

# Application for Major Site Plan Review

Municipality of Anchorage  
 Planning Department  
 PO Box 196650  
 Anchorage, AK 99519-6650



PETITIONER*		PETITIONER REPRESENTATIVE (if any)	
Name (last name first) Keegan, Taylor, MOA Parks & Recreation		Name (last name first) Le, Van, AICP, R&M Consultants, Inc.	
Mailing Address P.O. Box 196650, Anchorage, AK 99519		Mailing Address 9101 Vanguard Drive, Anchorage, AK 99507	
Contact Phone: Day 907-343-4518		Contact Phone: Day 907-646-9659	
Evening		Evening	
Fax		Fax	
E-mail taylor.keegan@anchorageak.gov		E-mail vle@rmconsult.com	

\*Report additional petitioners or disclose other co-owners on supplemental form. Failure to divulge other beneficial interest owners may delay processing of this application.

PROPERTY INFORMATION			
Property Tax # (000-000-00-000): 013-071-42-000 and 013-071-43-000			
Site Street Address: 8200 Stormy Place, Anchorage, 99518			
Current legal description: (use additional sheet if necessary)  Campbell Creek Greenbelt #08 Lt 76A and Campbell Creek Greenbelt #08 Lot 76			
Zoning: R2M	Acreage: 2.75	Grid #: SW2230	Underlying plat #: 74-0016

SITE PLAN APPROVAL REQUESTED	
Use: Community Use Park	
<input checked="" type="checkbox"/> New SPR	<input type="checkbox"/> Amendment to approved site plan Original Case #:

I hereby certify that (I am)(I have been authorized to act for) owner of the property described above and that I petition for a major site plan review in conformance with Title 21 of the Anchorage Municipal, Code of Ordinances. I understand that payment of the application fee is nonrefundable and is to cover the costs associated with processing this application, and that it does not assure approval of the site plan. I also understand that assigned hearing dates are tentative and may have to be postponed by Planning Department staff, the Planning and Zoning Commission, or Urban Design Commission for administrative reasons.

Signature  Owner  Representative<sup>1</sup> (Agents must provide written proof of authorization)

October 15, 2019  
 Date

Van Le, AICP, R&M Consultants, Inc.  
 Print Name

Accepted by:	Poster & Affidavit:	Fee:	Case Number: 2019-0159	Requested Meeting Date: 12/11/19
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**COMPREHENSIVE PLAN INFORMATION**

Anchorage 2020 Urban/Rural Services:  Urban     Rural

Anchorage 2020 Major Elements – site is within or abuts:

Major employment center                       Redevelopment/mixed use area                       Town center

Neighborhood commercial center                       Industrial reserve

Transit - supportive development corridor                       District/area plan area: \_\_\_\_\_

Chugiak-Eagle River Land Use Classification:

Commercial                       Industrial                       Parks/open space                       Public lands/institutions                       Town center

Transportation/community facility                       Alpine/slope affected                       Special study area                       Development reserve

Residential at \_\_\_\_\_ dwelling units per acre                       Environmentally sensitive area

Girdwood- Turnagain Arm Land Use Classification

Commercial                       Industrial                       Parks/open space                       Public lands/institutions                       Resort

Transportation/community facility                       Alpine/slope affected                       Special study area                       Reserve

Residential at \_\_\_\_\_ dwelling units per acre                       Mixed use                       Rural homestead

**ENVIRONMENTAL INFORMATION** (All or portion of site affected)

Wetland Classification:                       None                       "C"                       "B"                       "A"

Avalanche Zone:                       None                       Blue Zone                       Red Zone

Floodplain:                       None                       100 year                       500 year

Seismic Zone (Harding/Lawson):                       "1"                       "2"                       "3"                       "4"                       "5"

**RECENT REGULATORY INFORMATION** (Events that have occurred in last 5 years for all or portion of site)

Rezoning - Case Number: \_\_\_\_\_

Preliminary Plat  Final Plat - Case Number(s): \_\_\_\_\_

Conditional Use - Case Number(s): \_\_\_\_\_

Zoning variance - Case Number(s): \_\_\_\_\_                       Other: **Park Master Plan - PZC Approved: 2018-0082**

Land Use Enforcement Action for \_\_\_\_\_

Building or Land Use Permit for \_\_\_\_\_

Wetland permit:  Army Corp of Engineers                       Municipality of Anchorage

**APPLICATION REQUIREMENTS** (Only one copy of applicable items is required for initial submittal)

1 copy required:     Signed application (original)

Watershed sign off form, completed

8 ½" by 11" copy of site plan/building plans submittal

35 copies required:     Signed application (copies)

Project narrative explaining:

the project                                       planning objectives

addressing the site plan review criteria on page 3 of this application

Site plan to scale depicting, with dimensions:

building footprints                       parking areas                       vehicle circulation and driveways

pedestrian facilities                       lighting                       grading

landscaping                       loading facilities                       freestanding sign location(s)

required open space                       drainage                       snow storage area or alternative strategy

trash receptacle location and screening detail                       fences

significant natural features                       easements                       project location

Building plans to scale depicting, with dimensions:

building elevations                       floor plans                       exterior colors and textures

Assembly Ordinance enacting zoning special limitations, if applicable

Summary of community meeting(s)

(Additional information may be required.)

### **GENERAL SITE PLAN REVIEW STANDARDS (AMC 21.03.180F.)**

The Urban Design Commission or the Planning and Zoning Commission shall review the proposed site plan governed by the general site plan approval criteria for consistency with conformity to the requirements of this title, and the effects of the proposal on the area surrounding the site. Each standard must have a response in as much detail as it takes to explain how your project satisfies the standard. The burden of proof rests with you.

1. The site plan is consistent with any previously approved subdivision plat, planned development master plan, or any other precedent plan or land use approval;
2. The site plan complies with all applicable development and design standards set forth in this title, including but not limited to the provisions in chapter 21.04, *Zoning Districts*, chapter 21.05, *Use Regulations*, chapter 21.06, *Dimensional Standards and Measurements*, and chapter 21.07, *Development and Design Standards*;
3. The site plan addresses any significant adverse impacts that can reasonably be anticipated to result from the use, by mitigating or offsetting those impacts to the maximum extent feasible; and
4. The development proposed in the site plan is consistent with the goals, objectives, and policies of the comprehensive plan.

### **SPECIAL LIMITATION STANDARDS (if applicable)**

The applicable commission shall review the proposed site plan governed by special limitation for consistency with the special limitations, goals, policies and land use designations of the comprehensive development plan and other municipal plans adopted by the assembly, conformity to the requirements of this title, and the effects of the proposal on the area surrounding the site. Each special limitation standard must have a response in as much detail as it takes to explain how your project satisfies the standard. The burden of proof rests with you.



Municipality of Anchorage, Alaska  
**Anchorage Parks & Recreation**

632 W. 6<sup>th</sup> Avenue, Suite 630  
P.O. Box 196650  
Anchorage, AK 99519  
Tel 907-343-4355

URL [www.muni.org/departments/parks](http://www.muni.org/departments/parks)



October 8, 2019

RE: Taku Lake Park South Gateway Improvements

To Whom It May Concern:

This Letter Authorizes R&M Consultants, Inc. to represent the Municipality of Anchorage Parks and Recreation Department on the Taku Lake Park South Gateway Improvements for Municipal Planning and Permitting activities. If you have questions or concerns, please contact me at 907-343-4518 or at [Taylor.Keegan@anchorageak.gov](mailto:Taylor.Keegan@anchorageak.gov)

Regards,

Taylor Keegan  
Park Planner/Project Manager  
Anchorage Parks and Recreation

# Taku Lake Park: South Gateway Improvements Major Site Plan Review

Community Use Park Site Plan Review under R2M Zoning Supplemental Application Information

## INTRODUCTION

The Anchorage Parks & Recreation Department (PRD) is proposing improvements to Taku Lake Park's South Gateway area, located north of Stormy Place and south of the Campbell Creek Multi-use trail. See Figure 1 Vicinity Map. In 2016-2017, PRD worked with an advisory group comprised of residents, community council members, representatives from user groups and local businesses to update the Master Plan for Take Lake Park. The Master Plan was approved by the Parks & Recreation Commission and the Planning & Zoning Commission in 2018. Improvements proposed to the South Gateway area directly implements the recommendations in the Master Plan (see attached Master Plan South Gateway Concept).

Taku Lake Park is a 53 acre park located along the Campbell Creek Greenbelt in the Taku/Campbell neighborhood in Anchorage. The park is classified as a Community Use Park in the 2006 Anchorage Bowl Park, Natural Resource and Recreation Facility Plan and features both developed facilities and natural areas. The South Gateway area has the highest concentration of developed facilities and is intended to be the most active area of the park. Amenities in the South Gateway area currently include vehicle access and parking lot, two tennis courts, a small skatepark, exercise station, trail access, and the area where the former playground used to be (lost to arson in 2014).

In concurrence with the Taku Lake Park Master Plan, the proposed South Gateway Improvements are designed to be an active year-round destination for individuals and families to gather, recreate and socialize. The South Gateway Improvements have been designed to welcome, orient, and encourage visitors to explore a wider slate of potential recreational interests, to venture further into the park, and provide a natural, exciting, and more safe place to gather and enjoy their favorite activities (see pages 56-61 of Taku Lake Park Master Plan for South Gateway vision and attached Master Plan South Gateway Concept).

## LOCATION

The proposed project is located within Taku Lake Park at 8200 Stormy Place, located east of C Street, north of Stormy Place and Rainy Place (accessed from W Dimond Blvd), west of King Street, and south of E 76<sup>th</sup> Avenue and Foxridge Way. South Gateway Improvements are proposed to occur in the area south of the Campbell Creek Greenbelt multiuse trail, and from the parking lot accessed from Stormy Place, on parcels Campbell Creek Greenbelt Lt 76A and Campbell Creek Greenbelt #08 LT 76.

## LAND OWNERSHIP

All parcels of Taku Lake Park and those which host the connecting Campbell Creek Greenbelt are owned by the Municipality of Anchorage and managed by the Parks & Recreation Department. Residential properties border Taku Lake Park South Gateway (Parcel 013-071-42-000) to the south and east. Park land is adjacent to the north (Taku Lake Park) and west (Campbell Creek Greenbelt) as well as C Street to the right.

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### PROJECT OVERVIEW

Historically, Taku Lake Park has included a tennis court, a skate park, a playground, and a fitness area with adult fitness equipment. The skate park and the adult fitness equipment are in poor condition, and the playground equipment has been removed due to a fire and safety concerns. The proposed improvements to Taku Lake Park will provide a new skate park, a new playground, and a new relocated fitness area. While improved access to the tennis court from the parking lot is proposed in the plans, the tennis court itself is not a part of this redevelopment project.

South Gateway Improvements project will occur in approximately 2.75 acres of the park. Improvement features include:

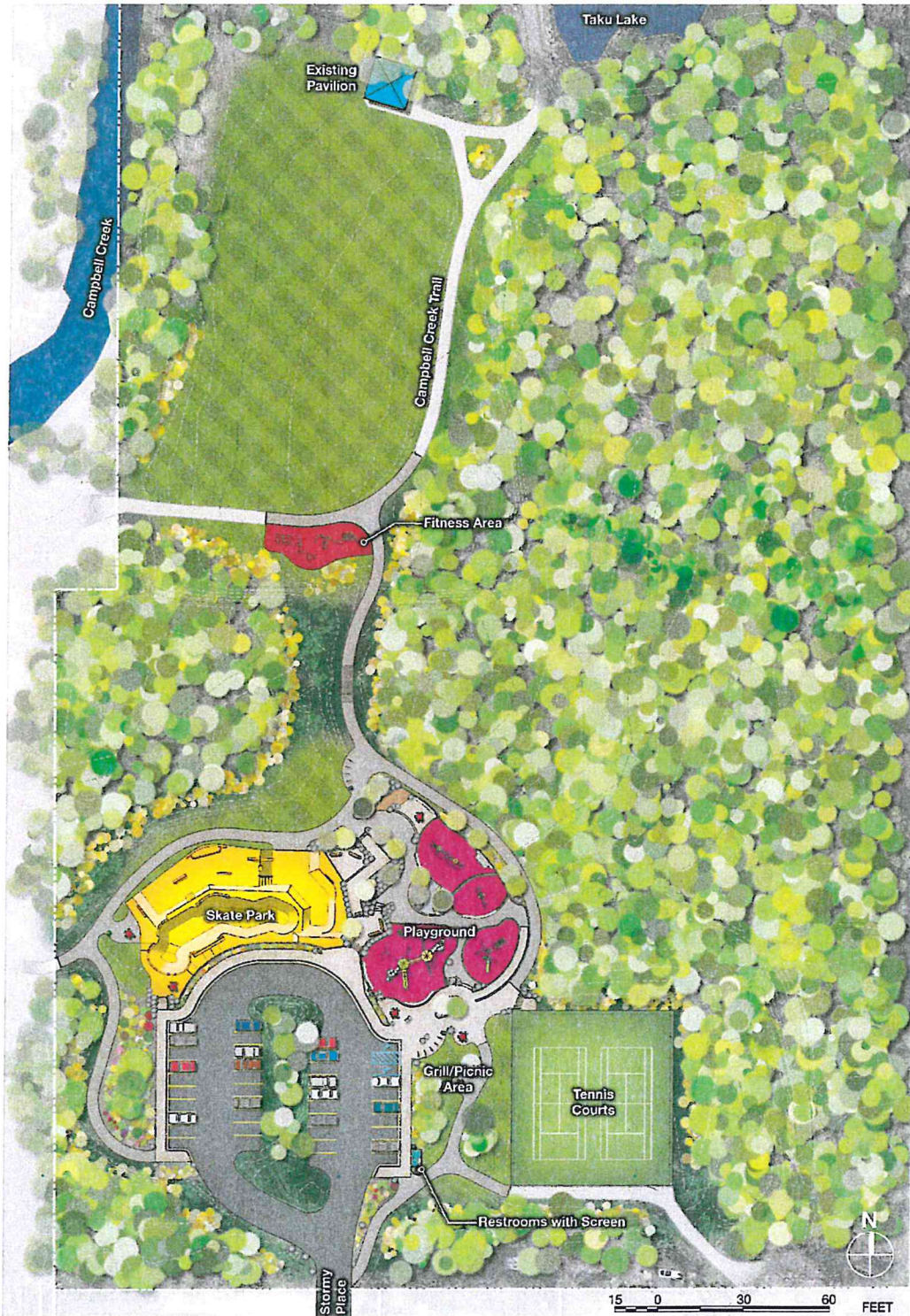
- Upgraded adult fitness station in a new, more visible and accessible location
- New inclusive playground and separate play areas for increased flexibility in active and passive play
- Upgraded, larger concrete skatepark with clearly defined, carefully design separation from other use areas. The spatial relationship of the skatepark to other areas to discourage user conflicts was a high priority during site design.
- Upgraded and realigned trails from the parking lot to the Campbell Creek Greenbelt and new trails providing easy access and circulation around the newly designed activity areas
- Landscaping and natural features
- Improved lighting
- Central theme to brand the South Gateway and Taku Lake Park by incorporating public art

See the *Taku Lake Park South Gateway Improvements Site Plan Rendering* on the next page. For descriptions of specific activity areas proposed in the park, see responses to General Site Plan Review Questions #2, under Use Regulations (page 10).

While the Master Plan concept was the guiding vision for the South Gateway, adjustments had to be made during the design phase to accommodate unforeseen physical constraints. Geotechnical investigations conducted early in the design phase exposed limitations in the soil that lead to a decision to flip the locations of the skatepark and play area as identified in the master plan concept (skatepark to the east and play area to the west of the main pathway). Despite this change from the approved master plan, the vision, intentions, designated activity areas, and goals for the South Gateway remain met or are exceeded in the proposed design.

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## IMPROVEMENTS Taku Lake Park South Gateway

September, 2019

BETTISWORTH<sup>NORTH</sup> R&M





## Taku Lake Park: South Gateway Improvements Major Site Plan Review

### Community Use Park Site Plan Review under R2M Zoning Supplemental Application Information

in order to develop geotechnical recommendations for construction of proposed structures and pavements. Both shallow groundwater and highly frost susceptible soils were encountered in the area where the skatepark was proposed in the master plan concept. For an in-ground concrete structure at this site, it would be critical that the base layers underlying the concrete be well drained and the structure should either be designed to accommodate seasonal movement associated with frost, or designed to prevent frost heaving in the underlying soil. For this reason, the proposed design features the concrete skatepark in a different location, where the soils are less frost susceptible, the soil less saturated and the groundwater deeper. The playground and other improvements proposed in this eastern portion of development area are significantly lighter, have less impervious surfaces, and are less susceptible to seasonal frost. Additional fill will be brought in to ensure all developed facilities are secure and will last into the foreseeable future.

#### DRAINAGE

Minimal existing stormwater management infrastructure exists within the limits of Taku Lake Park South Gateway development area. Runoff currently infiltrates into existing vegetation or drains generally northwest via overland flow toward Campbell Creek. There are currently 6 small diameter culverts that allow drainage to pass under asphalt drive lanes and sidewalks to vegetated areas.

#### WETLANDS

According to the *Anchorage Wetlands Management Plan*, there are waterways on site. Campbell Creek is adjacent to the site to the northwest, and Taku Lake Park is to the north. [See Form 2 Watershed Sign-Off](#). Municipal mapped wetlands occupy low areas adjacent to Campbell Creek, northwest of the site, but are not present or immediately adjacent to the Taku South Gateway area, where redevelopment is proposed.

