

Application for Administrative Site Plan Review

Municipality of Anchorage
Planning Department
PO Box 196650
Anchorage, AK 99519-6650



PETITIONER*		PETITIONER REPRESENTATIVE (if any)	
Name (last name first) MOA - Parks and Recreation Department		Name (last name first) Redick, Ryan - The Boutet Company	
Mailing Address 632 W. 6th Avenue, Suite 630		Mailing Address 601 E. 57th Place, Suite 102	
Anchorage, AK 99519		Anchorage, AK 99518	
Contact Phone - Day (907) 343-4135	Evening	Contact Phone - Day (907) 270-6763	Evening
Fax		Fax	
E-mail KeeganTTH@ci.anchorage.ak.us		E-mail rredick@tbcak.com	

*Report additional petitioners or disclose other co-owners on supplemental form. Failure to divulge other beneficial interest owners may delay processing of this application.

PROPERTY INFORMATION			
Property Tax #(000-000-00-000): 011-213-28-00			
Site Street Address: 4342 W 88th Ave			
Current legal description: (use additional sheet if necessary) T12N R4W Sec 10 Lot 39			
Zoning: PLI	Acreage: 1.34 <i>8,000 sq ft Disturbed Area</i>	Grid #: SW2325	Underlying plat #: N/A

SITE PLAN APPROVAL REQUESTED	
Use: Municipal Park - Playground	
☒ New SPR	☐ Amendment to approved site plan Original Case #:

I hereby certify that (I am)/(I have been authorized to act for) owner of the property described above and that I petition for an administrative site plan review in conformance with Title 21 of the Anchorage Municipal Code of Ordinances. I understand that payment of the application fee is nonrefundable and is to cover the costs associated with processing this application, and that it does not assure approval of the site plan.

Ryan Redick
Signature

☐ Owner ☒ Representative

(Representatives must provide written proof of authorization)

01/10/2019

Date

Ryan Redick

Print Name

Accepted by: <i>R-1</i>	Poster & Affidavit: <i>N/A</i>	Fee: \$1850.00	Case Number: 2019-0023
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COMPREHENSIVE PLAN INFORMATIONAnchorage 2020 Urban/Rural Services: ☒ Urban ☐ Rural

Anchorage 2020 Major Elements – site is within or abuts:

- ☐ Major employment center ☐ Redevelopment/mixed use area ☐ Town center
☐ Neighborhood commercial center ☐ Industrial center
☐ Transit - supportive development corridor ☒ District/area plan area: West Anchorage Planning Area

Chugiak-Eagle River Land Use Classification:

- ☐ Commercial ☐ Industrial ☐ Parks/open space ☐ Public lands/institutions ☐ Town center
☐ Transportation/community facility ☐ Alpine/slope affected ☐ Special study area ☐ Development reserve
☐ Residential at _____ dwelling units per acre ☐ Environmentally sensitive area

Girdwood- Turnagain Arm Land Use Classification

- ☐ Commercial ☐ Industrial ☐ Parks/open space ☐ Public lands/institutions ☐ Resort
☐ Transportation/community facility ☐ Alpine/slope affected ☐ Special study area ☐ Reserve
☐ Residential at _____ dwelling units per acre ☐ Mixed use ☐ Rural homestead

ENVIRONMENTAL INFORMATION (All or portion of site affected)

- Wetland Classification: ☒ None ☐ "C" ☐ "B" ☐ "A"
 Avalanche Zone: ☒ None ☐ Blue Zone ☐ Red Zone
 Floodplain: ☒ None ☐ 100 year ☐ 500 year
 Seismic Zone (Harding/Lawson): ☐ "1" ☐ "2" ☒ "3" ☐ "4" ☐ "5"

RECENT REGULATORY INFORMATION (Events that have occurred in last 5 years for all or portion of site)

- ☐ Rezoning - Case Number:
☐ Preliminary Plat ☐ Final Plat - Case Number(s):
☐ Conditional Use - Case Number(s):
☐ Zoning variance - Case Number(s):
☐ Land Use Enforcement Action for
☐ Building or Land Use Permit for
☐ Wetland permit: ☐ Army Corp of Engineers ☐ Municipality of Anchorage

SUBMITTAL REQUIREMENTS

- 1 copy required: ☒ Signed application (original)
☒ Watershed sign off form, completed
☒ 8 1/2" by 11" copy of site plan/building plans submittal
- 26 copies required: ☒ Signed application (copies)
☒ Project narrative explaining:
 ☐ the project ☐ planning objectives
 ☐ addressing the site plan review criteria on page 3 of this application
☒ Site plan to scale depicting, with dimensions:
 ☐ building footprints ☐ parking areas ☐ vehicle circulation and driveways
 ☐ pedestrian facilities ☐ lighting ☐ grading
 ☐ landscaping ☐ loading facilities ☐ freestanding sign location(s)
 ☐ required open space ☐ drainage ☐ snow storage area or alternative strategy
 ☐ trash receptacle location and screening detail ☐ fences
 ☐ significant natural features ☐ easements ☐ project location
☒ Building plans to scale depicting, with dimensions:
 ☐ building elevations ☐ floor plans ☐ exterior colors and textures
☐ Assembly Ordinance enacting zoning special limitations, if applicable

(Additional information may be required.)

