	HEIGHT
C	CENTRELINE	MAX	MAXIMUM
D	DIAMETER	NIS	NOT TO SCALE



UDC SUBMITTAL
OCT. 2019
SHEETS ARE
11x17 HALF SIZE

PARKS AND RECREATION DEPARTMENT
TAKU LAKE PARK SOUTH GATEWAY IMPROVEMENTS
LANDSCAPE SCHEDULE AND KEY PLAN

SCALE: 1" = 20'
DATE: 9/18/2019
PROJECT NO.: 190032333
SHEET NO.: 11

FIELD BOOKS	BLK. NO.	LOCATION	DATE	BY	REV.	DATE	DESCRIPTION

CONTRACTOR	DATE OF THIS DRAWING	BY	DATE	DESCRIPTION

REVISIONS	NO.	DATE	DESCRIPTION

CONSULTANT
BETTS NORTH

NOT FOR CONSTRUCTION

SCALE OF FEET
0 20 40

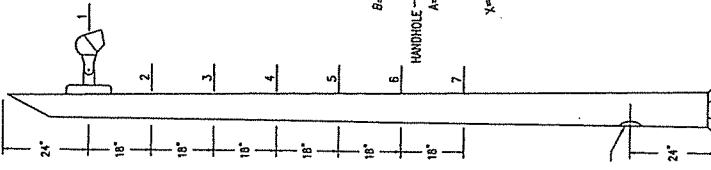
VERTICAL DATUM

CALL BEFORE YOU DIG
 THE CONTRACTOR SHALL NOTIFY ALL AREA UTILITY COMPANIES PRIOR TO COMMENCEMENT OF EXCAVATION. THE FOLLOWING ARE THE CONTACT NUMBERS FOR THE UTILITIES:
 ALASKA ELECTRIC COMPANY 278-3121
 ALASKA GAS COMPANY 278-3121
 ALASKA TELEPHONE COMPANY 278-3121
 STATE STORM/STREET LIGHTS 333-2411
 MILITARY PETROLEUM LINES 882-4112

LUMINAIRE SCHEDULE

TYPE	LOCATION	MANUFACTURER AND MODEL NUMBER (OR APPROVED EQUIV.)	LUMINAIRE DESCRIPTION	MOUNTING		TOTAL INPUT WATTS
				TYPE	HEIGHT	
A	PARKING LOT AND PLAYGROUND AREA	LUMARK FANV-AF-02-D-UNV-540 FRS-30-4511	LED FIXTURES WITH TYPE 'Y' MEDIUM DISTRIBUTION AND 2' LED SQUARES. 30' ROUND TAPERED STEEL POLE.	POLE	30'	120-277V DRIVER 228
A1	PARKING LOT	LUMARK FANV-AF-02-D-UNV-13 FRS-30-4511	SAME AS TYPE 'A', EXCEPT TYPE 'B' DISTRIBUTION.	POLE	30'	120-277V DRIVER 113
B	PATHWAY AND FITNESS PAD	LUMARK FANV-AF-01-D-UNV-540 FRS-15-3211	LED FIXTURE WITH TYPE 'Y' MEDIUM DISTRIBUTION AND 1' LED SQUARE.	POLE	15'	120-277V DRIVER 59
B1	PATHWAY	LUMARK FANV-AF-01-D-UNV-12 FRS-15-3211	SAME AS TYPE 'B', EXCEPT TYPE 'B' DISTRIBUTION.	POLE	15'	120-277V DRIVER 59
C	SKATE PARK	SPRINGER FANV-250-S-N-1-10 FRS-30-4511	LED FLOODLIGHT WITH WEATHER-TIGHT DESIGN. 30' ROUND TAPERED STEEL POLE.	POLE	30'	120-240V DRIVER 59
D	PLAY AREA AND OUTPOST	SELUX FOCL-740-SST-LS8-40-BK-10 FRS-30-4511	(7) LED FLOOD WIDE, ROUND BACK FIXTURE. 2-PIECE DIE-CAST HOUSING, TEMPERED CLEAR GLASS LENS. 30' ROUND TAPERED ALUMINUM POLE.	POLE	SEE 1/E1 & PLANS	ELECTRONIC, -10V DRIVER 55 PER HEAD

SHEET NOTE:
 1. PROVIDE LUMINAIRE MOUNTING AS SHOWN ON 1/E2.
 2. PROVIDE NEW POLES WHERE INDICATED ON PLANS.