#### ACCESS, PARKING, & ONSITE CIRCULATION

The South Gateway is accessed by a parking lot located at the end of Story Place, a short unimproved local road accessible from westbound lands on Dimond Boulevard. The parking lot has 38 spaces, including two ADA spaces, with a two-way loop for ease in navigation.

The Campbell Creek trail is one of Anchorage's premier multi-use trails providing non-motorized access to Taku Lake Park from areas throughout the city. The trail traverses the park from north to south, connecting use areas within the park. The Campbell Creek trail enters Taku Lake Park at the C Street underpass and continues north, joining the northernmost part of the South Gateway area before the trail turns to the north. The trail is paved 8-10 feet wide and groomed in the winter.

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A network of paved and soft surface trails bring non-motorized park users through the South Gateway and into the rest of Take Lake Park. Campbell Creek trail serves as the primary corridor running north to south through most of the park.

### LANDSCAPING AND VEGETATION

Existing vegetation at Taku Lake Park is predominantly comprised of large stands of native vegetation made up of young to medium aged spruce, birch, aspen, cottonwood, and an accompanying understory of typical native shrubs such as cranberry and devils club. Forested areas are interspersed with clearings, and transitional areas consisting of willow, devil's club and cow parsnip, cranberry, fireweed, yarrow, and various grasses.

A large area of mowed lawn abuts the Campbell Creek Trail to the north, and the play area, skatepark, and parking lot are nestled in a densely forested area to the south.

### UTILITIES AND LIGHTING

Utilities run throughout Taku Lake Park, providing access to sewer, water and power. Currently, only lighting is developed within the park and is installed along the Campbell Creek trail and paved multi-use trail connected the North and South Gateways. Lighting is provided in the parking lot, skatepark, playground and pavilion areas in the South Gateway area.

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### COMMUNITY MEETING INFORMATION – AMC 21.03.202C

Parks Bonds passed in 2016 and 2018 allowed the planning and site design process for the South Gateway to begin in fall of 2018 with field survey and geotechnical investigations. Since then, two public workshops have been held and the original Taku Lake Park Master Plan Advisory committee members invited to those events. Workshop #3 of the joint master plan and South Gateway process (Workshop #1 for the South Gateway Improvements design) was held on May 11<sup>th</sup>, 2019 at the Blue and Gold Boardshop and focused on the skatepark design. Workshop #4 (#2 of the South Gateway design) was held on July 13<sup>th</sup>, 2019 at the Spenard Recreation Center and solicited feedback all areas of the South Gateway, including the playground, skatepark, adult fitness area, place making and the integration of public art.

Mailed public notice was sent out in compliance with AMC 21.03 for Workshop #4 at Spenard Recreation Center. This location was chosen because the regular community council meetings were not occurring over the summer months and other public locations closer to the park (aka. Elementary schools) were closed for the summer and unavailable for weekend public meeting use. Further, Spenard Recreation Center features a small skatepark and other activity areas that Taku Lake Park users may also enjoy at the Recreation Center, trying to attract more attendance at the workshop.

The following is a summary of the public involvement completed during the site plan design development for Taku Lake Park South Gateway Improvements, which meets the community meeting requirement. [See Attachment 5. Public Meeting Summary.](#)

DATE	OUTREACH	OUTREACH OBJECTIVE
5-1-19	Facebook Event Created	Invite to Workshop #3
5-2-19	Constant Contact Email Invite Sent	Invite to Workshop #3
5-11-19	Workshop #3 – Skatepark Design	Interactive workshop focused on skatepark design with current and future users on what they would like to see.
6-19-19	Postcard Mailing to 865 addresses	Invite to Workshop #4
6-27-19	Constant Contact Email Invite Sent	Invite to Workshop #4
7-1-19	Flyers Posted in and around Taku Lake Park	Invite to Workshop #4
7-9-19	Constant Contact Email Reminder Sent	Invite to Workshop #4
7-13-19	Workshop #4 – South Gateway Design	Interactive workshop guiding decision on proposed improvements
9-12-19	Parks & Recreation Commission Meeting	Review, Passed and Approved a Resolution in Support of the proposed Improvements
9-25-19	Pre Application Conference with MOA Planning	Agency review of proposed improvements prior to application submittal to address any concerns.

## Taku Lake Park: South Gateway Improvements Major Site Plan Review

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### GENERAL SITE PLAN REVIEW STANDARDS (AMC 21.03.180F.) APPLICATION QUESTIONS

1. THE SITE PLAN IS CONSISTENT WITH ANY PREVIOUSLY APPROVED SUBDIVISION PLAT, PLANNED DEVELOPMENT MASTER PLAN, OR ANY OTHER PRECEDENT PLAN OR LAND USE APPROVAL;

The Taku Lake Park Master Plan was approved by the Parks & Recreation Commission and the Planning & Zoning Commission in 2018. The Master Plan provides a framework for the future management, maintenance and development of the park. As defined in the Master Plan through the public process, the vision for Taku Lake Park is *“a safe, outdoor recreation destination that balances its natural green space and accessible waterways with a variety of unique, year-round activities for people of all ages and abilities, providing the community a natural oasis within the context of residential, commercial and industrial development.”* Improvements proposed through this project meet the vision of the overall park and directly implements the plan for the South Gateway, ensuring it is consistent with the previously approved master plan. Modifications in placement of activity areas have been made between the planning and design phase of the South Gateway due to geotechnical constraints and considerations. The changes were made to construct the same desired park, environment, and activity spaces in a more economical, lasting way in the most appropriate location.

The Taku Lake Park Master Plan calls for the following improvements that will be implemented through this project (see Taku Lake Park Master Plan pages 56-61):

- Access, Circulation and Parking: upgrades to access and circulation to support the development of new facilities in the South Gateway. Facilities are to be connected via ADA accessible paved trails. Vehicle access is from Stormy Place and maintains the existing 38 parking spaces, continue to manage the existing parking lot as a year-round facility. Develop paved trails in concert with construction of new facilities to facilitate safe circulation. Provide additional lighting to improve safety and user experience.
- Play Area: an accessible, inclusive and unique destination play area with creative and interesting features that attract visitors to the park year-round. Should complement other facilities, helping to give the South Gateway area a cohesive feel and strong identity; incorporate public art or artful features to provide visual interest, increase ownership and offer playful expression within a public setting.
- Skatepark: construct a permanent skatepark facility suitable for hosting small to moderately sized events, accommodate daily use by a variety of skill levels, and provide a mix of features for all levels of the skate community.
- Central Picnic Area: incorporate a centrally located picnic area with amenities to support use of area recreation facilities by individuals, families and groups
- Fitness Area: improve the fitness area to improve accessibility, visibility and usability
- Amenities and Restroom Facility: develop a permanent restroom facility or portable toilet facilities with a decorative screen fence, if a permanent facility is not feasible. Provide amenities such as

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picnic tables, benches, trash cans, grills and hot coal bins to support use. Incorporate area lighting and maintain clear lines of site from adjacent areas to discourage misuse and vandalism

2. THE SITE PLAN COMPLIES WITH ALL APPLICABLE DEVELOPMENT AND DESIGN STANDARDS SET FORTH IN THIS TITLE, INCLUDING BUT NOT LIMITED TO THE PROVISIONS IN *CHAPTER 21.04, ZONING DISTRICTS, CHAPTER 21.05, USE REGULATIONS, CHAPTER 21.06, DIMENSIONAL STANDARDS AND MEASUREMENTS, AND CHAPTER 21.07, DEVELOPMENT AND DESIGN STANDARDS;*

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#### ZONING DISTRICTS: TITLE 21.04.020.F. R-2M: MIXED RESIDENTIAL DISTRICT

The proposed site plan is consistent with the allowable uses under the R-2M Mixed Residential District. In addition to the variety of single, two, and multifamily dwellings allowed in the district, parks and community gardens are permitted uses. Taku Lake Park is an established community use park which supports the residential and wider commercial development around the area, including its connectivity to the Campbell Creek Greenbelt.

The proposed community use park is a permitted use under the R-2M zoning and the proposed site plan complies with the existing zoning designation. There is intent to rezone the property to Parks and Recreation (PR) designation at a later date, as part of a larger MOA Parks and Recreation Department effort to bring its existing parks into compliance with New Code Title 21. The planned uses and design will continue to be permitted in the PR District, once rezoned.

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#### USE REGULATIONS: TITLE 21.05.040. G PARKS AND OPEN AREAS

Taku Lake Park fall under the Parks and Open Areas category of Community Uses. The category includes land uses focusing on natural areas, large areas consisting mostly of vegetative landscaping or outdoor recreation, community gardens, or public squares. Accessory uses may include clubhouses, playgrounds, maintenance facilities, concessions, caretaker's quarters, and parking. Parks are to be used principally for active and/or passive recreation and to serve ecological and aesthetic functions.

Taku Lake Park is located in the Anchorage Bowl and is guided by the Taku Lake Park Master Plan, 2018, approved by the Parks & Recreation Commission and the Planning and Zoning Commission. The proposed improvements are in alignment with the approved Master Plan, satisfying AMC 21.05.040.G.2.b.i.

#### SOUTH GATEWAY USE AREAS & FACILITIES

Instead of flattening out space for the different park activity areas, the design team worked with the existing grade of the site so that the playground and skate park are integrated into the landscape. Multiple access routes for varying abilities were included in the design in order to resolve access challenges due to the multi-level approach. Stairs, ramps, and pathways allow access to all sides of the playground and skate park for people of all abilities. Landscape boulders and rock walls are used in combination with concrete retaining walls to lend a more natural look to the playground.

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Park benches, seat walls, and picnic tables and will be provided throughout the park. The benches and tables are positioned for a variety of experiences and inclusive to a variety of abilities. Some are immediately adjacent to the parking lot or the main circulation routes for easy access, and others are tucked into the landscape and the playground for a more intimate setting. It should be noted that while more intimate settings are provided in the design, there are not visually isolated spaces in the new park, and visual transparency is maintained between the trails, parking area, and playground. The placement of the benches in the playground allows parents and caregivers to comfortably and easily keep an eye on the younger users of the playground. ADA accessible tables are provided in the spaces adjacent to accessible routes and all park benches have backs and arms.

Bike racks for 10 bikes are located adjacent to the parking lot, and bike racks for 8 bikes are locate adjacent to the bike trail and the north end of the playground.

The proposed South Gateway Improvements site plan includes the following main elements which support the intended use as a community use park (see *Taku Lake Park South Gateway Improvements Site Plan Rendering*, Figure C2 Proposed Site Plan, Figures L3 and L4 Landscape Plan).

#### SKATEPARK

The design for the Taku Skatepark was based off public input and buy in received at 2 public meetings conducted during the summer of 2019 as well input from City staff. Existing terrain at other skateparks in the Anchorage area were also considered when developing the concept for the Taku Skatepark. The site has an approximate 8ft elevation change which resulted in a terraced design to work with the grade changes. The skatepark starts approximately 3-4ft below the adjacent parking lot sidewalk. This will provide for a great viewing experience for spectators and passerby's as they will be above the park looking down into it. The bowl element in the first terrace is a long snake run style bowl that varies in depth from 4ft deep to 8ft deep, accommodating skill levels from an intermediate to advanced level. It features a signature "whale tail" extension to tie in with Anchorage's history as a whale watching destination and provide a unique identity to the skatepark. From the bowl, the skatepark drops down another level to the adjacent street course which features a variety of ledges, rails, banks and other urban inspired features that accommodate users of all ability levels. There are also smaller transitional features throughout the street course that allow users to build their transitional skills prior to stepping up to the bowl. The park features a "Blue and Gold" color scheme to reflect the state flag and features the big dipper and North Star from the flag in the flat bottom of the skatepark.

#### PLAYGROUND

The playground is split into play areas for 5-12 year-olds and 2-5 year-olds, a swing area, and a sandbox. The playground equipment in the 5-12 year-old area includes a large composite structure with two climbing net towers connected with a net bridge, multiple slides, spinners, agility climbers, and ladders. It also includes a multi-person spinner with a transfer platform for smaller kids and people with disabilities. The 2-5 year old play area includes a composite structure with a slide, wobble bridge, an interactive panel, and a balance component. The two disc swings and the friendship swing are separated from the larger play

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composites for safer circulation within the play areas. The sand box is tucked in a corner of the playground to provide respite from the noisier activities, and to keep sand off of the safety surfacing. The safety surfacing will be artificial turf surfacing with appropriate safety padding.

A public design workshop in July of 2019 identified support for a birch forest themed playground. The “grass” safety surfacing turf combined with the thinner profiles of the poles for the net climbers and the interspersed planting beds will suggest a birch forest. The playground will reflect its forested surroundings in color and theme, while providing opportunities for people of all ages and abilities to play.

### FITNESS AREA

The fitness area will be relocated to north of its current position so that it is directly adjacent to the Campbell Creek Trail. The existing fitness equipment is underutilized and hard to see from the trail at its current location. The new location will provide more visibility and more opportunities for a higher volume of use. MOA PRD will provide the adult fitness equipment for this project.

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### DIMENSIONAL STANDARDS AND MEASUREMENTS: TITLE 21.06

The minimum lot requirements in the R-2M district are 50 feet in width and at least 6,000 square feet of area for all uses. The maximum lot coverage is 40%. Campbell Creek Greenbelt Lot 76A is 331,143 square feet and Lot 76 is 97,574 square feet, exceeding the minimum area requirement. There are no proposed structures in the project that qualify towards lot coverage. All minimum lot dimension, setback, and height requirements are met.

### BUILDING SETBACKS

The minimum yard requirements in the R-2M district are 20-feet in the front, 5-feet on the sides, and 10-feet in the rear. No structures are proposed for the site, and all play equipment and specialty use areas are within the required minimum yard setbacks.

### MAXIMUM HEIGHT

The maximum height of structures in the R-2M district is 30 feet. No structures are proposed for the site.

### SIGHT DISTANCE TRIANGLES: 21.06.030.C.8

No proposed landscape plantings or obstructions, such as signs, are proposed within the Sight Distance Triangles. The existing Taku Lake Park sign is proposed to be refurbished and relocated in place.

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### DEVELOPMENT AND DESIGN STANDARDS: TITLE 21.07

#### 21.07.090 OFF-STREET PARKING AND LOADING

Off-street paved parking currently exists at the south end of the Taku Lake Park South Gateway area. The looped parking lot has 39 existing 9' x 20' parking spaces, two of which are signed as ADA-accessible stalls and are adjacent to a shared access aisle. The parking lot will remain in its current configuration as part of the overall site improvements project. Minor improvements include reconfiguring the ADA-accessible stalls and aisle to meet current ADA regulations.

The site falls under the *Park and Open Area* use category which does not have a specific minimum parking count requirement. The number of parking spaces will remain the same and will still meet the standards outlined in *21.07.090 Off-Street Parking and Loading*. The existing number of parking spaces is anticipated to accommodate proposed use of the park after improvements are installed.

#### 21.07.020.B.4.A WATER COURSES

No buildings, accessory structures or parking lots are located within 25-feet from the ordinary high-water mark/banks of nearby Campbell Creek as defined by MOA mapping tools, site survey, and sign-off by MOA Watershed (see Watershed Sign-off Form).

#### 21.07.020.B.6 DEVELOPMENT STANDARDS: B.6.B ACTIVITIES, USES AND STRUCTURES ALLOWED IN A REQUIRED WATER COURSE OR WETLAND SETBACK WITHOUT PRIOR APPROVAL

No new or modified uses are proposed within the required wetland or watercourse setback. MOA Watershed Management has reviewed the proposed design ahead of this application submittal and has no objections to the South Gateway Improvements based on its proximity to Campbell Creek and Taku Lake (see Watershed Sign-Off form).

#### 21.07.040 DRAINAGE, STORM WATER TREATMENT, EROSION CONTROL, AND PROHIBITED DISCHARGES

Minimal existing stormwater management infrastructure exists within the limits of Taku Lake Park South Gateway development area. Runoff currently infiltrates into existing vegetation or drains generally northwest via overland flow toward Campbell Creek. There are currently 6 small diameter culverts that allow drainage to pass under asphalt drive lanes and sidewalks to vegetated areas. Because of the direct adjacency of the project to Campbell Creek, stormwater management design will employ Low Impact Development (LID) and Best Management Practices (BMP) strategies to minimize potential impacts to water quality. The proposed site plan includes an improved, yet still simple and efficient drainage system at the new parking lot and maintains natural vegetation for parking lot and park stormwater and snowmelt runoff management.

## Taku Lake Park: South Gateway Improvements Major Site Plan Review

### Community Use Park Site Plan Review under R2M Zoning Supplemental Application Information

The grading plan has been designed and coordinated to provide positive drainage away from pedestrian and parking areas, similar to the current overall drainage pattern. Storm drainage is re-routed around new park amenities such as the skatepark and play equipment, and into naturally vegetated low areas between the proposed development and Campbell Creek. Negative impact from drainage or snow melt to adjacent neighbors is mitigated, as the site drains away from the neighborhoods to the northwest, farther into the park and towards Campbell Creek.

#### 21.07.040.F SNOW STORAGE

The designated snow storage area for on-site snow clearing is located southwest of the parking lot on an existing turf strip with approximately 2,173 square feet of available space. The existing asphalt parking lot area is 20,186 square feet and requires a minimum of 1,009 square feet of snow storage area (5% minimum per 21.07.040.F.4.b, nonresidential use). The turf area is bordered on both sides by mature trees and drains away from the adjacent residential lot. Snowmelt and stormwater runoff is directed to non-pedestrian areas. Anchorage Parks and Recreation will remove snow if the snow volume fills the designated snow storage area. Parks will also regularly maintain the area, including seasonal cleanup of sediment and debris remnants resulting from snow melt.