SITE PLAN REVIEW STANDARDS (21.03.180)

The Planning Director may only approve a site plan if the director finds that **all** of the following standards are satisfied. Each standard must have a response in as much detail as it takes to explain how your project satisfies the standard. The burden of proof rests with you.

1. The site plan is consistent with any previously approved subdivision plat, planned development master plan, or any other precedent plan or land use approval;
2. The site plan complies with all applicable development and design standards set forth in this title, including but not limited to the provisions in chapter 21.04, *Zoning Districts*, chapter 21.05, *Use Regulations*, chapter 21.06, *Dimensional Standards and Measurements*, and chapter 21.07, *Development and Design Standards*;
3. The site plan addresses any significant adverse impacts that can reasonably be anticipated to result from the use, by mitigating or offsetting those impacts to the maximum extent feasible; and
4. The development proposed in the site plan is consistent with the goals, objectives, and policies of the comprehensive plan.

1. Project Overview

The Municipality of Anchorage (MOA) Parks and Recreation Department (P&R) proposes to reconstruct the playground and approximately 120 LF of swale to maintain existing drainage patterns at Jewel Lake Park. Jewel Lake Park is located at 4342 West 88th Avenue, comprising over 40.3 acres in size. However, the limits of disturbance for this project is only approximately 10,000 square feet (SF) in size.

2. History, Background, and Existing Conditions

Jewel Lake is a community-use park with a swimming beach, fishing dock, picnic shelter, playground, parking and picnic areas, and other recreational amenities, and is located north of Dimond Boulevard and several blocks west of Jewel Lake Road. The most heavily used and developed area in the park includes a beach and picnic area and is located at the end of 88th Avenue. The beach area is the heaviest used by the public with over 30,000 bathers each summer. Amenities at this location include a large paved parking lot, picnic shelter, beach, playground, and lifeguard stations. To this end, P&R is proposing to reconstruct the playground.

3. General Site Plan Review Standards

1. ***The site plan is consistent with any previously approved subdivision plat, planned development master plan, or any other precedent plan or land use approval.***

The proposed site plan is consistent with the public outreach and the community advisory group.

2. ***The site plan complies with all applicable development and design standards set forth in this title, including but not limited to the provisions in chapter 21.04, Zoning Districts, Chapter 21.05, Use Regulations, chapter 21.06, Dimensional Standards and Measurements, and chapter 21.07, Development and Design Standards.***

21.04 Zoning Districts: This site is zoned PLI, under the jurisdiction of 21.040.060.E, “The PLI district is intended to include major public and quasi-public civic, administrative, and institutional uses and activities.” The proposed continued use is for a park and therefore complies with the PLI zoning district.

21.05 Use Regulation: In accordance with Table 21.05-1, parks and their accessory uses are a permitted principal use in the PLI zoning district.

21.06 Dimensional Standards and Measurements: In accordance with Table 21.06-3, the lot meets the minimum lot size area and width requirements (6,000 square feet and 50 feet wide). In addition, the proposed upgrades are outside the required setbacks (Front, side, and rear yard: 25 feet when abutting residential zoning districts (R-2M to the east, R-1 to the north, and R-2A to the west and south); does not exceed the maximum lot coverage requirement of 45%; and does not exceed the maximum height requirement of 45 feet.

21.07 Development and Design Standards:

- *21.07.020 Natural Resource Protection*
 - *Subsection B.4.d.: Water Bodies:* Jewel Lake is located immediately adjacent to Jewel Lake Park. No buildings, accessory structures, or parking lots are proposed within 25 feet horizontally of the ordinary high water mark of Jewel Lake.
 - *Subsection E: Flood Hazard Area Regulations:* The proposed improvements are located outside of the Existing Flood Hazard Zone A for Jewel Lake.
- *21.07.040 Drainage, Storm Water Treatment, Erosion Control, and Prohibited Discharges:* The proposed project improvements include improvements to the existing drainage.

- 3. The site plan addresses any significant adverse impacts that can reasonably be anticipated to result from the use, by mitigating or offsetting those impacts to the maximum extent feasible.**

There are no adverse impacts anticipated. The proposed improvements will provide an inclusive playground for the park.

- 4. The development proposed in the site plan is consistent with goals, objectives, and policies of the comprehensive plan.**

The table below presents key policies and strategies promulgated in Anchorage 2020 and describes how the Project fulfills these policies and strategies.