1. FIXTURE 'D' MOUNTING/AIMING DETAIL
 1. DIAGRAM IS BASED ON HANDHOLE FACING DUE WEST.

LEGEND

OX	POLE MOUNTED FLOODLIGHT - OUTDOORS, WEATHERPROOF
○	POLE MOUNTED AREA LIGHT - OUTDOORS, WEATHERPROOF
⊙	FIXTURE TAG (LETTER INDICATES TYPE)
⊖	CONDUIT, CONCEALED
A-2	MONITOR TO PANEL (PANEL AND CIRCUIT No.)
ESB	EXISTING SERVICE ENTRANCE/LOAD CENTER
□	TYPE 'A' JUNCTION BOX
△	NOTE TAG (No. INDICATES NOTE)
AG	ABOVE FINISHED GRADE
C	CONDUIT ONLY
CO	CONDUIT
E	RENOTES EXISTING ITEM
CFD	GROUND FAULT CIRCUIT INTERRUPTER
CS	GALVANIZED RIGID STEEL CONDUIT
LED	LIGHT EMITTING DIODE
ICB	MAIN CIRCUIT BREAKER
HLO	MAIN LIGHTS ONLY
NEC	NATIONAL ELECTRICAL CODE
NIS	NOT TO SCALE
TYP	TYPICAL
UNO	UNLESS OTHERWISE NOTED
WP	WEATHERPROOF

GENERAL NOTES:

- THE INFORMATION SHOWN ON THIS DRAWING IS TAKEN FROM CIVIL SURVEY DATA. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO EXCAVATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO START OF WORK.
- THE OWNER SHALL HAVE FIRST RIGHT OF REFUSAL ON ALL SIGNAGEABLE AREAS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO START OF WORK.
- BASED ON DOTTED LINES INDICATE ITEMS TO BE DEMOLISHED. SOLID LINES INDICATE EXISTING ITEMS TO REMAIN.
- PROVIDE CONDUIT UNDER TRAFFIC AREAS AND FROM LOAD CENTER TO FIRST JUNCTION BOX ADJACENT TO THE LOAD CENTER AND FROM EACH JUNCTION BOX TO THE ADJACENT LIGHT POLE. AT CONTRACTOR'S OPTION, CONDUIT MAY BE USED BY NON-TRAFFIC AREAS. PROVIDE PVC TO GROUND ADJACENT TO EACH JUNCTION BOX. SEE MASS DETAIL 80-30.
- ALL WORK SHALL CONFORM TO THE 2015 MUNICIPALITY OF ANCHORAGE STANDARD SPECIFICATIONS (MSS).
- PROVIDE GENERAL LUMINAIRE POLE BASES, JUNCTION BOXES AND TRENCH WORK PER MASS DETAILS 80-1, 80-13, 80-31.

UDC SUBMITTAL
OCT. 2019
SHEETS ARE
11x17 HALF SIZE

		PARKS AND RECREATION DEPARTMENT TAKU PARK SOUTH GATEWAY ELECTRICAL LEGEND	
DATE: 9/18/2019 DRAWN BY: JES/RS		SHEET NO. E01 SHEET 1 OF 2	
PROJECT NO. 1923		CONSULTANT RS&A Mechanical and Electrical Consulting 1000 W. BEAVER CREEK ROAD, SUITE 200 ANCHORAGE, ALASKA 99503	
PROJECT NAME TAKU PARK SOUTH GATEWAY		REVISIONS	
FIELD BOOKS FIELD NO. 11 LOCATION 1000 W. BEAVER CREEK ROAD, SUITE 200 ANCHORAGE, ALASKA 99503		DATE 9/18/2019 TIME 10:00 AM	
DRAWING NO. 1923-11-01		PROJECT NO. 1923	
DRAWN BY JES/RS		CHECKED BY JES/RS	
DATE 9/18/2019		TIME 10:00 AM	
PROJECT NO. 1923		SHEET NO. E01	
SHEET NO. E01		SHEET 1 OF 2	