#### 21.07.060 TRANSPORTATION AND CONNECTIVITY

##### 21.07.060.D STREETS AND ON-SITE VEHICLE CIRCULATION

Vehicle access to Taku Lake Park South Gateway is via Stormy Place, off West Dimond Blvd. Stormy Place is a paved Local Street with 60' ROW width and on-street gravel parking. West Dimond Blvd. is a Class IIIA Major Arterial, owned and maintained by the Alaska Department of Transportation & Public Facilities (DOT&PF). The 24-ft wide paved park driveway has a gate that can be locked after park hours. The driveway leads to the existing looped asphalt parking area.

The parking area will be signed for one-way traffic flow to ensure orderly circulation for visitor parking and loading/unloading as well as efficient access for emergency and maintenance vehicles. New perimeter concrete sidewalk is planned along the west, north and east sides of the parking lot and will allow for passenger-side drop off near the parks amenities at the north end loop. See [Figure C2 Proposed Site Plan](#).

##### 21.07.060.E STANDARDS FOR PEDESTRIAN FACILITIES

All pedestrian walkways, paths, and trails meet standards as applicable. Concrete walkways and asphalt paths will be constructed with the 8+ plus typical widths throughout the site. Sidewalks provide paved, ADA compliant accessibility from the parking lot to all developed activity areas and Campbell Creek trail. All paved walkways and multi-use trails will meet the ADA Standards for Accessible Design. See [Figure C2 Proposed Site Plan](#) and [Figures L2 – L4 Title 21 Code Study and Landscape Plan](#).

##### 21.07.060.F PEDESTRIAN AMENITIES

## Taku Lake Park: South Gateway Improvements Major Site Plan Review

### Community Use Park Site Plan Review under R2M Zoning Supplemental Application Information

The site improvements for the South Gateway include pedestrian amenities in support of its function as a Community Use Park. Campbell Creek Trail, a multi-use path accesses the South Gateway from the remainder of the park as well as the greenbelt to the west and north. Bike racks for 10 bikes will be located adjacent to the parking lot, and bike racks for 8 bikes will be located adjacent to the bike trail and the north end of the playground. Benches, picnic tables, bear-proof trash cans, and other pedestrian amenities will be provided throughout the South Gateway. A portable toilet facility will be located at the southeast end of the parking lot for visitor convenience and will be screened appropriately.

#### 21.07.080 LANDSCAPING, SCREENING, AND FENCES

The Taku Lake Park Master Plan identified the need to balance natural areas with developed recreation areas. The proposed landscape plan preserves the existing stands of native vegetation wherever possible on the periphery of the new facilities, while providing new plantings throughout the playground and adjacent to the parking lot.

During the Master Plan, it was identified by the community that sight lines should be maintained into the park, predominantly from C Street and the existing parking lot. This project will include strategic sight line clearing to facilitate the community's wishes to improve perceptions of safety and increase visibility into the park. Anchorage Parks and Recreation Department will be selectively clearing the vegetation under the direction of their staff arborist.

#### 21.07.080.C LANDSCAPE PLAN

New landscape planting beds are integrated into the design of the playground and along the south edge of the existing parking lot. The planting plan will include native birch trees, and hardy shrubs and perennials to satisfy MOA Title 21 Land Use Regulations and to maintain an aesthetic and natural park setting. The project will provide parking lot perimeter landscaping as described below.

At a minimum, disturbed areas will receive topsoil and be re-seeded with either lawn seed mix or no-mow wildflower seed mix to match the character of the surrounding existing conditions. All of the species selected for this project will be native or cold hardy. The plant schedule identifies the species and size of the plant materials. Plant selections and locations are informed by the Anchorage Parks and Recreation Department's long history of operations and maintenance experience. Species selected were identified for their aesthetic, ease of maintenance, and long-term survival. See attached Landscape Sheets, [Figures L1 through L10](#).

#### 21.07.080.E.2.B PARKING LOT LANDSCAPING AND 21.07.080.E.2.C PARKING LOT INTERIOR LANDSCAPING

The existing parking lot consists of 39 spaces, including two van accessible parking spaces with an eight-foot access aisle. No parking lot interior landscaping is required by code, but the parking lot does include a large interior landscape island with a dense stand of native trees and shrubs that will remain undisturbed by the proposed improvements. The north, east, and west sides of the parking lot do not abut a property

## Taku Lake Park: South Gateway Improvements Major Site Plan Review

### Community Use Park Site Plan Review under R2M Zoning Supplemental Application Information

line, and are not visible to surrounding properties due to dense stands of existing vegetation that will remain primarily undisturbed during the course of this project. The appurtenant driveway abuts the south property line and will be provided with L2 buffer landscaping in compliance with 21.07.080.

Large stands of native vegetation currently exist between the parking lot and the R-5 zoned neighborhood directly to the south. Meeting the L2 buffer landscaping requirements on the south side of the parking lot would require removing approximately 800 square feet of existing native plant material. The proposed plan proposes preservation and protection of the stand of native plant material, supplemented with additional new plantings to meet the L2 buffer landscaping requirements.

Existing white spruce trees 10 feet or more in height and birch trees 6 inches or greater caliper were identified and located by field observation and field measurements in the area directly south of the parking lot. The Title 21 Code Study Sheet in the attached Landscape Sheets provides the substitution calculations used to meet the L2 buffer landscape requirements. Though several large cottonwoods occur in these areas, no cottonwoods were included in the substitution count.

#### 21.07.080.G.2 REFUSE COLLECTION

Five 70-gallon trash receptacles are provided in the park. All of the trash receptacles provided will be bear-proof, and will be located for easy access by the public and by the Park's maintenance staff.

#### 21.07.080.G.3 SERVICE AND OFF-STREET LOADING AREAS

No service or loading areas are required for the Park. The two-way circular traffic flow of the existing parking lot will remain, providing adequate servicing and loading areas without dedicating a space or blocking access.

#### 21.07.080.G.4 MECHANICAL AND ELECTRICAL EQUIPMENT

No mechanical equipment is proposed, however two portable toilet facilities (port-a-potties) will be located at the southeastern end of the parking lot, near the grill and picnic area for visitor convenience. The portable toilet facilities will be properly screened. Electrical equipment will be limited to small transformer(s) and switch panel(s) for lighting controls.

#### 21.07.080.H FENCES

No fences other than those used for screening purposes are proposed.

#### 21.07.100 EXTERIOR LIGHTING

New parking lot, pathway, skatepark, play area, and fitness pad lighting will be installed on existing poles where practical and on new poles where needed. An architectural feature light near the new play area will

## Taku Lake Park: South Gateway Improvements Major Site Plan Review

Community Use Park Site Plan Review under R2M Zoning Supplemental Application Information

also be installed to accent future art in the area. Power service will also be installed on the new/existing poles in the skatepark area.

Power for the skatepark and exterior site lighting will be limited to an existing MOA load center in the area. The existing load center is located in the southwest corner of the south gate entrance to the park. See Figures E0-E2 Electrical Plans for approximate location.

LED site lighting fixtures, for parking lot will be mounted to existing 30-foot poles, for play area will be mounted to 30-foot poles, for skatepark will be mounted to 30-foot poles, and for pathway/fitness pad will be mounted to existing and new 15-foot poles. They will be located to maximize efficiency while adequately lighting all areas of the improvements. The architectural feature light proposed near the play area will provide additional light and improve visibility of art pieces in the future. All site lighting has been located to provide adequate clear zones from pedestrian and vehicle circulation areas.

### 21.11.060 SIGNAGE

The existing wooden park sign will be rehabilitated by park maintenance staff and reset in its current position.

A location for a future Kiosk.2 wayfinding sign has been included in the design, and has identified in the plans, but installation of the wayfinding sign will not be included in this project.

### 3. THE SITE PLAN ADDRESSES ANY SIGNIFICANT ADVERSE IMPACTS THAT CAN REASONABLY BE ANTICIPATED TO RESULT FROM THE USE, BY MITIGATING OR OFFSETTING THOSE IMPACTS TO THE MAXIMUM EXTENT FEASIBLE;

The South Gateway area is currently underutilized due to the conditions of existing facilities; the playground was lost to arson in 2014 and the skatepark and fitness areas are outdated and no longer meet the needs of users. New and improved facilities will reestablish this destination area of Taku Lake Park and bring with it increased safety through activation, improved site lines and lighting.

The parking lot is not being expanded and alternative access via the Campbell Creek trail will mitigate potential negative transportation related impacts to the adjacent neighbors on Stormy Place. New park facilities and lighting are set back from adjacent neighborhoods and as much existing mature vegetation is being retained as possible to adequately buffer active areas of the park from residents.

No environmental pollution is anticipated as a result of the proposed development. Prior to the start of ground disturbing activities, the contractor will be required to prepare a Storm Water Pollution Prevention Plan (SWPPP). The Contractor will be required to implement the plan during construction. The plan will identify the methods to be used to control erosion and sediment discharge during construction. Any noise associated with construction will be regulated through the permitting process. The park development has also been designed to minimize off-site light pollution.

# Taku Lake Park: South Gateway Improvements Major Site Plan Review

Community Use Park Site Plan Review under R2M Zoning Supplemental Application Information

4. THE DEVELOPMENT PROPOSED IN THE SITE PLAN IS CONSISTENT WITH THE GOALS, OBJECTIVES, AND POLICIES OF THE COMPREHENSIVE PLAN.

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## ANCHORAGE 2020 – ANCHORAGE BOWL COMPREHENSIVE PLAN

*Anchorage 2020* is the comprehensive plan for the Anchorage Bowl. Adopted in 2001, *Anchorage 2020* provides land use policies and specific actions to guide decision makers over the twenty-year life of the plan. The 2018 Taku Lake Park Master Plan and the proposed South Gateway Improvements project supports the *Neighborhood Identity and Vitality, Natural Open Space, the Parks, Trails, and Recreation* goals of the *Anchorage 2020 Comprehensive Plan*.

- *Neighborhood Identity and Vitality: A variety of safe, pleasant, and distinctive neighborhoods responsive to the diverse needs of residents, with good access to schools, recreation, natural areas and community facilities.*
- *Safety: A community where people and property are safe*
- *Harmony with Nature: An urban place that develops in harmony with its natural setting and is mindful of its natural hazards.*
- *Natural Open Space: A network of natural open spaces throughout the community that preserves and enhances Anchorage's scenic vistas, fish, wildlife, and plant habitats and their ecological functions and values.*
- *Water Resources: Water resources and watersheds that are protected and enhanced for their enduring viability and values.*
- *Parks, Trails, and Recreation: A sustainable and accessible system of recreational facilities, parks, trails and open spaces that meets year round neighborhood and community wide needs.*

Development of the South Gateway as proposed also support fulfillment of the following Anchorage 2020 policies:

- ***Policy #7- Avoid incompatible uses adjoining one another:*** The Community Use Park improvements and adjacent residential development are compatible uses. The Taku Lake Park South Gateway improvements have been designed in context with the surrounding development and are intended to increase positive recreation activities, deter illegitimate activities, and provide the community enriching natural and built environment that supports adjacent residential neighborhoods.
- ***Policy #42 – Northern city design concepts shall guide the design of all public facility projects, including parks and roads:*** Winter city design has been used throughout the development of the proposed improvements. In addition to the overall facility improvements, snow storage, melt, drainage, and lighting were given specific consideration to ensure the public facility would provide recreational opportunities year-round.

## Taku Lake Park: South Gateway Improvements Major Site Plan Review

Community Use Park Site Plan Review under R2M Zoning Supplemental Application Information

- ***Policy #50 - Healthy, mature trees and forested areas shall be retained as much as possible:*** existing, healthy and mature trees are being kept in place as much as feasible and will continue to provide a natural vegetative buffer between the park and the surrounding developed areas.

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### ANCHORAGE BOWL PARK, NATURAL RESOURCES, AND RECREATION FACILITY PLAN

The Anchorage Bowl Park, Natural Resources, and Recreation Facility Plan (Park Plan) provides a model for applying a systematic approach to the planning of parks, recreation, and natural use areas. The Park Plan classifies Taku Lake Park as a Community Use Area or Community Park. Community Parks serve a broader purpose and population than local and neighborhood parks. They provide opportunities for social interaction across neighborhoods, and increase the economic development potential of an area.

The Park Plan identifies broad strategies for improving Community Use Areas/Parks including “upgrades to existing parks and expanding facilities where possible to improve use, meet ADA and safety issues.” Additional strategies include improvements to “access, trails, and connections” with specific recommendations for Taku Lake Park to “improve play areas, picnic grounds and waterfront areas.” Redesign and development of Taku Lake Park may be appropriate to achieve the safety and use improvements desired.

The proposed South Gateway Improvements project meets the intent of a Community Park and implements recommendations of the Park Plan. Improvements to the South Gateway are specifically design to be inclusive and provide a variety of micro environments to suit a range of recreation desires. The skatepark will be the largest in Anchorage, creating a new destination and opportunity for expanded recreation in the community. The South Gateway Improvements proposes to provide better access to activity areas via trails within the park, provide new pedestrian amenities, and directly implements the recommendation to improve the play areas.

## Taku Lake Park: South Gateway Improvements Major Site Plan Review

Community Use Park Site Plan Review under R2M Zoning Supplemental Application Information

### PRELIMINARY SCHEDULE AND ESTIMATED COSTS

The project is scheduled to start construction in the summer of 2020 and be completed in summer 2021.

#### ESTIMATED COSTS

<u>Plant Material Budget:</u>	\$55,640 (Landscaping Planting, Seeding+ Boulders)
<u>Total Landscape Budget:</u>	\$665,890 (Minus Parking, Lighting, Construction Costs, & Excavation)
<u>Civil Site work:</u>	\$241,387
<u>Electrical:</u>	\$133,570
<u>Skatepark:</u>	\$738,457

The shown estimated costs include all phases and activities; it is anticipated some construction costs will be mitigated by work completed by MOA Parks & Recreation Department staff.

#### FEASIBILITY

The following cost estimates and assumptions were current as of June 2019.

#### Current Funds Available = \$1,040,000

2016 Parks Bond	\$400,000
2018 Parks Bond	\$250,000
Anchorage Park Foundation	\$350,000
Challenge Grant	\$40,000

#### Expended Funds to Date = \$114,813

Taku Lake Park Master Plan	\$61,338
South Parking Lot Gate	\$3,800
Survey and Geotech	\$49,675

#### Construction Estimate and Goal = \$1,900,000

Design Services	\$200,000
Skatepark	\$500,000
Play Area	\$750,000
Lighting, Site Work, etc.	\$415,000
Landscaping	\$35,000

Total Anticipated Funds Expended = \$2,014,813

Remaining Amount to Fundraise = \$974,813

# Taku Lake Park: South Gateway Improvements Major Site Plan Review

Community Use Park Site Plan Review under R2M Zoning Supplemental Application Information

## FORMS & ATTACHMENTS

- |   |  |
|---|--|
| 1 | Taku Lake Park South Gateway Master Plan Concept     |
| 2 | Watershed Sign-Off Form                              |
| 3 | Plat SW2230  |
| 4 | Parks & Recreation Commission Resolution No. 2019-08 |
| 5 | Pre-Application Meeting Summary and Sign in          |
| 6 | Public Meeting Summaries                             |

## LIST OF FIGURES

- |              |                                   |
|--------------|-----------------------------------|
| G1           | Vicinity Map                      |
| C1           | Existing Site & Demolition Plan   |
| C2           | Proposed Site Plan                |
| C3           | Proposed Grading & Drainage Plan  |
| L1           | Landscape Schedule and Key Plan   |
| L2           | Title 21 Code Study               |
| L3           | Landscape Plan                    |
| L4           | Landscape Plan                    |
| L5           | Landscape Enlargement - Furniture |
| L6           | Landscape Enlargement - Plantings |
| L7-L10       | Landscape Details                 |
| SP 1.1       | Skatepark Renderings              |
| SP 1.2       | Skatepark Site Plan               |
| SP 1.3       | Skatepark Coping Materials        |
| SP 1.4       | Skatepark Concrete Materials      |
| SP 3.1 & 3.2 | Skatepark Details                 |
| E0           | Electrical Legend                 |
| E1           | Electrical Demolition Plan        |
| E2           | Electrical Remodel Plan           |

## **FORMS & ATTACHMENTS**

South Gateway  
preferred alternative

Campbell Creek

Upgrade Existing Pavilion Lighting

Revegetate Trail Edge

Open Lawn

Widen Trail Curve Radii

Soft Surface Forest Trails

Existing Forest

Skatepark

Play Area

Picnic Area

Swings

2-5 play

Basketball

Pavilion + Restrooms

Fitness

Existing Forest

Existing Parking (38)

Existing Tennis

Gate

Stormy Place

Rainy Place



**WMS WATERCOURSE MAPPING SUMMARY**

Per the requirements for watercourse verification outlined in Project Management and Engineering Operating Policy and Procedure #8 and Planning Department Operating Policy and Procedure #1 (effective June 18, 2007), MOA Watershed Management Services has inspected the following location for the presence or absence of stream channels or other watercourses, as defined in Anchorage Municipal Code (21.35).

- Project Case Number or Subdivision Name: Taku Lake Park South Gateway Improvements
- Project Location, Tax ID, or Legal Description: Site Address: 8200 Stormy Place, 99518  
Legal: Campbell Creek Greenbelt Lt 76A and Campbell Creek Greenbelt #08 Lot 76
- Project Area (if different from the entire parcel or subdivision): \_\_\_\_\_

In accordance with the requirements and methods identified, WMS verifies that this parcel, project area, or application:

X ~~Y~~ **DOES NOT** contain stream channels and/or drainageways, as identified in WMS field or archival mapping information.\*

\_\_\_\_\_ **DOES** contain stream channels and/or drainageways **AND** these are located and identified on submittal documents in general congruence with WMS field and archival mapping information.  
*New or additional mapping IS NOT REQUIRED.\**

\_\_\_\_\_ Contains stream channels and/or drainageways **BUT** one or more streams or other watercourses:  

- are **NOT** shown on submittal documents, or
- are **NOT** depicted adequately on submittal documents for verification, or
- are **NOT** located or identified on submittal documents in general congruence with WMS field and archival mapping information.