GENERAL NOTES:

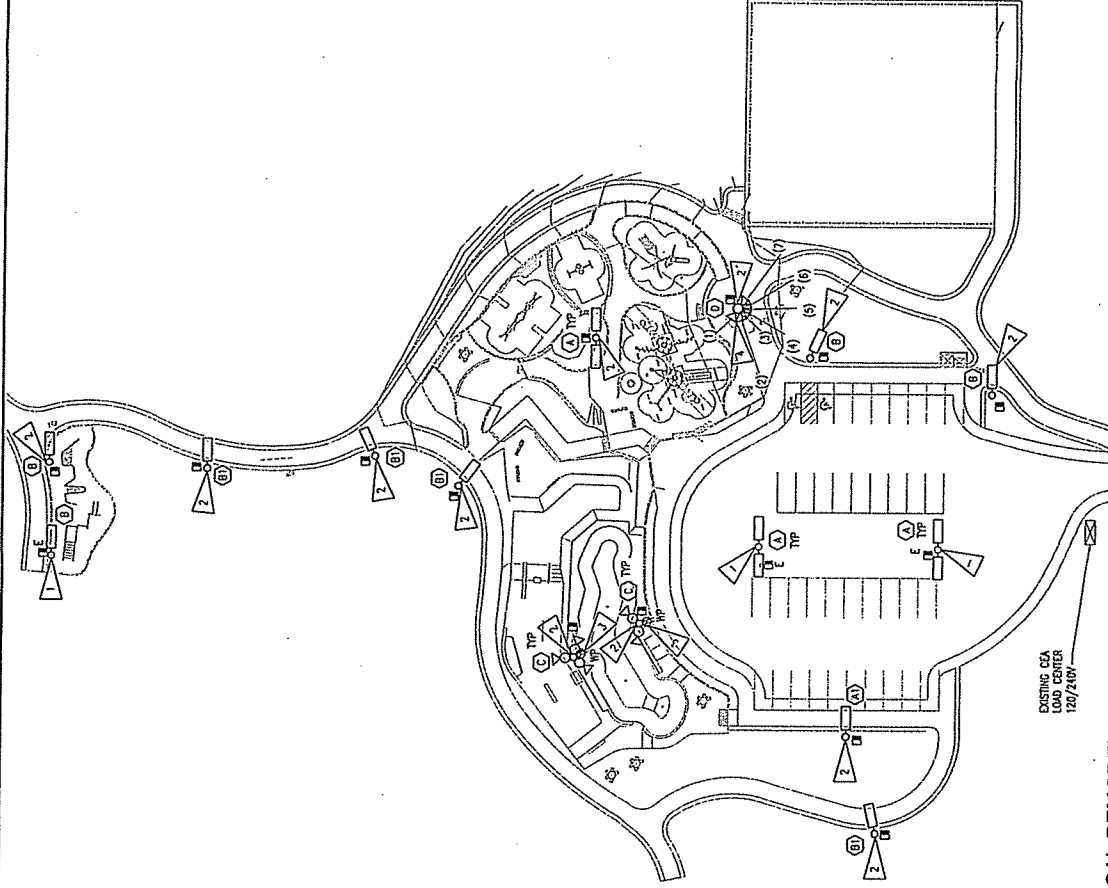
- A. ALL WORK SHALL CONFORM TO THE 2015 MUNICIPALITY OF ANCHORAGE STANDARD SPECIFICATIONS (MSS).
- B. FUSED SPURCE LOCATIONS FOR ILLUMINATION CIRCUIT SHALL BE IN POLE HAND-HOLE PER MASS SECTION 60.12.
- C. ALL TRAVEL CROSSING AREAS SHALL UTILIZE GALVANIZED IRON STEEL PIPING UNLESS DIRECTED OTHERWISE BY OWNER'S REPRESENTATIVE.

SHEET NOTES:

1. CONNECT NEW FEEDERS TO CIRCUIT(S) SAVED FOR RE-US ON EXISTING POLE.
2. PROVIDE CIRCUIT AND POLE FOR NEW LOCATION, ROUTE PER NEW TYPE 'A' EXTERIOR JUNCTION BOX LOCATED ADJACENT TO THE POLE.
3. PROVIDE WEATHERPROOF RECEPTACLE IN POLE HAND-HOLE LOCATION, PROVIDE 120V CIRCUIT FOR CONNECTION TO RECEPTACLE.
4. SEE 1/20 FOR ORIENTATION AND MOUNTING HEIGHT OF FIXTURES.

PARKING LOT LIGHTING ANALYSIS			
MINIMUM RECEPTACLE ILLUMINANCE:	REQUIRED:	DESIGNED:	REMARKS:
FOOT-CANDLES	2 fc	1 fc	
W/F QUANTITY RATIO, lum/ft ²	261	3:1	

THE PARKING AREA LIGHTING MEETS THE LEVEL OF ILLUMINATION UNIFORMITY PATTERNS AND MINIMUM LUMEN INTENSITIES SPECIFIED IN THE ILLUMINATION STANDARDS SET BY THE ILLUMINATING ENGINEERS SOCIETY OF AMERICA (IES) AND THE MUNICIPALITY OF ANCHORAGE TITLE 2.1, SECTION 2.1.07.1.0. IN ADDITION, THE LIGHTING IS DESIGNED TO PRECLUDE THE LIGHTING FROM CAUSING GLARE AND TO RESPECT THE REQUIREMENTS BY ACCORDANCE WITH MUNICIPAL REQUIREMENTS.



1 TAKU PARK - ELECTRICAL REMODEL PLAN
1"=50'-0"

FIELD BOOKS		DATE	BY	DESCRIPTION	REV	DATE	BY	DESCRIPTION	
SEEDHEAD BOOK 4874, PAGES 2-21	CLAR 11	11/14/19	CEA	EXISTING CEA LOAD CENTER 120/240V	1	11/14/19	CEA	EXISTING CEA LOAD CENTER 120/240V	
STATION									
CONTRACTOR									
CONSTRUCTION RECORD									
VERTICAL DATUM		PLAN CHECK		REVISIONS		CONSULTANT		SEAL	
RISA		Mechanical and Electrical Consulting Engineers		1000 W. 14th Ave, Anchorage, AK 99501		DATE: 7/19/2019		PROJECT: TAKU PARK SOUTH GATEWAY REMODEL PLAN	
PARKS AND RECREATION DEPARTMENT		TAKU PARK SOUTH GATEWAY		DATE: 7/19/2019		PROJECT: TAKU PARK SOUTH GATEWAY REMODEL PLAN		SHEET: E2	

COMMENTS

Municipality of Anchorage
P. O. Box 196650
Anchorage, Alaska 99519-6650
(907) 343-7943



01307208000
PATTERSON GEORGE M
8052 QUEEN VICTORIA DR
ANCHORAGE, AK, 99518-3069

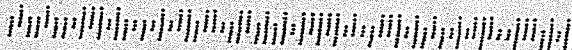
RECEIVED

NOV 22 2019

PLANNING DEPARTMENT

NOTICE OF PUBLIC HEARING: Wednesday, December 11, 2019

The Municipality of Anchorage Urban Design Commission will consider the following:

CASE: 2019-0159 9951833069 0043 

PETITIONER: Municipality of Anchorage - Parks & Recreation
REQUEST: Taku Lake Park: South Gateway Improvements-Major Site Plan Review.
TOTAL AREA: 9.84 acres
SITE ADDRESS: 8200 Stormy Place, Anchorage, Alaska 99518
LOCATION: Generally located north of West Dimond Blvd., east of C Street, south of East 76th Avenue and west of King Street
CURRENT ZONE: R-2M Mixed Residential District

COM COUNCIL(S): Taku Campbell

LEGAL DESCR: Campbell Creek Greenbelt Subdivision Addition No. 8, Lots 76 & 76A (Plat 74-16)

The Urban Design Commission will hold a public hearing on the above matter at 6:30PM, Wednesday, December 11, 2019 in the Loussac Library Assembly Chambers, 3600 Denali Street, Anchorage, Alaska.

The zoning ordinance requires that you be sent notice because your property, residence, or business is within the vicinity of the petition area. This will be the only public hearing before the commission regarding this case and you are invited to attend and present testimony, if you so desire.