*New or additional mapping IS REQUIRED and must be re-submitted for further review and verification.\**

\_\_\_\_\_ Presence of stream channels and/or drainageways is unknown **AND** field verification is not possible at this time. WMS will verify as soon as conditions and prioritized resources allow.

\* Streams omitted in error by WMS or others remain subject to MOA Code and must be shown in new mapping upon identification of the error.

**ADDITIONAL INFORMATION:**

- |  |  |                                      |                                |
|--|--|--------------------------------------|--------------------------------|
| <input type="checkbox"/> Y <input checked="" type="checkbox"/> N | WMS written drainage recommendations are available.      | <input type="checkbox"/> Preliminary | <input type="checkbox"/> Final |
| <input type="checkbox"/> Y <input checked="" type="checkbox"/> N | WMS written field inspection report or map is available. | <input type="checkbox"/> Preliminary | <input type="checkbox"/> Final |
| <input type="checkbox"/> Y <input checked="" type="checkbox"/> N | Field flagging and/or map-grade GPS data is available.   |                                      |                                |

Inspection Certified By:

Date:



10/3/19

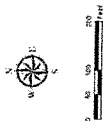


# SW2230 Grid Map

- Parcel Line
- Divided Parcel Line
- Subdivision Boundary
- Subdivision Address
- Easement Line
- Easement Centerline
- Road Centerline
- Private Road Centerlines
- Section Line
- Railroad
- Stream Centerline
- Monument
- ★ BLM Monument
- ⊕ Wireless Corner
- ⊕ Bearing Break
- 1 Lot Number
- 2 Block Number
- 3 Subdivision Name
- 4 BLM Lot Number
- 5 Section Number
- 6 Township
- 7 Range

The Block and Page Index for Grid SW2230:

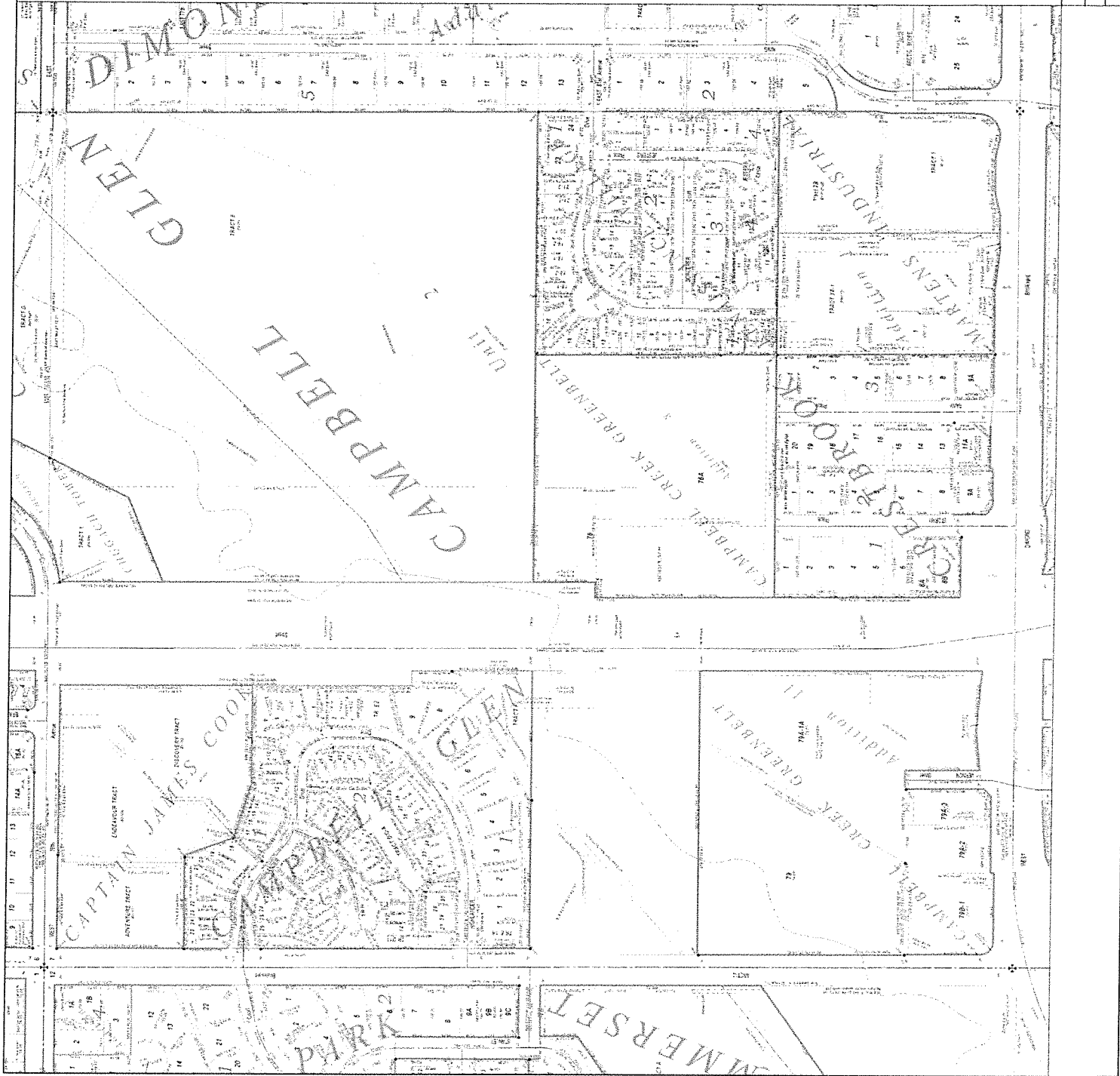
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9	10	11	12
13	14	15	16



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**Municipality of Anchorage**  
 225 West 12th Avenue, Suite 100  
 Anchorage, Alaska 99501-1005  
 Phone: (907) 263-1414  
 Fax: (907) 263-1427





Municipality of Anchorage, Alaska  
**Parks & Recreation Commission**

632 W. 6<sup>th</sup> Avenue, Suite 630  
P.O. Box 196650  
Anchorage, AK 99519  
Tel 907-343-4355

URL [www.muni.org/departments/parks](http://www.muni.org/departments/parks)



**PRC RESOLUTION NO. 2019-08**  
**Taku Park South Gateway Improvements**

WHEREAS, the Anchorage Parks and Recreation Commission serves in an advisory capacity to both the Mayor and the Assembly; and

WHEREAS, the Anchorage Parks and Recreation Commission has the responsibility and duty to provide for the long term vision of our park system by ensuring that a balance of parks, natural resources, and recreation facilities provides for the health, welfare, and safety of all residents of the Anchorage Bowl; and

WHEREAS, Taku Lake Park is a 53 acre park located along the Campbell Creek Greenbelt in the Taku/Campbell neighborhood of Anchorage; and

WHEREAS, the Anchorage Parks and Recreation Department collaborated with local community members and stakeholders on the 2018 *Taku Lake Park Master Plan* to identify improvements proposed for the South Gateway; and

WHEREAS, the Parks and Recreation Department has continued to work with the community throughout the design development process soliciting input from the community advisory group, skatepark users, local businesses, and the general public through a series of workshops and design meetings; and,

WHEREAS, the proposed South Gateway improvements include skatepark upgrades, a new inclusive playground, picnic areas, circulation improvements, safety upgrades and lighting, landscaping, and new amenities;

WHEREAS, the proposed improvements are intended to serve the larger community offering a range of highly desirable recreational opportunities for families and individuals of all ages and abilities; therefore,

BE IT RESOLVED that the Anchorage Parks and Recreation Commission approves the Taku Lake Park South Gateway 2020 Improvements project.

PASSED AND APPROVED by the Anchorage Parks and Recreation Commission this <sup>12<sup>th</sup></sup> 9<sup>th</sup> day of September, 2019.

  
\_\_\_\_\_  
Jon Dyson, Chair  
Parks and Recreation Commission

ATTEST:   
\_\_\_\_\_  
John Rodda, Director  
Parks & Recreation Department



Municipality of Anchorage/Development Services Department  
4700 Elmore Road, Anchorage, AK 99507

Project Name: TAKU Lake South Gateway Project #: \_\_\_\_\_

Meeting held at: Room 170, Planning Date/Time: 9/24/19 @ 2pm

	NAME (please print)	AGENCY / DEPARTMENT	PHONE	EMAIL
1	Collin Hodges	MOA Planning	343-7938	collin.hodges@anchorage.ak.gov
2	VAN. LE	R+M Consultants	646 9659	vle@rmconsult.com
3	Randy Rissler	MOS - TRAFFIC	343-8415	Rissler@mos.orl
4	Francis McLaughlin	MOA Current Planning	343-8003	mclaughlinfd@muni.org
5	Marc Guzik	MOA-Private Dev.	243-8115	guzikm2@muni.org
6	Jeffrey Urbanus	MOA-LMS	8023	urbanusjd@muni.org
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## Taryn Oleson

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**From:** Van Le  
**Sent:** Wednesday, September 25, 2019 8:53 AM  
**To:** Taryn Oleson  
**Subject:** FW: Taku Lake

Taku Pre-App Summary below and a few checklist items. I sent plans to WSM.

Waiting for sign in from yesterday also to include in packet.

**Van Le, AICP** *Manager – Planning Department*

**R&M CONSULTANTS, INC.** | 9101 Vanguard Drive | Anchorage, Alaska 99507  
907.646.9659 direct | 907.242.1578 mobile

[Facebook](#) | [LinkedIn](#) | [rmconsult.com](http://rmconsult.com)

*Innovating Today for Alaska's Tomorrow*

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**From:** McLaughlin, Francis D. [mailto:francis.mclaughlin@anchorageak.gov]  
**Sent:** Tuesday, September 24, 2019 3:35 PM  
**To:** Van Le <VLe@rmconsult.com>  
**Subject:** Taku Lake

Hi Van,

Here's a summary of the issues raised at the pre-app meeting:

- Provide a community meeting summary and justification for holding the meeting away from the Taku/Campbell Community Council meeting.
- Explain the discrepancies between the master plan and development plan (i.e. geotech cause the skate park and playground locations to be swapped)
- Private development wants to see how drainage and snow melt are handled (e.g. not running onto neighbors); stormdrain location
- WMS asked to see early construction drawings because of new green infrastructure requirements in the DCM; trails within the project area must meet stream setbacks, which does not appear to be an issue with this project

Thank you,  
Francis

Francis McLaughlin  
Planning Department  
343-8003

Taku Lake Park: South Gateway Improvements  
**SKATEPARK DESIGN WORKSHOP**

WORKSHOP #3  
 Saturday, May 11, 2019  
 Blue & Gold Boardshop  
 3:00 PM - 5:00 PM

NAME	EMAIL	WHAT NEIGHBORHOOD DO YOU LIVE IN?	HOW DID YOU HEAR ABOUT THE OPEN HOUSE?
Nathan Webb	nobd.nathan7@gmail.com	Kincaid	FRIENDS
Nikoshane Santa Ana	niko.santana@yahoo.com	Jewel Lake	social media
MATT YODER	PUNKYODA@hotmail.com	GIRDWOOD	FB
Denery Kulawski	denery.kulawski@gmail.com	Jewel Lake	insta
Sam Ins	Samingr76@yahoo.com	Ocean View	insta
Randy Rennie	Randy.Rennie@outlook.com	Spenard	(insta) Jason @ Blue & Gold
Daniel Redman	Daniel.Redman@live.com	Mukbezz	<del>Blue &amp; Gold</del>
Zack Crater	zackcrater@yahoo.com	Dimond	
Evan Sharp	evansharp92@hotmail.com		Anchorage Parks Foundation
Brian Berube	brianberube2008@gmail.com	East Anch.	Blue & Gold

Taku Lake Park: South Gateway Improvements  
**SKATEPARK DESIGN WORKSHOP**

WORKSHOP #3  
 Saturday, May 11, 2019  
 Blue & Gold Boardshop  
 3:00 PM - 5:00 PM

NAME	EMAIL	WHAT NEIGHBORHOOD DO YOU LIVE IN?	HOW DID YOU HEAR ABOUT THE OPEN HOUSE?
Rory Hauser	Rory@EMHPOLEADING.COM	Brain Park	IG
Uriah Martinez @ Wilsonrich	uriah.martinez310@hotmail.com	Biglake	BAG
Victor Hess	Victorjhess@gmail.com	Valley	B+G
Michael Estrella	Michaelan54@protonmail.com	Valley	<del>BA</del>
Caedon Larson	caedon.larson@comcast.net	Green Brook	Blue + Gold!!
John Resenberg	JohnResenberg@AOL.com	Girdwood	B+G
Casey Concell	Casey.Concell@gmail.com	Eagle River	B+G
Sydney/Maxim	isap@ex.net	Golden View	Blue/Gold
Doug Molyneux	dmolyneux@gei.net	Campbell Glenn	e-mail
Sarah Hulse	LATHAM AND KHAL@YKHO.COM	Campbell Creek	FACEBOOK

Taku Lake Park: South Gateway Improvements  
**SKATEPARK DESIGN WORKSHOP**

WORKSHOP #3  
 Saturday, May 11, 2019  
 Blue & Gold Boardshop  
 3:00 PM - 5:00 PM

NAME	EMAIL	WHAT NEIGHBORHOOD DO YOU LIVE IN?	HOW DID YOU HEAR ABOUT THE OPEN HOUSE?
Crysta Srendson	crystajeanne@hotmail.com	Dimond / Cranberry	Facebook
Samantha Stevenson	JMS7EVENSON@GCI.NET	Spand Lake	Just happened in!
Bryan Beachem	Paul.Beachem@gmail.com	Huffman	Insta
Cameron Jimme	Cameron.jimme@gmail.com	Valley at the Moon	Social media
BRENDA CRAIG	Brendacraig3@gmail.com	Dimond	Insta
Rodney Glenn	midnightrider92@gmail.com	Huffman	Social media

# TAKU LAKE PARK

## SOUTH GATEWAY IMPROVEMENTS 2020

MUNICIPALITY OF ANCHORAGE PARKS AND RECREATION

Anchorage Parks & Recreation is designing improvements for Taku Lake Park, guided by the 2018 approved master plan. Improvements are scheduled for construction in 2020 and focus on the South Gateway Area.

Proposed improvements include stakepark upgrades lead by Grindline Skateparks Inc., a new inclusive playground, picnic areas, circulation improvements, safety upgrades and lighting, as well as new amenities.

**But we need your help with the design! Join us at the hands on workshop.**

### South Gateway Design Workshop

Saturday  
July 13, 2019  
(1-3PM)

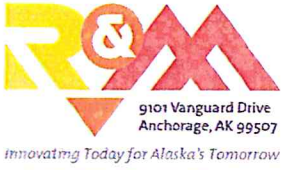
Spénard Recreation Center  
2020 W 48th Ave  
Anchorage, AK

For more information, visit the project page:  
<http://bit.ly/TakuLakeParkSouthGateway>

Taylor Keegan, Project Manager  
MOA Parks & Recreation  
keeganth@muni.org | 343-4518



Van Le, AICP, Project Planner  
R&M Consultants, Inc.  
vle@rmconsult.com | 646-9659



**TAKU LAKE PARK  
SOUTH GATEWAY  
IMPROVEMENTS**

**DESIGN  
WORKSHOP  
July 13, 2019**

<http://bit.ly/TakuLakeParkSouthGateway>

First-Class Mail  
Presorted  
US POSTAGE  
PAID  
Anchorage AK  
Permit #845

Address

# Taku Lake Park South Gateway Design



## South Gateway Design Workshop

Saturday July 13, 2019

1:00 PM – 3:00 PM

Spenard Recreation Center

2020 W 48<sup>th</sup> Ave Anchorage, AK

### Staff in Attendance:

Taylor Keegan	Project Manager	MOA Parks & Recreation
Van Le, AICP	Planner/Public Involvement	R&M Consultants, Inc.
Taryn Oleson, AICP	Planner/Public Involvement	R&M Consultants, Inc.
Mark Kimerer, ASLA	Landscape Architect	Bettisworth North
Eric Jones	Landscape Architect	Bettisworth North
Micah Shapiro	Chief Executive Officer	Grindline Skateparks Inc.

**Meeting Attendance:** 13 attendees signed in

**Meeting Materials:** PowerPoint Presentation  
Comment Forms, Playground Survey Forms  
Display boards, maps and concept renderings

**Meeting Goal:** To present the concept (35% level of design) and gather feedback on multiple project design elements including the skatepark, playground equipment, picnic and lawn area, and the incorporation of public art.

### Meeting Summary

---

The community workshop began at the advertised time of 1:00 PM. As attendees arrived, they signed in and were given an overview of the meeting agenda and objectives by Taryn. The meeting was workshop style with a formal presentation at the beginning of the event followed by an informal breakout session with stations to collect input on different park amenities or activity areas. At 1:15 pm, Van and Mark gathered attendees to the seating area for a brief presentation on what we have heard so far, an overview of available funding sources, where the design of the south gateway has progressed to, and what we are requesting guidance from the public on (see attached PowerPoint Presentation). Micah provided an overview of the results of the previous skatepark design workshop and presented the skatepark concept, including key features that were incorporated based on feedback received.

# Taku Lake Park South Gateway Design

Following the presentation the group broke off into stations hosted by Mark, Eric, Taylor and Micah.