If you would like to comment on the petition, this form may be used for your convenience. Mailing Address: Municipality of Anchorage, Planning Department, P.O. Box 196650, Anchorage, Alaska 99519-6650. For more information call 343-7943; FAX 343-7927. Case information may be viewed online at <http://www.muni.org/CityViewPortal>. Written comments on public hearing cases will be accepted up until 1:00 p.m. on the last business day before the meeting date. After that time, anyone wishing to submit comments must attend the meeting to testify at the public hearing.

Name: George M. Patterson

Address: 8052 Queen Victoria Drive
Anchorage, AK. 99518

Comments: I have two serious questions and
two suggestions - attached
ph-242-3842
Patterson@alaskan.com

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NOV 22 2019

PLANNING DEPARTMENT

Municipality of Anchorage
December 11, 2019
Case 2019-0159

8052 Queen Victoria Drive has been my Residency since April 1990. I have concerns about case 2019-0159. My first one is the Trees to East of the Tennis Courts are disturbed. Those Trees have been being cut the "Noise Down" from C Street, Dimond Blvd and Taku Park. This is very noisy Residential area with C street just to the West and ARR just to the East and Dimond to the South.

My second concern, I notice Surveyors Ribbon on that Site about 100 feet North of the "Cavity" that fills up with water in Spring and during Rains, there is Natural Spring that runs out of the Gallo Property and travels along side of the Sewer Line North down Queen Victoria appears to fill that Cavity during Snow melt and Rains. Has the Engineering Dept. done study to make sure there's no possible back up into the Subdivision?

I have two suggestions, the first one is closed the Park from 10 PM TO 6AM. There's noise problem during Summer after 10PM some times lasting to very early in the mornings from Parking lot, Skate Boarding to Drunk/Drug Party's ,Fire Crackers to Gun Fire.

Second suggestion, Bicycles have Bells or Horns. Some of the Bicycles are clipping along 15-25 miles hour coming up behind you at that rate with out warning is unacceptable.

Thank You, for considering my comments

Gorge M. Patterson



11/20/2019

PH 907-242-3842

PATTERSON@alaska.com



THE STATE
of **ALASKA**
GOVERNOR MICHAEL J. DUNLEAVY

Department of Transportation and
Public Facilities

Program Development and Statewide Planning
Anchorage Field Office

4111 Aviation Avenue
P.O. Box 196900
Anchorage, AK 99519-6900
Main number: 907-269-0520
Fax number: 907-269-0521
Website: dot.state.ak.us

November 14, 2019

David Whitfield, Senior Planner
MOA, Community Development Department
Planning Division
P.O. Box 196650
Anchorage, Alaska 99519-6650

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NOV 14 2019

PLANNING DEPARTMENT

RE: MOA Zoning Review

Dear Mr. Whitfield:

The Alaska Department of Transportation and Public Facilities (DOT&PF), Central Region Planning Field Office has no comments on the following zoning cases:

- 2019-0074: 23920 Immelman Circle
- 2019-0145: 2801 Career Center Drive
- 2019-0158: 9940 Chelatna Circle
- 2019-0161: 2837 East 48th Avenue

The DOT&PF Central Region Zoning and Platting Review Committee has comments on the following zoning cases:

- 2019-0155: 601 East Dimond Boulevard
 - DOT&PF objects to the obliteration of existing pedestrian access from the site to the northeast corner of Dimond Boulevard/Dimond Center Drive intersection.
 - Pedestrian access should be extended from Dimond Boulevard/Dimond Center Drive intersection to AutoZone storefront.
- 2019-0159: 8200 Stormy Place
 - No objections. DOT&PF would like to reiterate that no direct access to C Street will be granted to this site. Existing Controlled Access Line prevents any connection.

Sincerely,

James Starzec
AMATS Transportation Planner

Cc: Tucker Hurn, Right of Way Agent, Right of Way, DOT&PF
Scott Thomas, P.E., Regional Traffic Engineer, Traffic Safety and Utilities, DOT&PF
Jim Amundsen, P.E., Highway Design Group Chief, DOT&PF
Paul Janke, P.E., Regional Hydrologist, Hydrology DOT&PF

"Keep Alaska Moving through service and infrastructure."

Kimmel, Corliss A.

From: Wilson, Karleen K.
Sent: Friday, November 8, 2019 2:54 PM
To: Blake, Lori A.; Kimmel, Corliss A.; Whitfield, David R.
Subject: Case 2019-0159

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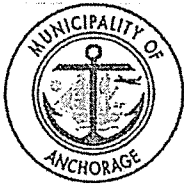
NOV 08 2019

PLANNING DEPARTMENT

No comments.

Karleen Wilson

Addressing Official
Municipality of Anchorage
907.343.8168 (my desk)
907.343.8466



MUNICIPALITY OF ANCHORAGE

Anchorage Health Department



Anchorage
Health
Department

Date: November 6, 2019

To: Planning Department, Current Planning Division

Thru: *OL* Christy Lawton, Public Health Division Manager

PH Darcy Harris, Environmental Health Program Manager

From: *JN* Janine Nesheim, Environmental Sanitarian III

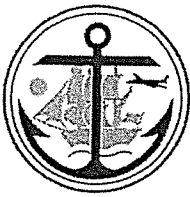
Subject: Comments Regarding CUP 2019-0159

RECEIVED

NOV 07 2019

PLANNING DEPARTMENT

No Comment.



MEMORANDUM

RECEIVED

DATE: November 7, 2019

NOV 07 2019

TO: Current Planning Division Supervisor,
Planning Department

PLANNING DEPARTMENT

THRU: Kristen A. Langley, Traffic Safety Section Supervisor,
Traffic Department

FROM: Randy Ribble, Assistant Traffic Engineer

SUBJECT: 2019-0159 Taku Lake Park: South Gateway Improvements- Major Site Plan
Review

Traffic recommends approval of this major site plan for proposed improvements to Taku Lake Park. Site plans and details provide within application shows that site meets all title 21 requirements for parking and lighting.

MEMORANDUM

RECEIVED

NOV 06 2019

DATE: November 6, 2019
TO: Dave Whitfield, Planning Manager, Planning Section, Planning Division
FROM: Paul Hatcher, Engineering Technician III, Planning Section, AWWU
RE: Zoning Case Comments
Hearing date: December 11, 2019
Agency Comments due: November 13, 2019

PLANNING DEPARTMENT

AWWU has reviewed the materials and has the following comments.

2019-0145 GOOSE LAKE LAND EXCHANGE TR 16B, Request for Design Variance from AMC Title 21 Section 21.07.080H.3. to allow a fence to exceed maximum height requirements, Grid SW1634

1. AWWU water and sanitary sewer are available to this parcel.
2. AWWU has no objection to this design variance.

2019-0155 BELLA VISTA #2 LT 26A, Amendment to Major Site Plan Review-Large Retail Establishment for the addition of a secondary building, Grid SW2231

1. AWWU water and sanitary sewer are available to this parcel.
2. AWWU has no objection to this amendment.

2019-0159 CAMPBELL CREEK GREENBELT #8 LT 76A, Taku Lake Park: South Gateway Improvements-Major Site Plan Review, Grid SW2230

1. AWWU water and sanitary sewer are available to this parcel.
2. AWWU has no objection to this major site plan review.


If you have any questions pertaining to public water or sewer, please call 564-2721 or send an e-mail to paul.hatcher@awwu.biz





Municipality of Anchorage
Project Management and Engineering
MEMORANDUM



DATE: November 5, 2019
TO: Dave Whitfield
FROM: Steven Ellis 
SUBJECT: Comments from Watershed Management Services

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NOV 05 2019

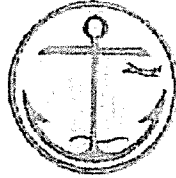
PLANNING DEPARTMENT

Watershed Management Services (WMS) has the following comments for the December 11, 2019 Urban Design Commission meeting.

2019-0159, Taku Lake Park: South Gateway Improvements. WMS has no Comment.

Based on the Proposed Site Plan Overview, Sheet C2A, all the work shown is outside the FEMA mapped floodplain.