Micah staffed a station presenting details of the skatepark to facilitate discussion, answer questions and receive comments on how to improve the concept design. Taylor and Eric staffed a station focused on the future playground, asking attendees to provide input on the style of play structures they would like to see. Mark staffed a station on the other active areas of the park, including the picnic and lawn areas, fitness station, and encouraged discussion on the incorporation of public art, placemaking, and overall design of the South Gateway.

After about 30 minutes of breakout, attendees gathered back as a large group to hear the project team report back what they heard at the stations. The following is a summary of the information collected at those stations:

## Skatepark:

- Make the wall from the sidewalk to the bowl deck skateable
- Increase the height of the china banks
- Make sure ledge is not cantilevered
- Add curbs to the north edge of the skatepark
- Make sure park is bike friendly
- Raise bowl extension so bards don't fly into bowl if people jump down stairs at west end of the skatepark
- Perimeter transitions could be improved
- Jason took a board and some comment forms back to Blue and Gold and will get additional feedback over the next week or so.

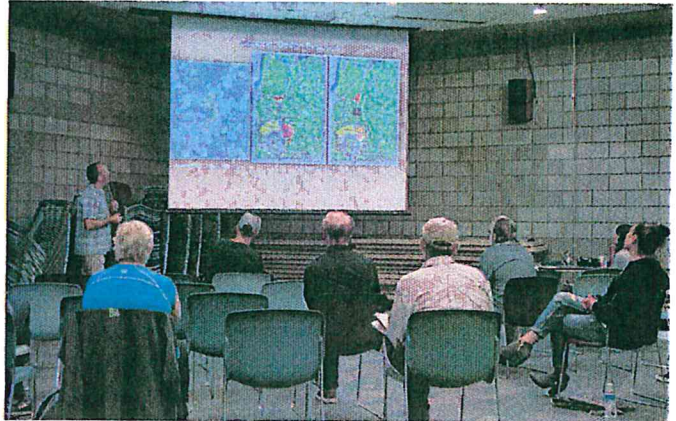


# Taku Lake Park South Gateway Design

- There was a request to have the skatepark be more bike friendly. While the skatepark is bike friendly and has features that bikes will enjoy, they will apply more to the BMX type bike and not provide the experience comparable to a pump track with dirt jumps and other bike skill features that support mountain bikes. That type of facility should be separate from the skatepark as the facility and user group needs are significantly different and could pose a conflict if shared within a close space.

## Overall Design, Fitness, Picnic, Placemaking and Art:

- The overall layout of the south gateway spaces is appropriate considering site analysis.
- Birch theme was supported.
- Consider adding a few bike features to the park...not a pump park but a few beginner skill building features.
  - Team Response: referring back to the master plan, mountain bike and skill building features were not identified as a preferred need of the Taku community, but is something that could be added in future phases of Taku Lake Park's development. Funding for this first South Gateway development will be allocated to activity areas identified in the master plan.
- If the skatepark expands, it will do so toward the southwest instead of the north. This will help mitigate increased user conflicts with the multi-use trail on the north side, provide the opportunity to incorporate more features into the skatepark, and to increase the curvature of the pathway leading from the parking lot to the Campbell Creek trail to prevent high speed traffic.
- Repurposing the tennis court for other uses, creating a multi-use court, was well liked.
- Add some tree groupings to the grill and picnic area and allow it to be used for badminton and other small scale activities.
- A fitness area that implements a challenge course approach seems more popular and could attract a wider user group.
- Consider putting money for art into the finish and character of the play, fitness and skate features instead of providing a standalone art piece, unless additional funding can be secured for a large installation.



# Taku Lake Park South Gateway Design

- Provide lighting at the skate and play areas for longer use during shoulder seasons.

## **Playground:**

- Whimsy v Simple survey leaned more toward the simple end of the spectrum (function focused)
- A nature inspired branding for the play equipment was preferred to a more themed branding.
- Overall responses were more positive to the idea of creating pockets of play for different play types. More separation between play spaces to allow for quieter areas.
- A barrier between the skatepark and the play spaces was desired to keep kids contained in the playground and minimize conflict with skatepark users.

Summary of the breakout sessions concluded and attendees took the opportunity to provide final comments and words of encouragement, support, and gratitude for the project moving forward to improve the highly valued Taku Lake Park. Van provided an overview of the next steps and schedule for the project. Comments received today will be considered and incorporated into the design as the project team prepares for 65% design and a public hearing before the Urban Design Commission. The 65% design will be shared with the public and other opportunities to comment will include at the Parks & Recreation Commission hearing and the Urban Design Commission Public hearing.

The meeting concluded at 3:10 PM.

Taku Lake Park: South Gateway Improvements  
**SOUTH GATEWAY DESIGN WORKSHOP**

WORKSHOP #4  
 Saturday, July 13, 2019  
 Spencard Recreation Center  
 1:00 PM - 3:00 PM

NAME	EMAIL	WHAT NEIGHBORHOOD DO YOU LIVE IN?	HOW DID YOU HEAR ABOUT THE OPEN HOUSE?
Sawn Hansen 907-229-2881 website	helga.horrible@gmail.com	Renaissance Village	park flyer flyer, & neighbors E-MAIL
FRANK FRIST	FRIST@AOL.NET	SAND LAKE	
LARSONS (3)	abc@rs.com@gmail.com	Hillside	3 lives gear
Nikoshane Santa Ana	nikosantaana@yahoo.com	Jewel Lake	Blue & Gold Boardshop
.Dennis Drinka	d.g@astq@gmail.com	Takya	
Jason Borgstede		Jewel lake	Blue & Gold
Chase Ruesch	chase_ruesch@gmail.com	Chugalek	FRINDLINE
Fam Schmitz	j.schmitz@araska.net	TAKU	
Evan Sharp	evansharp92@hotmail.com	Downstar	Grinline/Email

\*

Taku Lake Park: South Gateway Improvements  
**SOUTH GATEWAY DESIGN WORKSHOP**

WORKSHOP #4  
 Saturday, July 13, 2019  
 Spenard Recreation Center  
 1:00 PM - 3:00 PM

NAME	EMAIL	WHAT NEIGHBORHOOD DO YOU LIVE IN?	HOW DID YOU HEAR ABOUT THE OPEN HOUSE?
Jeff Ketrict's	jketrikt.51349@gmail.com	Kirk R.J.S	G.F.Had/ice
Doug Molyneux	dmolyneux@gci.net	Campbell Glen	e-mail from PAR MOA

## FIGURES

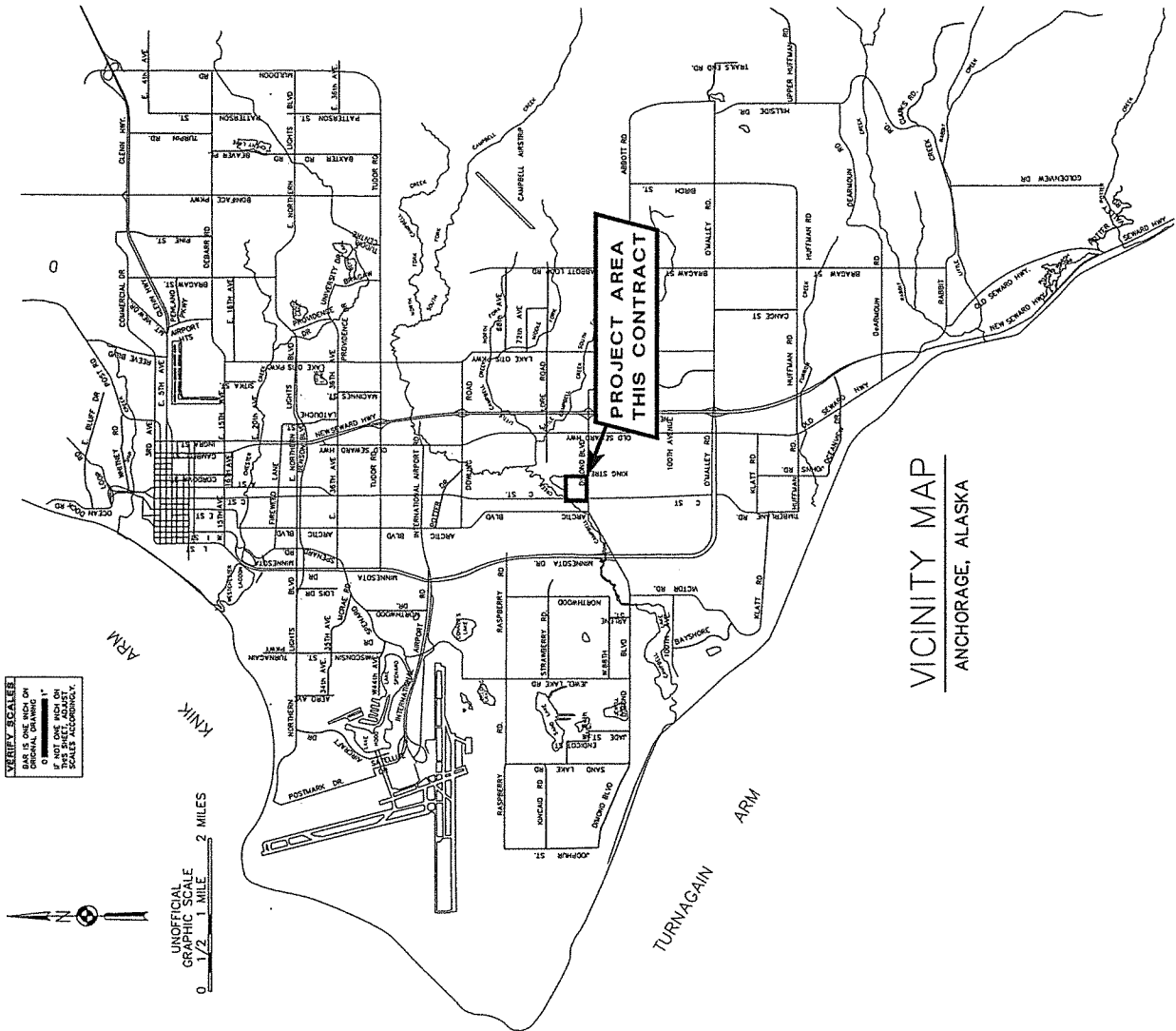


**MUNICIPALITY OF ANCHORAGE**  
**TAKU LAKE PARK**  
**SOUTH GATEWAY**  
**IMPROVEMENTS**

**REVIEW SET**  
**9/18/2019**

SHEET NO.	SUBJECT
G1	COVER SHEET & VICINITY MAP
G2	EXISTING SITE DEMOLITION PLAN
G3	PROPOSED SITE PLAN OVERLAP
C1	PROPOSED GRADING AND DRAINAGE PLAN
L1	LANDSCAPE SCHEDULE AND KEY PLAN
L2	LANDSCAPE STUDY
L3	LANDSCAPE PLAN
L4	LANDSCAPE ENLARGEMENT - FURNITURE
L5	LANDSCAPE ENLARGEMENT - PLANTINGS
L6	LANDSCAPE SCHEDULE - PLANTINGS
L7	LANDSCAPE DETAILS
L8	LANDSCAPE DETAILS
L9	LANDSCAPE DETAILS
S1.1	SKATEPARK SITE PLAN
S1.2	SKATEPARK DETAILS
S1.3	SKATEPARK COPING MATERIALS
S1.4	SKATEPARK CONCRETE MATERIALS
S1.5	SKATEPARK DETAILS
S1.6	SKATEPARK DETAILS
E1	ELECTRICAL LEGEND
E2	ELECTRICAL DEMOLITION PLAN
E3	ELECTRICAL REMODEL PLAN

**UDC SUBMITTAL**  
**OCT. 2019**  
**SHEETS ARE**  
**11x17 HALF SIZE**



**VERIFY SCALES:**  
 BAR IS ONE INCH ON ORIGINAL DRAWING  
 IF NOT ONE INCH ON SCALE, FOLLOW BAR

**UNOFFICIAL GRAPHIC SCALE**  
 0 1/2 1 MILE 2 MILES

**CIVIL & SURVEY**

**R&M CONSULTANTS, INC.**  
 910 W. 12TH AVENUE, SUITE 1000  
 ANCHORAGE, ALASKA 99507  
 (907) 562-1300 • (907) 562-1303  
 rmcmail.com • rma@rmcconsult.com

**LANDSCAPING**

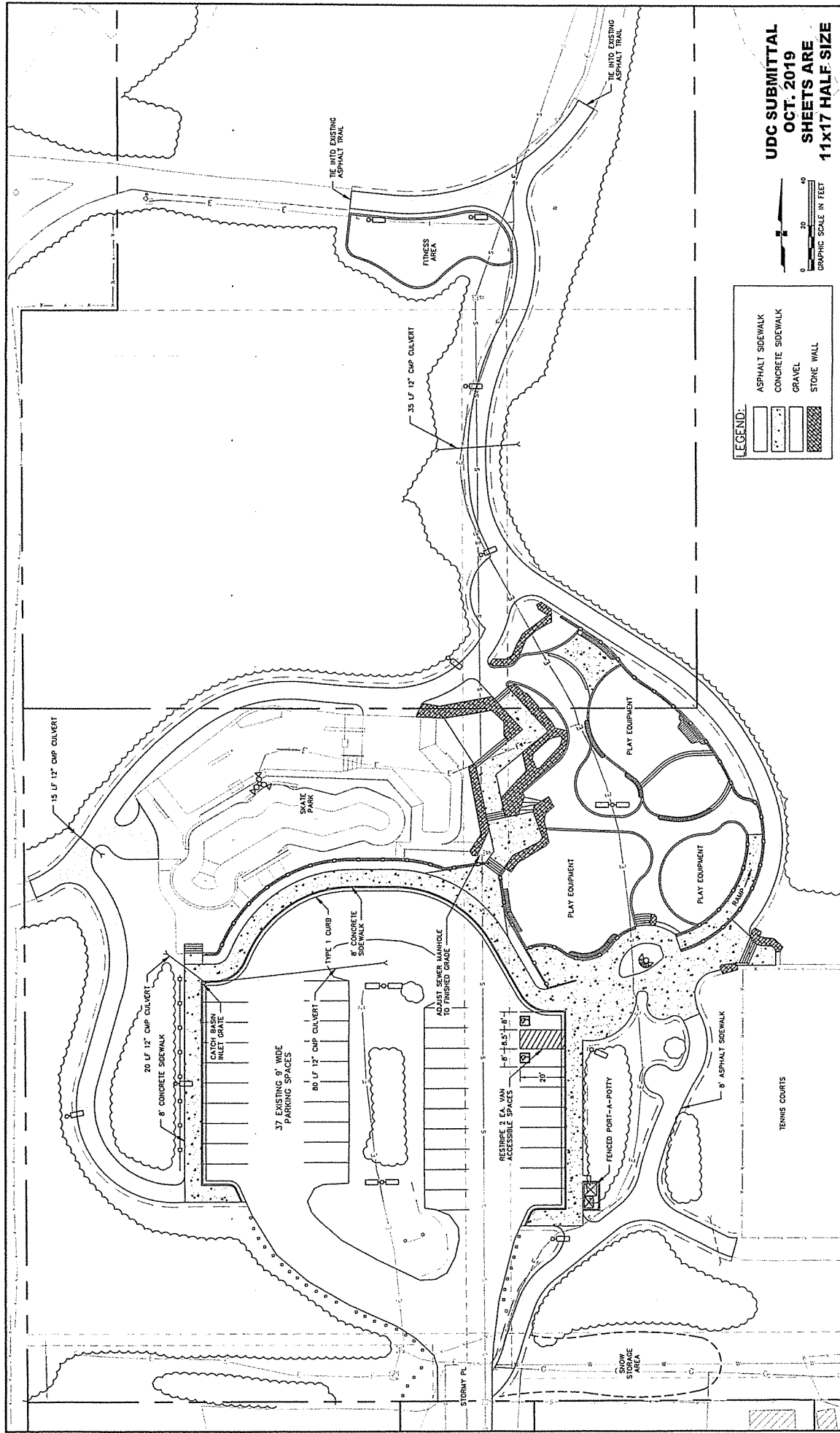
**BETTISWORTH NORTH**  
 ARCHITECTS AND PLANNERS  
 3500 DEWAL STREET SUITE 710  
 ANCHORAGE, ALASKA 99503  
 (907) 481-8280

**ELECTRICAL**

**RISA Engineering, Inc.**  
 MECHANICAL AND ELECTRICAL CONSULTING ENGINEERS  
 4034 W. 12TH AVENUE, SUITE 1000  
 ANCHORAGE, ALASKA 99503  
 (907) 562-1301  
 (907) 562-1301