**POSTING
AFFIDAVIT**



AFFIDAVIT OF POSTING

CASE NUMBER: 2019-0159

I, Taryn Oleson-Yelle hereby certify that I have posted a Notice as prescribed by Anchorage Municipal Code 21.03.020H.5. on the property that I have petitioned for major site plan review. The notice was posted on November 8th, 2019 which is at least 21 days prior to the public hearing on this petition. I acknowledge this Notice(s) must be posted in plain sight and displayed until all public hearings have been completed.

Affirmed and signed this 8th day of November, 2019.

Taryn Oleson-Yelle
Signature

LEGAL DESCRIPTION

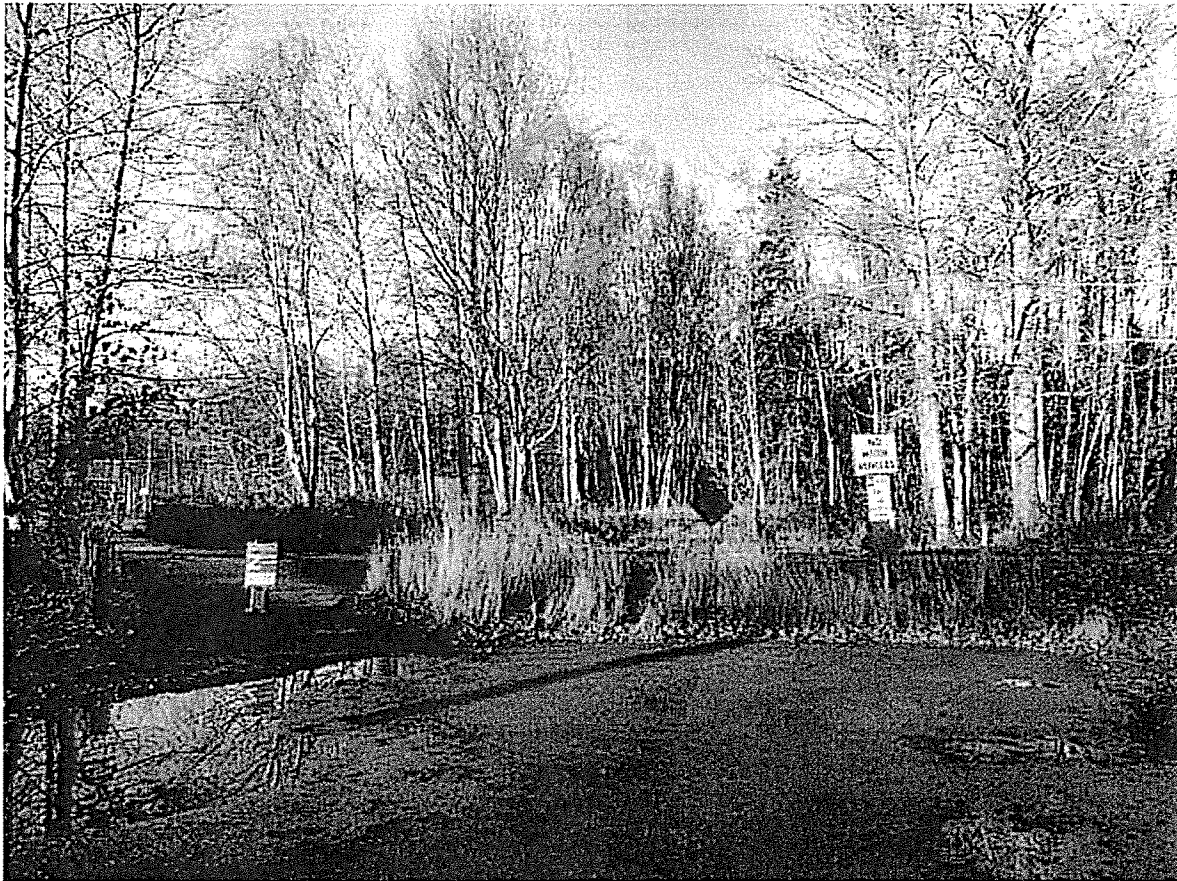
Tract or Lot: Lot 76A + Lot 76

Block: #08

Subdivision: E Campbell Creek Greenbelt



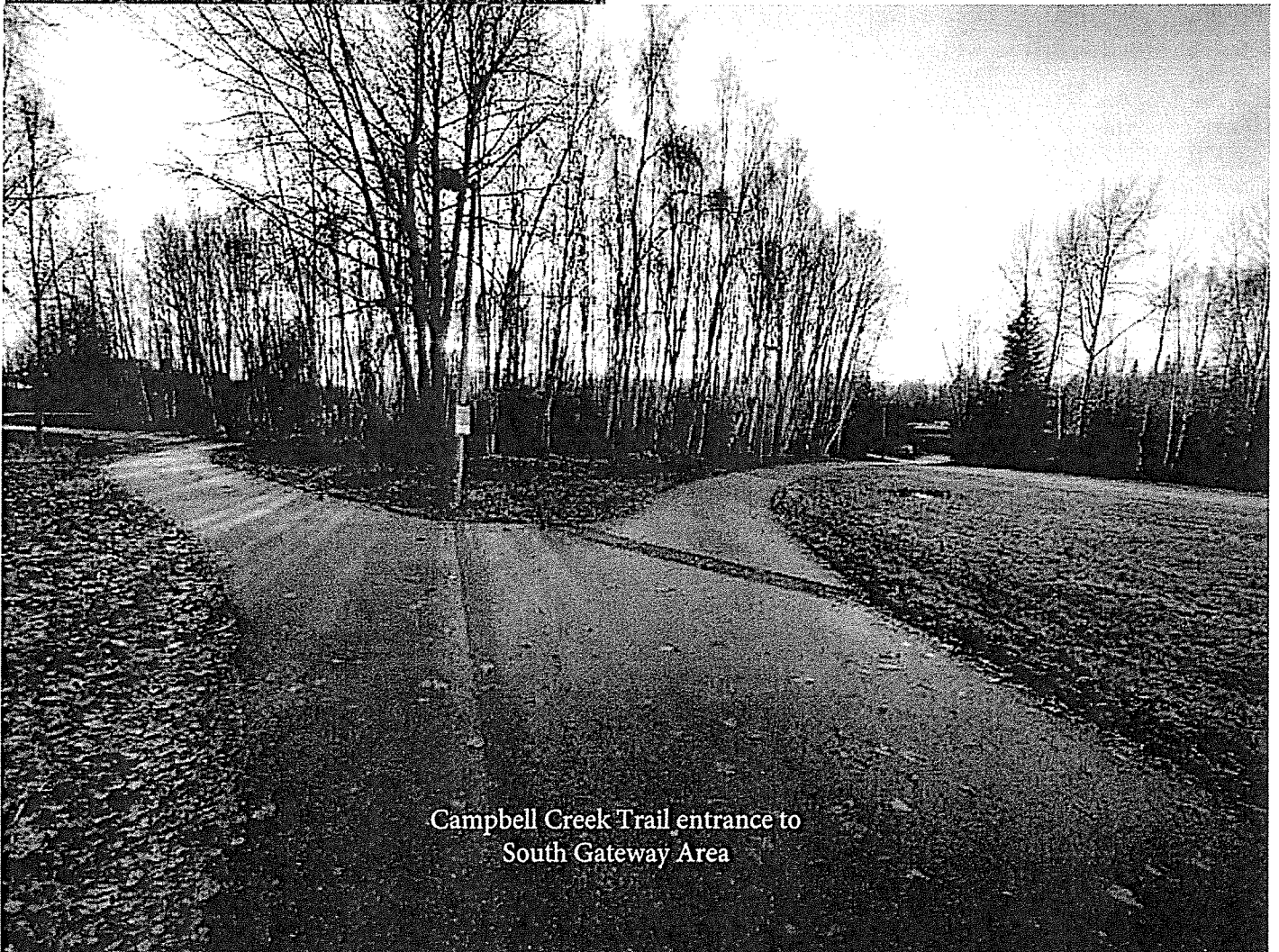
South Gateway
Parking Lot off
Stormy Place



Park entrance
off Rainy Place



Multi-use Pathway entrance off
Queen Victoria Drive and Rainy
Place



Campbell Creek Trail entrance to
South Gateway Area



Skatepark entrance into South Gateway from C Street multi-use trail connection.