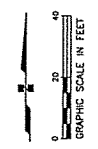




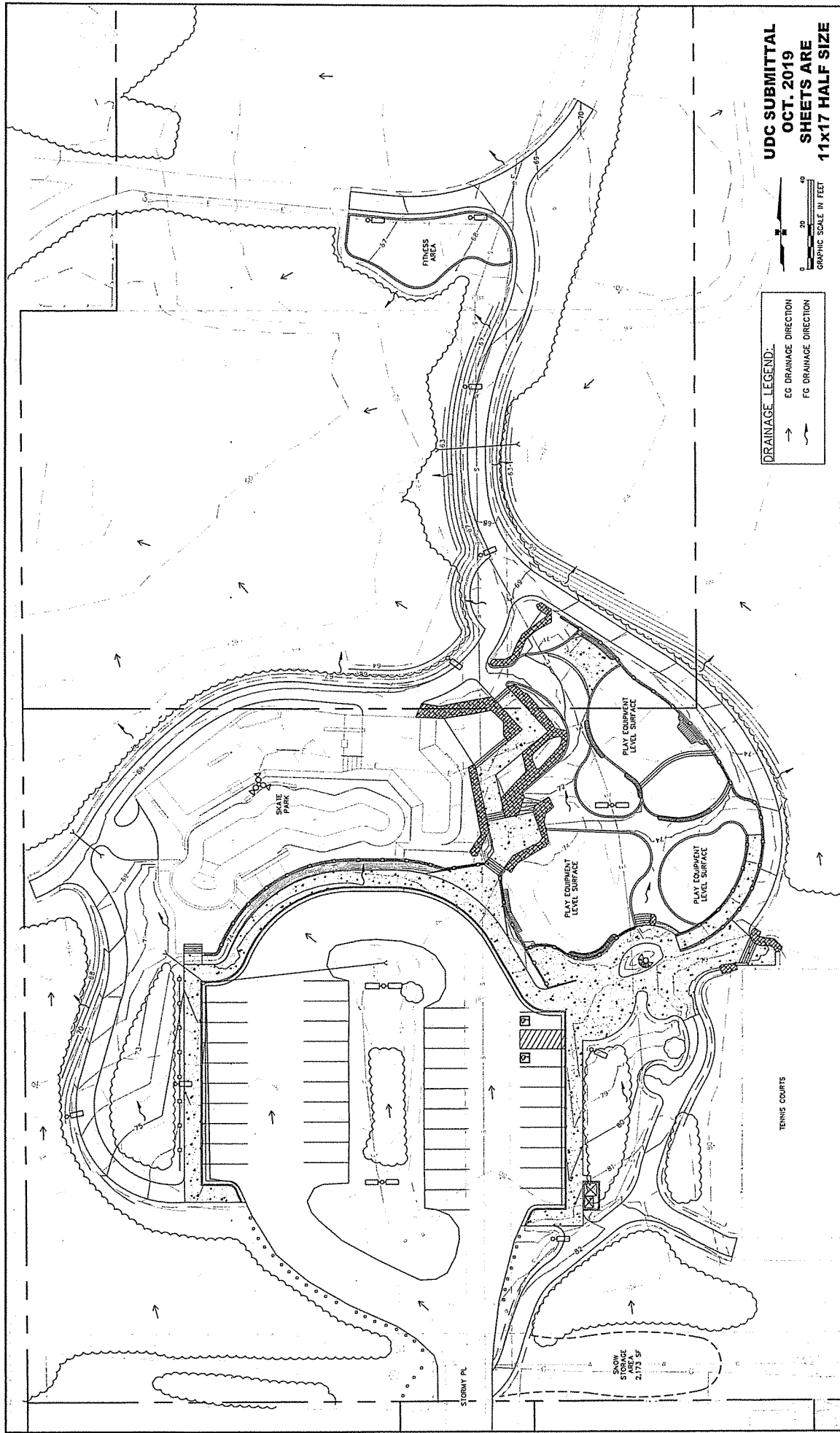
**LEGEND:**

- ASPHALT SIDEWALK
- CONCRETE SIDEWALK
- GRAVEL
- STONE WALL

**UDC SUBMITTAL  
OCT. 2019  
SHEETS ARE  
11x17 HALF SIZE**



		PARKS AND RECREATION DEPARTMENT TAKU LAKE PARK SOUTH GATEWAY IMPROVEMENTS PROPOSED SITE PLAN					
DATE: 9/18/2019 ACCT. NO.: 2019092238		SHEET: C2 OF C3					
		CONSULTANT:					
NOT FOR CONSTRUCTION		SEAL:					
9103 Vanguard Drive Anchorage, Alaska 99507 Phone: 907.563.3777 Fax: 907.563.4445		CONSULTANT:					
FIELD BOOKS	REV. NO.	LOCATION	ELEV. DATA	DATE	BY	DESCRIPTION	
SECTIONAL SHEET, Pages 2-5 (CLAB 1)		MOA 1908 Recreation, Book 2-11	BASE	12/11			
DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	
CONTRACTOR	DATE	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	
CONSTRUCTION RECORD		VERTICAL DATA		PLAN CHECK		REVISIONS	



**UDC SUBMITTAL**  
**OCT. 2019**  
**SHEETS ARE**  
**11x17 HALF SIZE**

**DRAINAGE LEGEND:**  
 —→ EG DRAINAGE DIRECTION  
 - - - - - FG DRAINAGE DIRECTION

				PARKS AND RECREATION DEPARTMENT TAKU LAKE PARK SOUTH GATEWAY IMPROVEMENTS PROPOSED GRADING & DRAINAGE PLAN SCALE: 1"=20' DATE: 9/18/2019 (9/18/2019) SHEET: C3 of C3	
NOT FOR CONSTRUCTION		CONSULTANT		SEAL	
FIELD BOOKS SECTION BOOK, SER. PAGES 2-34 (TAB 1)	LOCATION MOA 1818 BRANHAMER BUSH, 0-11	ELEV. BASE 1258.97	DATA BASE TOPOGRAPHY	DATE 12/18/17	REV. DATE 12/18/17
CONTRACTOR G.A. ASSOCIATES, INC.	BASIS OF THIS DATUM 1972 N.C.S. ADJUSTED DATUM	DATA TELEPHONE ELECTRIC SANITARY SEWER STORAGE TANKS WATER	DATA ELEVATION ELECTRIC SANITARY SEWER STORAGE TANKS WATER	DATA TELEPHONE ELECTRIC SANITARY SEWER STORAGE TANKS WATER	DATA TELEPHONE ELECTRIC SANITARY SEWER STORAGE TANKS WATER
CONSTRUCTION RECORD		PLAN CHECK		REVISIONS	

**PLANT SCHEDULE**

**DECIDUOUS TREE PLANTING**

DECIDUOUS TREE	SYMBOL	ABB. LATIN NAME	COMMON NAME	SIZE	FURNISHING NOTES
14	BP	BETULA PAPPYRIFERA	PAPER BIRCH	2" CAL.	SINGLE STEM
6	BPM	BETULA PAPPYRIFERA	MULTI-STEM PAPER BIRCH	1" CAL.	MULTI-STEM EACH STEM TO BE 1" CAL. MIN.

**SHRUB PLANTING**

SHRUBS	SYMBOL	ABB. LATIN NAME	COMMON NAME	SIZE	FURNISHING NOTES
20	RR	ROSA ROGOSA FOX	FOUR PAVEMENT ROSE	#2	POTTED 18" HT. MIN.
17	SJ	SPIRAEA JAPONICA	ANTHONY WATERER SPIRAEA	#2	POTTED 18" HT. MIN.
28	VT	VIBURNUM TRICOLOR	AMERICAN CRANBERRY	#3	POTTED 18" HT. MIN.

**PERENNIAL PLANTING**

PERENNIALS & GRASSES	SYMBOL	ABB. LATIN NAME	COMMON NAME	SIZE	FURNISHING NOTES
26	CA	CALAMAGROSTIS X	WYLANCHE FEATHER REED GRASS	#3	POTTED N/A
123	CC	CORNUS CANADENSIS	BUNCHBERRY	#2	POTTED N/A
40	DC	DESCHAMPSIA CESPIITOSA	TUFTED HAIRGRASS	#3	POTTED N/A
200	DCP	DESCHAMPSIA CESPIITOSA DWARF TUFTED PINE FOUNTAIN HAIRGRASS		#2	POTTED N/A

**MISCELLANEOUS**

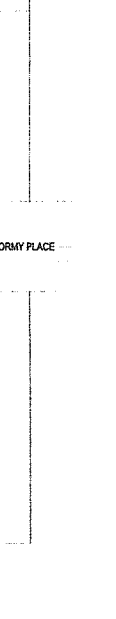
SYMBOL	DESCRIPTION	NOTES	MISCELLANEOUS	DESCRIPTION	NOTES
4	PARK BENCH	SEE 21.10	EXISTING DECIDUOUS TREE		
3	ADA TABLE	SEE 5X.10	EXISTING EVERGREEN TREE		
3	TABLE	SEE 4L.10	STONE WALL		SEE 6L.8
5	TRASH RECEPTACLE	SEE 3L.10	BOULDER IN WALL		SEE 6L.7
9	BIKE RACK	SEE 1L.10	BOULDER IN PAVEMENT		SEE 6L.7
	LANDSCAPE EDGING	ALUMINUM	BOULDER IN LANDSCAPE		SEE 6L.7
	4" TOPSOIL AND SCHEDULE B SEED MIX	TO LIMITS OF DISTURBANCE			
	4" TOPSOIL AND SCHEDULE A SEED MIX	TO LIMITS OF DISTURBANCE			

**GENERAL LANDSCAPE NOTES:**

- ALL PLANTS SHALL BE NURSERY GROWN UNLESS OTHERWISE SPECIFIED.
- ALL PLANTING BEDS SHALL RECEIVE 18" DEPTH TOPSOIL AND 3" DEPTH SHREDED BARK MULCH.
- ALL DISTURBED AREAS NOT WITHIN PLANTING BEDS SHALL RECEIVE 4" MINIMUM TOPSOIL AND SEED PER SCHEDULE AS NOTED ON PLANS.
- ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE LANDSCAPE PLANTING DETAILS.
- BOULDER SHALL BE PLACED AS NOTED ON PLANS UNLESS OTHERWISE SPECIFIED.
- ALL DECIDUOUS TREES SHALL RECEIVE MOOSE PROTECTION FENCING PER DETAIL 10.A.
- EXISTING VEGETATION TO BE SAVED AND PROTECTED SHALL RECEIVE PROTECTION FENCING PER DETAIL 21.A.

**LANDSCAPE ABBREVIATIONS**

ABBREVIATION	DESCRIPTION
ADA	AMERICANS WITH DISABILITIES ACT
BIB	BALLED AND BURLAP
C	CENTERLINE
D	DIAMETER
DIA.	DIAMETER
O.C.	ON CENTER
SF	SQUARE FEET
T.B.D.	TO BE DETERMINED
TYP.	TYPICAL



**UDC SUBMITTAL**  
**OCT. 2019**  
**SHEETS ARE**  
**11x17 HALF SIZE**

PARKS AND RECREATION DEPARTMENT  
TAKU LAKE PARK SOUTH GATEWAY IMPROVEMENTS  
LANDSCAPE SCHEDULE AND KEY PLAN

DATE: 9/18/2019  
SCALE: 1" = 40'  
SHEET NO. 11

FIELD BOOKS	BY	REV.	DATE	DESCRIPTION
DESIGN BOOK 308, Pages 2-11	BY	1		ISSUE FOR CONSTRUCTION

REVISIONS	NO.	DATE	DESCRIPTION

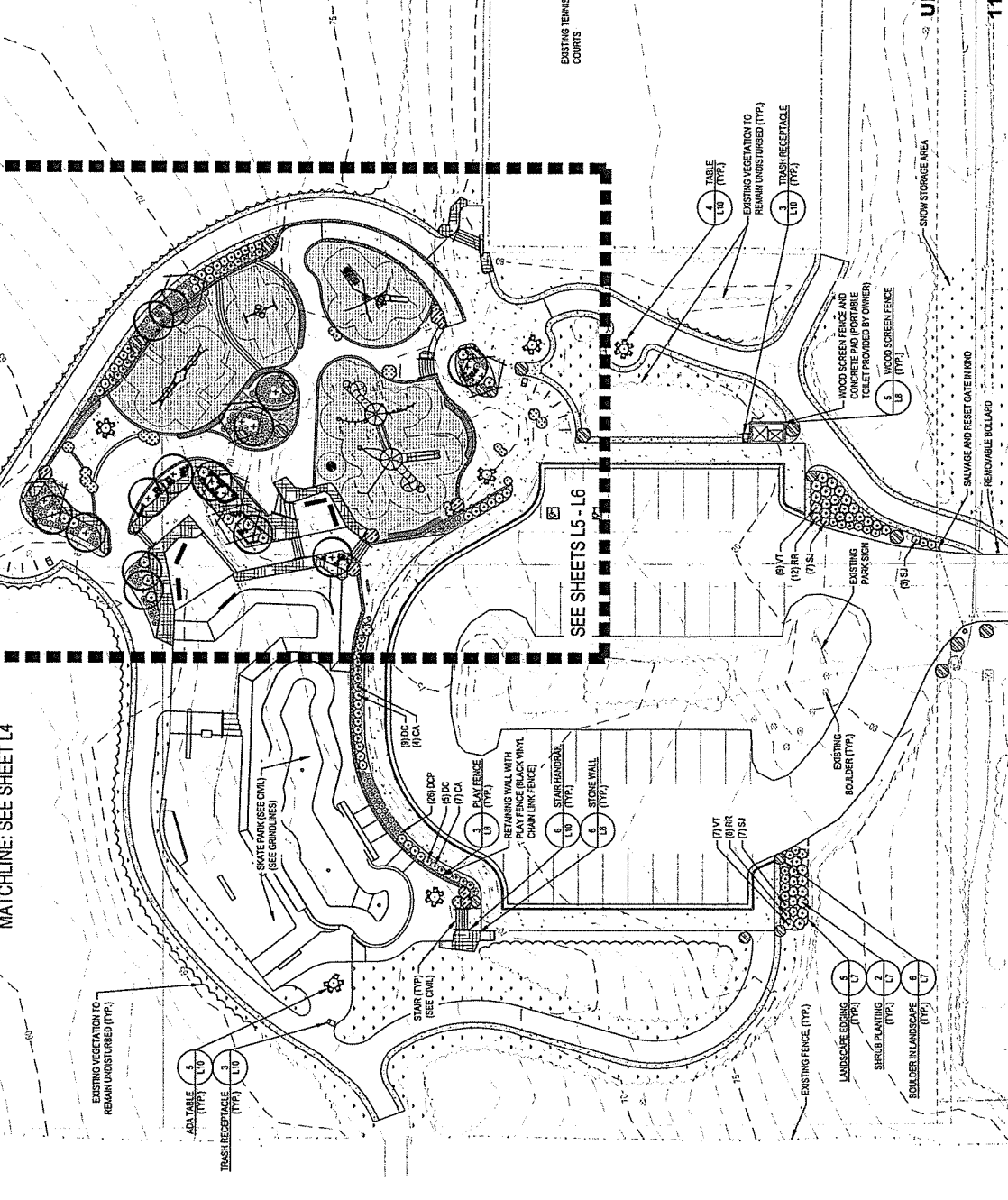
  

FIELD BOOKS	BY	REV.	DATE	DESCRIPTION
DESIGN BOOK 308, Pages 2-11	BY	1		ISSUE FOR CONSTRUCTION



MATCHLINE: SEE SHEET L4

PLANT LEGEND	
<b>DECIDUOUS TREE PLANTING</b>	
SYMBOL	COMMON NAME
BP	BETULA PAPERIFERA
BPM	BETULA PAPERIFERA
<b>SHRUB PLANTING</b>	
SYMBOL	COMMON NAME
RR	ROSA RUGOSA TOXI
SJ	SPIRAEA JAPONICA
VT	VIBURNUM TRILOBUM
<b>PERENNIALS &amp; GRASSES</b>	
SYMBOL	COMMON NAME
CA	CORNUS CALOGENIS
DC	DESCHAMPSIA CESPIITOSA
DOP	DIANTHUS BARBATA
<b>MISCELLANEOUS</b>	
SYMBOL	DESCRIPTION
(P)	PARK BENCH
(T)	TABLE
(R)	TRASH RECEPTACLE
(B)	BIKE RACK
(L)	LANDSCAPE EDGING
(S)	SEED MIX
(A)	4" TOPSOIL AND SCHEDULE B
(B)	6" TOPSOIL AND SCHEDULE A
(W)	STONE WALL
(P)	BOULDER IN WALL
(V)	BOULDER IN PAVEMENT
(L)	BOULDER IN LANDSCAPE



**UDC SUBMITTAL**  
**OCT. 2019**  
**SHEETS ARE**  
**11x17 HALF SIZE**

PARKS AND RECREATION  
 DEPARTMENT  
 TAKU LAKE PARK SOUTH GATEWAY IMPROVEMENTS  
 LANDSCAPE PLAN

DATE: 9/18/2019  
 SHEET NO. SW2224  
 SCALE: AS SHOWN



NOT FOR CONSTRUCTION  
 92% PROGRESS



CONSULTANT  
 SEAL

NO.	DATE	BY	REV	DESCRIPTION

DATE	DESCRIPTION

DATE	DESCRIPTION

DATE	DESCRIPTION

DATE	DESCRIPTION

DATE	DESCRIPTION

**PLANT LEGEND**

**DECIDUOUS TREES**

SYMBOL	ABBREV. LATIN NAME	COMMON NAME
(1)	DECIDUOUS TREE PLANTING (TYP.)	COMMON NAME
BP	BETULA Papyrifera	PAPER BIRCH
BPM	BETULA Papyrifera	MULTI-STEM PAPER BIRCH

**SHRUBS**

SYMBOL	ABBREV. LATIN NAME	COMMON NAME
(2)	SHRUB PLANTING (TYP.)	COMMON NAME
RR	ROSA Rugosa FOX	FOX PAVEMENT ROSE
SJ	SPIRAEA Japonica	ANTHONY WATERER SPIRAEA
VT	VIBURNUM TROBIDUM	AMERICAN CRANBERRY

**PERENNIALS & GRASSES**

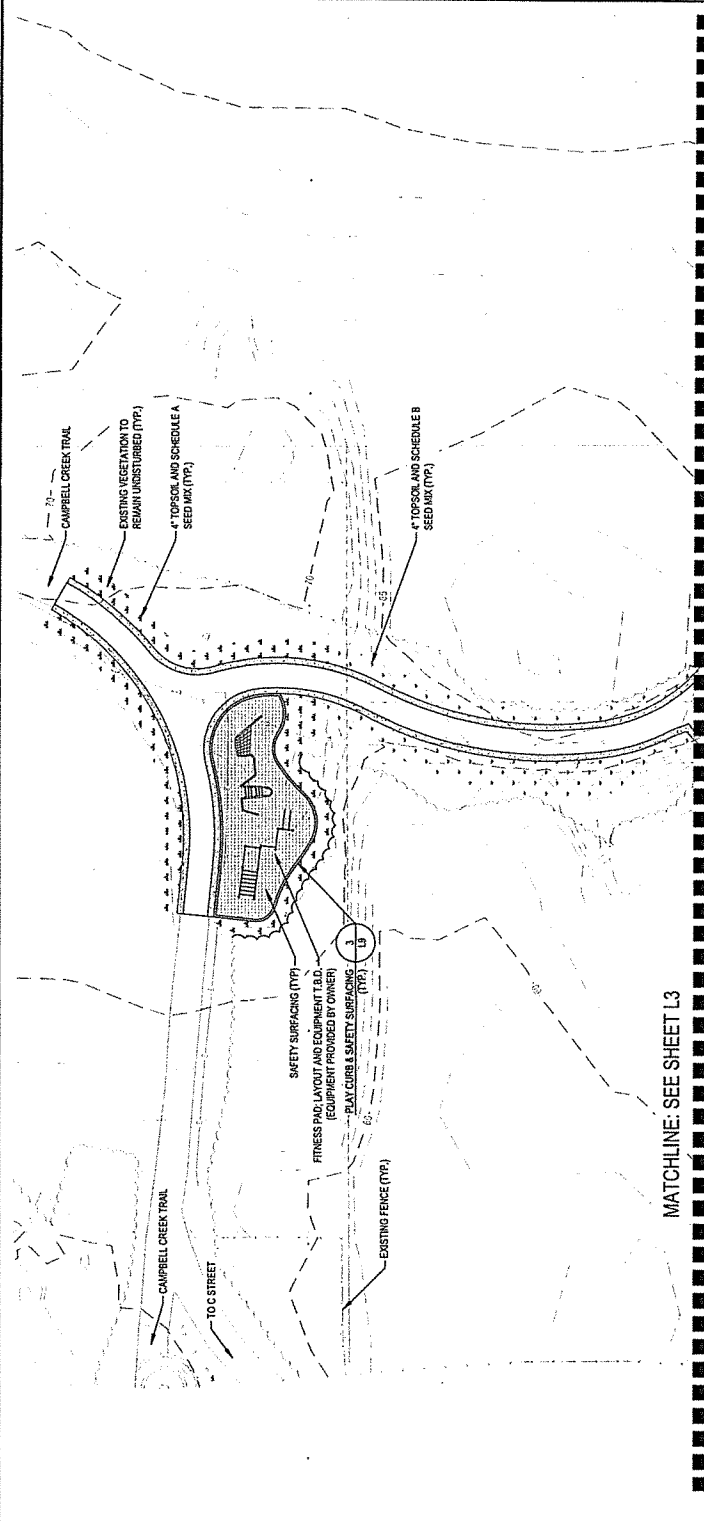
SYMBOL	ABBREV. LATIN NAME	COMMON NAME
(3)	PERENNIAL PLANTING (TYP.)	COMMON NAME
CA	CALAMAGROSTIS X	AVONCREEFEATHER
CC	CORNUS CANADENSIS	RED DOGSBERRY
DC	DESCHAMPSIA CESPIITOSA	BUNCHBERRY
DCP	DESCHAMPSIA CESPIITOSA	TUFTED HAIRGRASS
PCF	PRASE FOUNTAIN	DWARF TUFTED HAIRGRASS

**MISCELLANEOUS**

SYMBOL	DESCRIPTION	NOTES
(P)	PARK BENCH	SEE 2A.10
(T)	ADA TABLE	SEE 5A.10
(TR)	TRASH RECEPTACLE	SEE 4A.10
(BR)	BIKE RACK	SEE 3A.10
(L)	LANDSCAPE EDGING	SEE 1A.10
(S)	4" TOPSOIL AND SCHEDULE B SEED MIX (TYP.)	LANDSCAPE EDGING ALUMINUM SEE 5A.7 TO LIMITS OF DISTURBANCE (TYP.)
(S)	4" TOPSOIL AND SCHEDULE A SEED MIX (TYP.)	TO LIMITS OF DISTURBANCE (TYP.)
(SW)	STONE WALL	SEE 6A.8
(BW)	BOULDER IN WALL	SEE 6A.7
(BP)	BOULDER IN PAVEMENT	SEE 7A.7
(BL)	BOULDER IN LANDSCAPE	SEE 6A.7

**NOTES:**

- SEE SHEET L1 FOR PLANTING SCHEDULE, LEGEND, & GENERAL LANDSCAPE NOTES.



FIELD BOOKS	BN. NO.	LOCATION	ELEV. BASE	DATA		REV. DATE	DESCRIPTION	BY
				DATE	DATE			
RESURFACE ROAD	3159	SPRUE 1-14	CAAD 11	258.87				
PAVING								
UTILITY								
LANDSCAPE								
CONSTRUCTION								
CONSTRUCTION RECORD								

**UDC SUBMITTAL**  
**OCT. 2019**  
**SHEETS ARE**  
**11x17 HALF SIZE**

PARKS AND RECREATION DEPARTMENT  
TAKU LAKE PARK SOUTH GATEWAY IMPROVEMENTS  
LANDSCAPE PLAN

DATE 8/18/2018 (PROV2) 30  
SCALE 5/8"=1'-0"  
ACCT. NO. 592230

SHEET 11 OF 11

95% PROGRESS FOR CONSTRUCTION

BETTISWORTH CONSULTANT

SEAL

MATCHLINE: SEE SHEET L3

SCALE OF FEET

VERTICAL DATUM











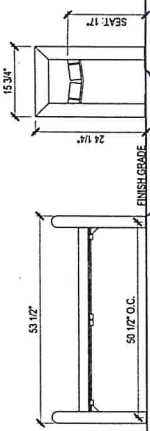
MANUFACTURER: DERO BIKE RACK COMPANY  
 MODEL: ABC RACK  
 COLOR: STAINLESS STEEL



NOTE: SURFACE MOUNT. INSTALL PER MANUFACTURERS SPECIFICATIONS.

1  
L10  
NTS  
BIKE RACK

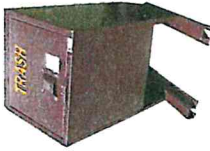
MANUFACTURER: VICTOR STANLEY  
 MODEL: PARSONS SERIES  
 COLOR: TAVERN SQUARE GREEN



NOTE: INSTALL PER MANUFACTURERS SPECIFICATIONS

2  
L10  
NTS  
PARK BENCH

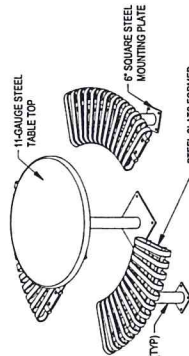
MANUFACTURER: BEAR SAVER  
 MODEL: HD-4-BAG SINGLE TRASH ENCLOSURE - HD-4P  
 COLOR: OLIVE GREEN



NOTE: INSTALL PER MANUFACTURERS SPECIFICATIONS

3  
L10  
NTS  
TRASH RECEPTACLE

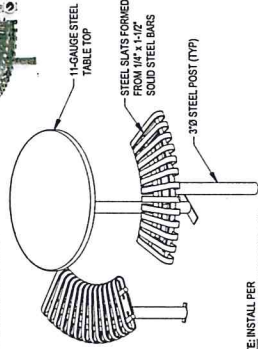
MANUFACTURER: VICTOR STANLEY  
 MODEL: RND-333  
 COLOR: TAVERN SQUARE GREEN



NOTE: INSTALL PER MANUFACTURERS SPECIFICATIONS

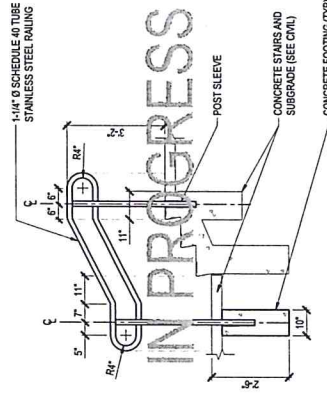
4  
L10  
NTS  
TABLE

MANUFACTURER: VICTOR STANLEY  
 MODEL: RND-333  
 COLOR: TAVERN SQUARE GREEN



NOTE: INSTALL PER MANUFACTURERS SPECIFICATIONS

5  
L10  
NTS  
ADA TABLE



6  
L10  
NTS  
STAIR HANDRAIL

UDC SUBMITTAL  
 OCT. 2019  
 SHEETS ARE  
 11x17 HALF SIZE

PARKS AND RECREATION  
 DEPARTMENT  
 TAKU LAKE PARK SOUTH GATEWAY IMPROVEMENTS  
 LANDSCAPE DETAILS



DATE 9/18/2019 (RND-333) SHEET L10 OF L11  
 SCALE: SW22.50

NOT FOR CONSTRUCTION  
 90% PROGRESS

BETTSMORTH CONSULTANT

FIELD BOOKS	REV. NO.	LOCATION	ELEV.	DATA	DATE	BY	REVI. DATE	DESCRIPTION
SECTIONAL BOOK 3884, Pages 3-32	11	MOA 1988 Benchmark Book, 0-11	Z&B.T. BASE	TOPOGRAPHY				
STAKING				RAIL				
ADJUST				ROAD				
CONTRACTOR				STORM SEWER				
CONSTRUCTION RECORD				WATER				
				MIN. FINAL D.C.				
				PLAN CHECK				
				VERTICAL DATUM				















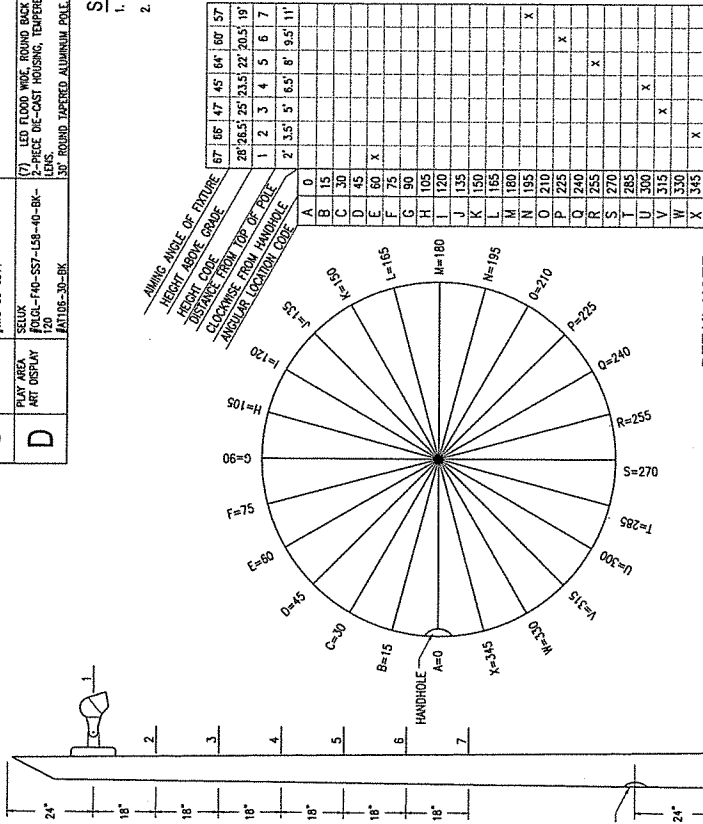
**CALL BEFORE YOU DIG**  
 THE CONTRACTOR SHALL NOTIFY ALL AREA UTILITY COMPANIES  
 OF A PARTIAL LIST OF THE FOLLOWING:  
 LOCAL CALL CENTER OF ALASKA 278-3121  
 (INCLUDES AAS, ANVA, CEA, DGC, BUTLER WASHON, TESSAL,  
 CO, W.P., TRAFFIC SIGNALS, WIA STORM/STREETS)  
 STATE STORM/STREET LIGHTS 333-2411  
 MILITARY PETROLEUM LINES 862-4112

**LUMINAIRE SCHEDULE**

TYPE	LOCATION	MANUFACTURER AND CATALOG NUMBER (OR APPROVED EQUAL)	LUMINAIRE DESCRIPTION	MOUNTING		LAMPS	BALLAST/DRIVER	TOTAL INITIAL WATTS
				TYPE	HEIGHT			
A	PARKING LOT BACKGROUND AREA	LUMARK #AW-F-02-D-UNV-SW0 #RIS-30-6511	LED FIXTURE WITH TYPE V MEDIUM DISTRIBUTION AND 2 LED SOURCES. 30" ROUND TAPERED STEEL POLE.	POLE Ø 180"	30'	LED 26.5AQUA 4000K	120-277V DRIVER	728
A1	PARKING LOT	LUMARK #AW-F-02-D-UNV-T3 #RIS-30-6511	SAME AS TYPE 'A' EXCEPT TYPE II DISTRIBUTION.	POLE	30'	LED 12.46SL4 4000K	120-277V DRIVER	113
B	PATHWAY AND FITNESS PAD	LUMARK #AW-F-01-D-UNV-SW0 #RIS-15-5211	LED FIXTURE WITH TYPE V MEDIUM DISTRIBUTION AND 1 LED SOURCE. 15" ROUND TAPERED STEEL POLE.	POLE	15'	LED 6.117LM 4000K	120-277V DRIVER	59
B1	PATHWAY	LUMARK #AW-F-01-D-UNV-T2 #RIS-15-5211	SAME AS TYPE 'B' EXCEPT TYPE II DISTRIBUTION.	POLE	15'	LED 6.117LM 4000K	120-277V DRIVER	59
C	SKATE PARK	EPHESUS #E-750-S-N-40 #RIS-30-6511	LED FLOODLIGHT WITH WEATHER-TIGHT DESIGN. 30" ROUND TAPERED STEEL POLE.	POLE	30'	LED 4.827LM 4000K	ELECTRONICS -40FT DRIVER	48 PER HEAD
D	PLAY AREA ART DISPLAY	SELUX #POLG-F40-SST-L58-40-BK-12 #AT189-30-BK	(7) LED FLOOD WIRE DRIVING BACK FIXTURE -12-PIECE DIE-CAST HOUSING, TEMPERED CLEAR GLASS LENS. 30" ROUND TAPERED ALUMINUM POLE.	POLE 1 1/2" Ø & PLANS	SEE PLANS	LED 4.827LM 4000K	ELECTRONICS -40FT DRIVER	48 PER HEAD

**SHEET NOTE:**

1. PROVIDE LUMINAIRE MOUNTING AS SHOWN ON 1/2".
2. PROVIDE NEW POLES WHERE INDICATED ON PLANS.



**DETAIL NOTE:**

1. DIAGRAM IS BASED ON HANDHOLE FACING DUE WEST.

**1. FIXTURE 'D' MOUNTING/AIMING DETAIL**

NTS

**GENERAL NOTES:**

- THE INFORMATION SHOWN ON THIS DRAWING IS TAKEN FROM CIVIL SURVEY DRAWINGS AND A NON-DESTRUCTIVE WALK THROUGH OF THE PARK. THERE IS NO ASSURANCE OR GUARANTEE AS TO THE ACCURACY OF THE SURVEY. ITEMS SCHEDULED FOR DEMOLITION PRIOR TO START OF WORK.
- THE OWNER SHALL HAVE FIRST RIGHT OF REFUSAL ON ALL SALVAGEABLE MATERIALS. THE CONTRACTOR SHALL DELIVER SALVAGED MATERIALS TO A RECYCLING CENTER BY THE OWNER IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- DASHED OR DOTTED LINES INDICATE ITEMS TO BE REBUSHED. SOLID LINES INDICATE EXISTING ITEMS TO REMAIN.
- PROVIDE GRAB CONDUIT UNDER TRAFFIC AREAS AND FROM LOAD CENTER TO FIRST JUNCTION BOX ADJACENT TO THE LOAD CENTER AND FROM EACH JUNCTION BOX TO THE ADJACENT LIGHT POLE. AT CONTRACTOR'S OPTION, SCHEDULED 40 PVC TYPE CONDUIT MAY BE USED IN NON-TRAFFIC AREAS BETWEEN JUNCTION BOXES. PROVIDE PVC TO GRAB ADAPTOR AS REQUIRED. SEE MASS DETAIL #80-30.
- ALL WORK SHALL CONFORM TO THE 2015 MUNICIPALITY OF ANCHORAGE STANDARD SPECIFICATIONS (MSS).
- PREPARE GENERAL LUMINAIRE POLE BASES, JUNCTION BOXES AND TRENCH WORK PER MASS DETAILS 80-1, 80-13, 80-31.

**LEGEND**

OX	POLE MOUNTED FLOODLIGHT - OUTDOORS, WEATHERPROOF
○	POLE MOUNTED AREA LIGHT - OUTDOORS, WEATHERPROOF
△	FIXTURE TAG (LETTER INDICATES TYPE)
—	CONDUIT, CONCEALED
M-2	HOMERUN TO PANEL (PANEL AND CIRCUIT NO.)
ES	EXISTING SERVICE ENTRANCE/LOAD CENTER
□	TYPE 1A JUNCTION BOX
△	NOTE TAG (NO. INDICATES NOTE)
AFG	ASIDE FINISHED GRADE
C	CONDUIT
CO	CONDUIT ONLY
E	EXISTS EXISTING ITEM
GFD	GROUND FAULT CIRCUIT INTERRUPTER
GRSC	GALVANIZED RIGID STEEL CONDUIT
LED	LIGHT EMITTING DIODE
MCB	MARK CIRCUIT BREAKER
MLO	MARK LUGS ONLY
NEC	NATIONAL ELECTRICAL CODE
NIS	NOT TO SCALE
TYP	TYPICAL
UON	UNLESS OTHERWISE NOTED
WP	WEATHERPROOF

**UDC SUBMITTAL  
 OCT. 2019  
 SHEETS ARE  
 11x17 HALF SIZE**



PARKS AND RECREATION  
 DEPARTMENT  
 TANI PARK SOUTH GATEWAY  
 ELECTRICAL LEGEND

DATE 9/18/2019 09:52:23  
 SHEET E04 E2

SCALE:  
 ACCT. NO.

FOR PROGRESS  
 NOT FOR CONSTRUCTION

SEAL

RISA  
 Mechanical and  
 Electrical Consulting  
 Engineers  
 4000 W. ALASKA  
 ANCHORAGE, ALASKA 99503  
 CONSULTANT

REVISIONS	DATE	DESCRIPTION	BY

NO.	DATE	DESCRIPTION	BY

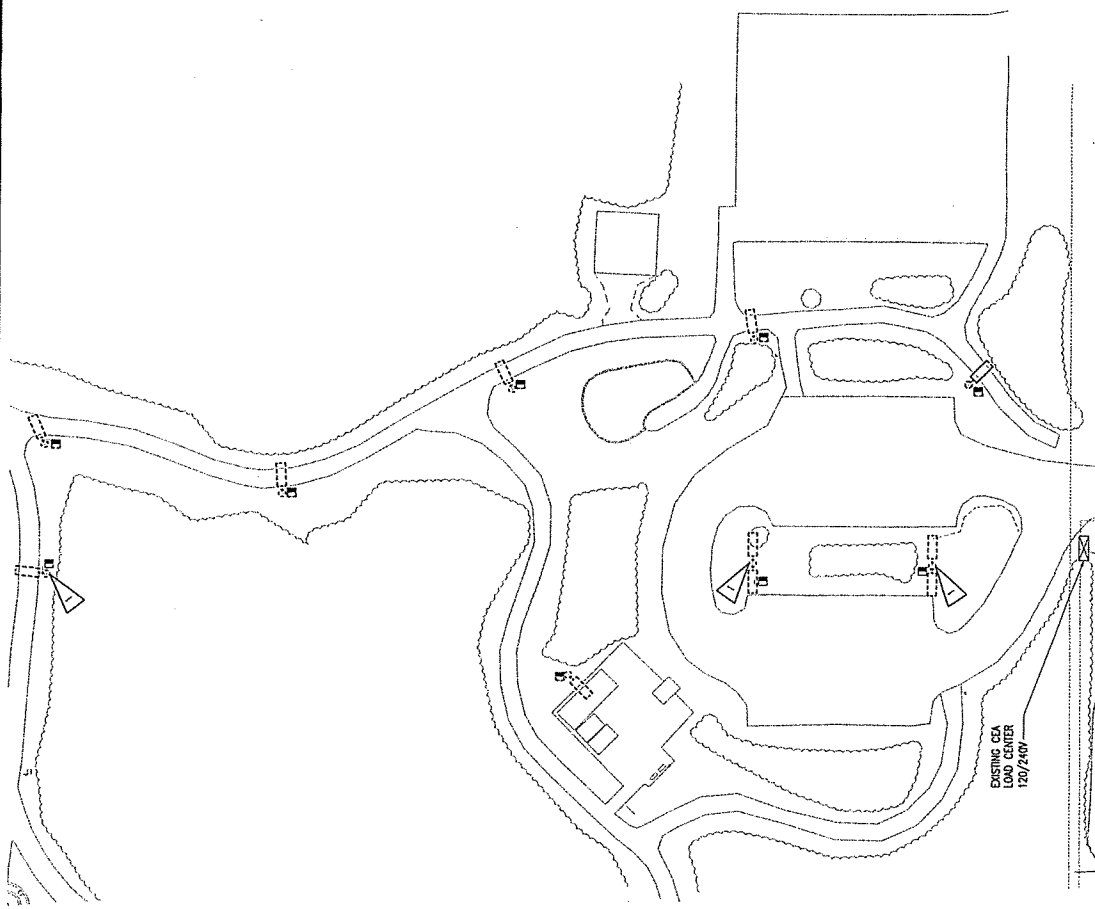
NO.	DATE	DESCRIPTION	BY

NO.	DATE	DESCRIPTION	BY

**GENERAL NOTES:**  
 A. SEE SHEET E0 FOR GENERAL NOTES.

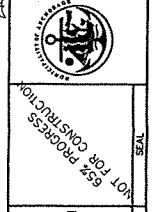
**SHEET NOTES:**

- REMOVE EXISTING FIXTURE(S) FROM POLE, SALVAGE CIRCUIT(S) AND POLE FOR RE-USE WITH NEW FIXTURE(S). SEE SHEET E2 FOR ORIENTATION OF NEW FIXTURE(S).



**UDC SUBMITTAL  
 OCT. 2019  
 SHEETS ARE  
 11x17 HALF SIZE**

PARKS AND RECREATION DEPARTMENT	
TAKU PARK SOUTH GATEWAY	
TAKU PARK - ELECTRICAL DEMOLITION PLAN	
SCALE:	DATE 9/18/2019 [BR/SW230]
ACCT. NO.	SHEET E1



**RISA**  
 Consulting Engineers  
 193 West Franklin Ave., Suite 200  
 Portland, ME 04101  
 License No. 007012421

NOT FOR CONSTRUCTION  
 E37 PROGRESS

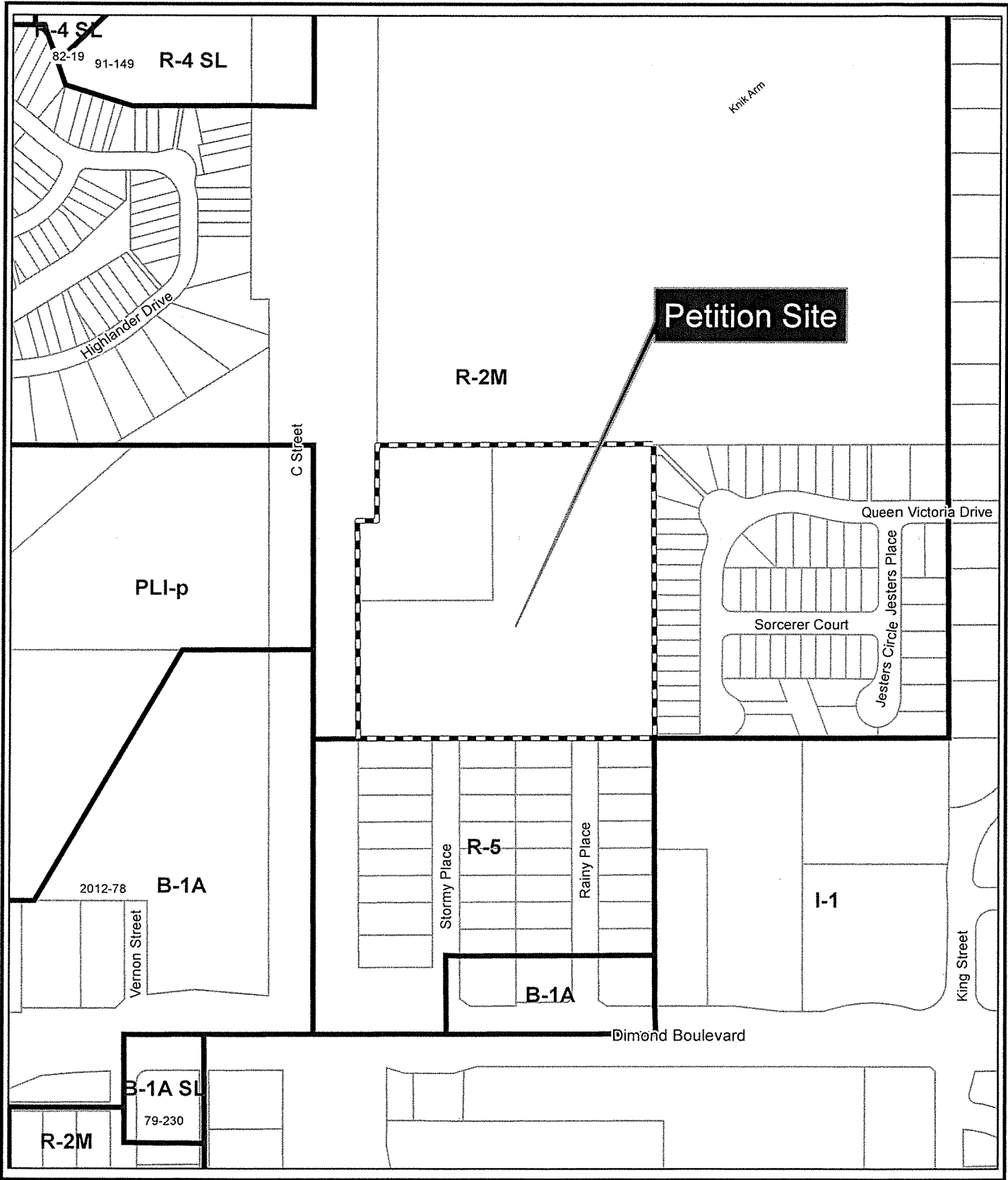
NO.	DESCRIPTION	DATE	BY	REVISIONS

**1 TAKU PARK - ELECTRICAL DEMOLITION PLAN**  
 1"=30'-0"

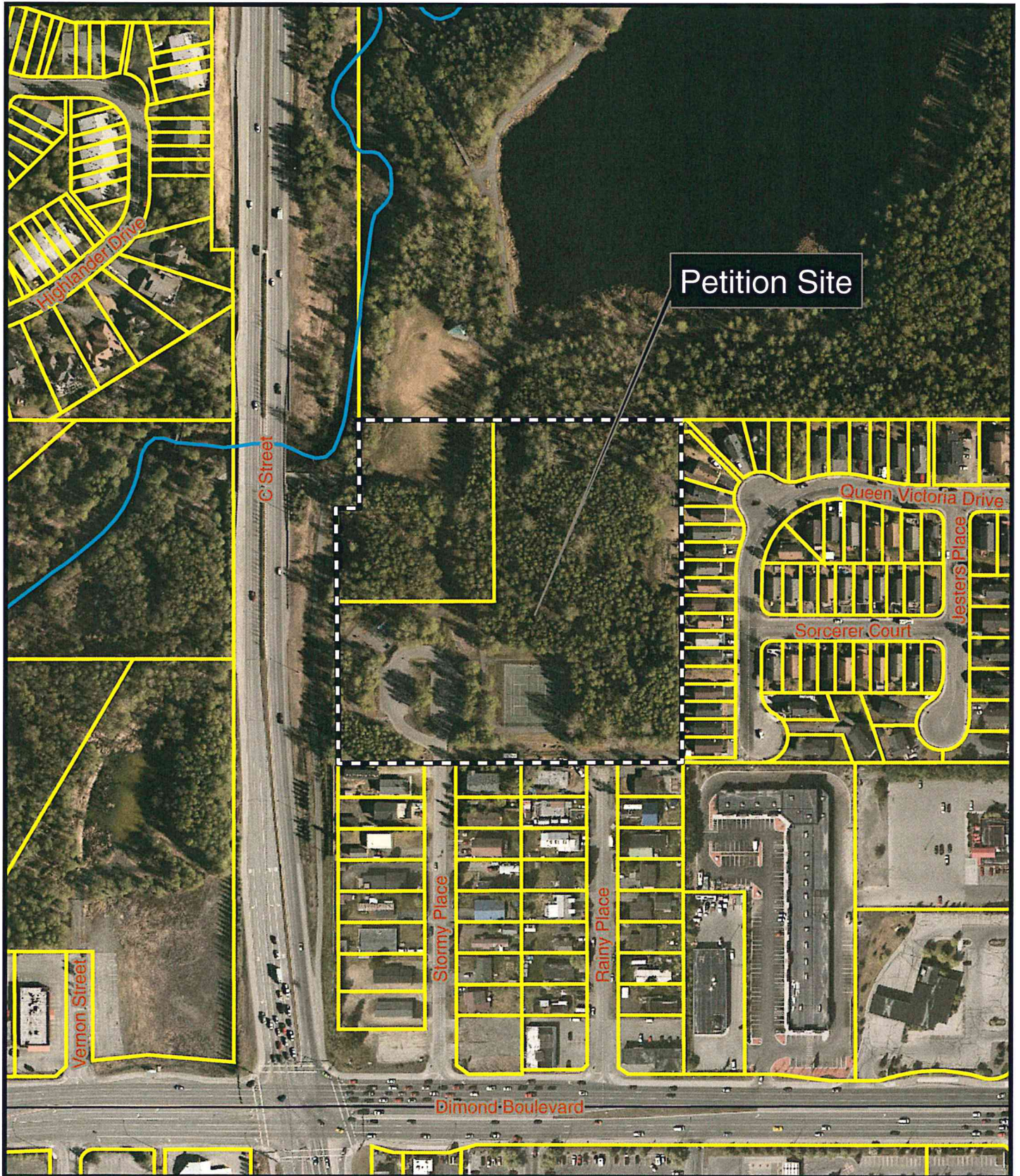
FIELD BOOKS	REV. NO.	LOCATION	REV. DATE	DESCRIPTION	BY	DATE	DESCRIPTION
DESIGNER: Brock 2019, Pages 2-3	11	MOA 1958 Benchmark Mark 0-11	2019.07.17				
DRAWN:							
CHECKED:							
APPROVED:							
DATE:							
CONTRACTOR:							
CONSTRUCTION RECORD							



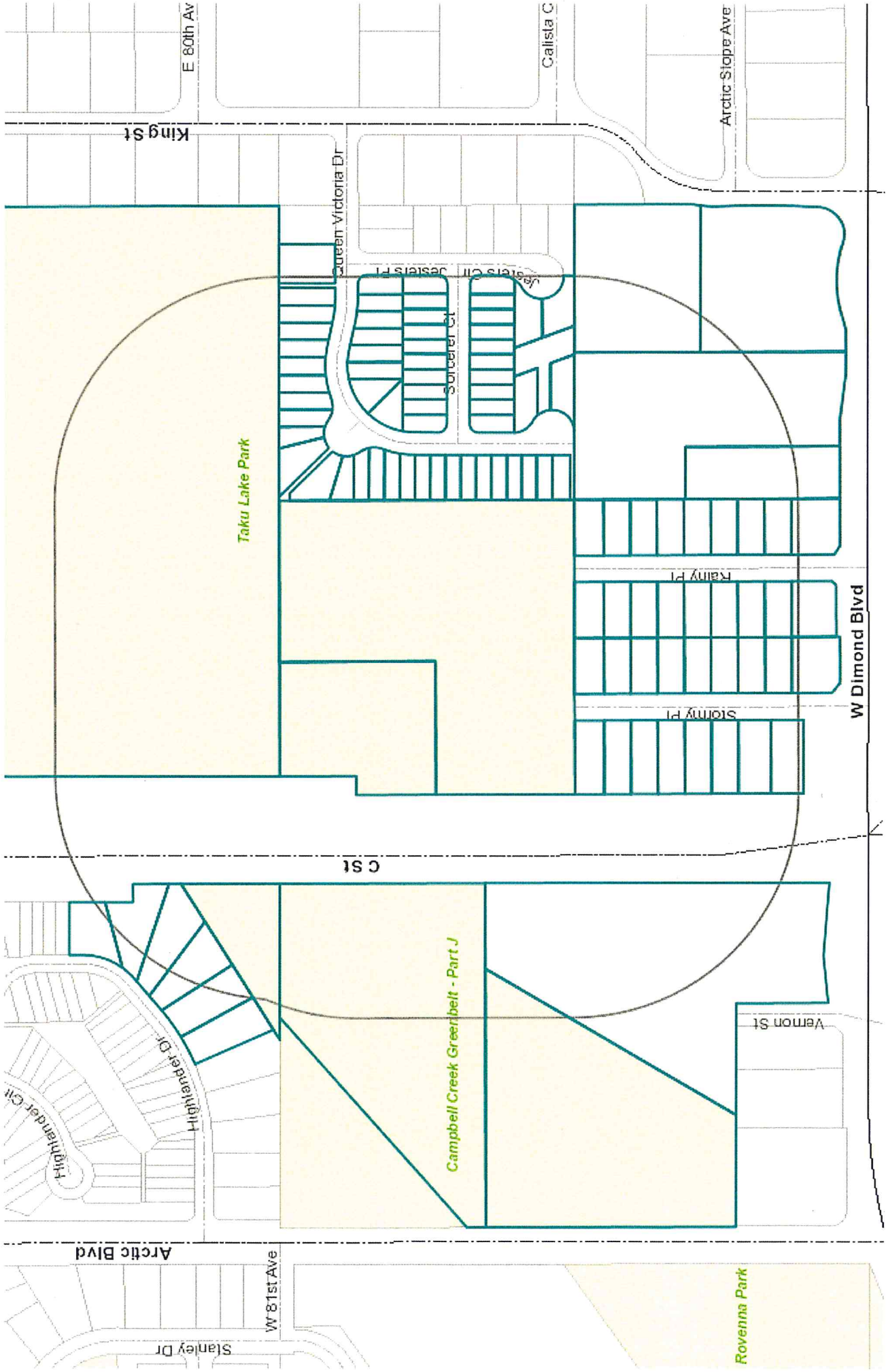
# 2019-0159



# 2019-0159



Anchorage



2019-0159 PAN map  
Distance = 500' (111 parcels)