Anchorage 2020 Land Use & Transportation Policies and Strategies

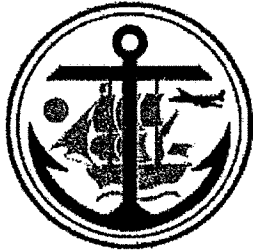
<i>Category</i>	<i>#</i>	<i>Policy</i>	<i>Discussion of Consistency</i>
General Land Use			Not applicable
Residential			Not applicable
Commercial			Not applicable
Transportation			Not applicable
General Design & Environment			Not applicable
Housing			Not applicable
Open Spaces	63	<i>Natural open space protection.</i>	No improvements are planned for the park's open space areas.
Habitat			Not applicable
Water Resources	68	<i>Water resources.</i>	As part of this project, a drainage swale will be constructed – which will provide storm water treatment.
Level of Service			Not applicable
Utilities			Not applicable.
Parks, Trails, Recreation	86	<i>Encourage public/private collaboration.</i>	This project fulfills the community's highest priorities for the park.
Education & Culture			Not applicable.

4. Special Limitation Standards

The property has no Special Limitations; therefore, this section is not applicable.

5. Schedule

<i>Task</i>	<i>Activity Milestone</i>	<i>Completion Date</i>
<i>Design</i>	Construction Documents	January, 2019
<i>Permitting</i>	Administrative Site Plan Review	January, 2019
	Fill and Grade Permit	January, 2019
<i>Construction</i>	Contract Award	March, 2019
	Final Completion	September, 2019



MUNICIPALITY OF
ANCHORAGE

**Municipality of Anchorage, Alaska
Parks & Recreation Department**

632 W. 6th Avenue, Suite 630
P.O. Box 196650
Anchorage, AK 99519
Tel 907-343-4355
URL www.muni.org/departments/parks

ANCHORAGE



PARKS & RECREATION

January 10, 2019

Mr. David Whitfield – Planning Manager
Community Development Planning Division
P.O. Box 196650
Anchorage, AK. 99519-6650

Re: Letter of Authorization – 2019 Jewel Lake Park Playground Improvements

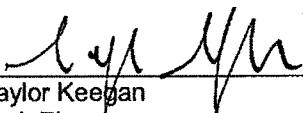
Dear Mr. Whitfield:

The Municipality of Anchorage (MOA) Parks and Recreation Department is the owner of the parcels that make up Jewel Lake Park, located at 4342 W. 88th Avenue, with the following MOA parcel IDs:

- 011-213-28-000;
- 011-152-05-000;
- 011-152-06-000;
- 011-152-07-000;
- 011-152-08-000;
- 011-152-09-000;
- 011-152-10-000;
- 011-152-11-000;
- 011-152-12-000;
- 011-152-18-000;
- 011-152-19-000;
- 011-152-20-000;
- 011-152-21-000; and
- 011-152-22-000.

We authorize The Boutet Company, Inc. to act on our behalf as the Petitioner's Representative for the Administrative Site Plan Review application for the 2019 Jewel Lake Park Playground Improvements Project.

Sincerely,


Taylor Keegan
Park Planner
MOA Parks and Recreation Department

cc: Josh Durand, MOA Parks Superintendent
Jacques Boutet, The Boutet Company, Inc.

PARKS & RECREATION DEPARTMENT
City of Anchorage, Alaska

WMS Archive File Name: 19 Jewel Lake Park

WMS WATERCOURSE MAPPING SUMMARY

Per the requirements for watercourse verification outlined in Project Management and Engineering Operating Policy and Procedure #8 and Planning Department Operating Policy and Procedure #1 (effective June 18, 2007), MOA Watershed Management Services has inspected the following location for the presence or absence of stream channels or other watercourses, as defined in Anchorage Municipal Code (21.35).

- Project Case Number or Subdivision Name: _____
- Project Location, Tax ID, or Legal Description: Parcel: 011-213-28-000
T12N R4W Sec 10 Lot 39
- Project Area (if different from the entire parcel or subdivision): Jewel Lake Playground

In accordance with the requirements and methods identified, WMS verifies that this parcel, project area, or application:

X KBC **DOES NOT** contain stream channels and/or drainageways, as identified in WMS field or archival mapping information.*

_____ **DOES** contain stream channels and/or drainageways **AND** these are located and identified on submittal documents in general congruence with WMS field and archival mapping information.
*New or additional mapping **IS NOT REQUIRED**.**

_____ Contains stream channels and/or drainageways **BUT** one or more streams or other watercourses:

- are **NOT** shown on submittal documents, or
- are **NOT** depicted adequately on submittal documents for verification, or
- are **NOT** located or identified on submittal documents in general congruence with WMS field and archival mapping information.

*New or additional mapping **IS REQUIRED** and must be re-submitted for further review and verification.**

_____ Presence of stream channels and/or drainageways is unknown **AND** field verification is not possible at this time. WMS will verify as soon as conditions and prioritized resources allow.

* Streams omitted in error by WMS or others remain subject to MOA Code and must be shown in new mapping upon identification of the error.

ADDITIONAL INFORMATION:

- | | | | |
|--|--|--------------------------------------|--------------------------------|
| ☐ Y ☒ N | WMS written drainage recommendations are available. | ☐ Preliminary | ☐ Final |
| ☐ Y ☒ N | WMS written field inspection report or map is available. | ☐ Preliminary | ☐ Final |
| ☐ Y ☒ N | Field flagging and/or map-grade GPS data is available. | | |

Inspection Certified By:

Date:

[Signature]

1/10/19

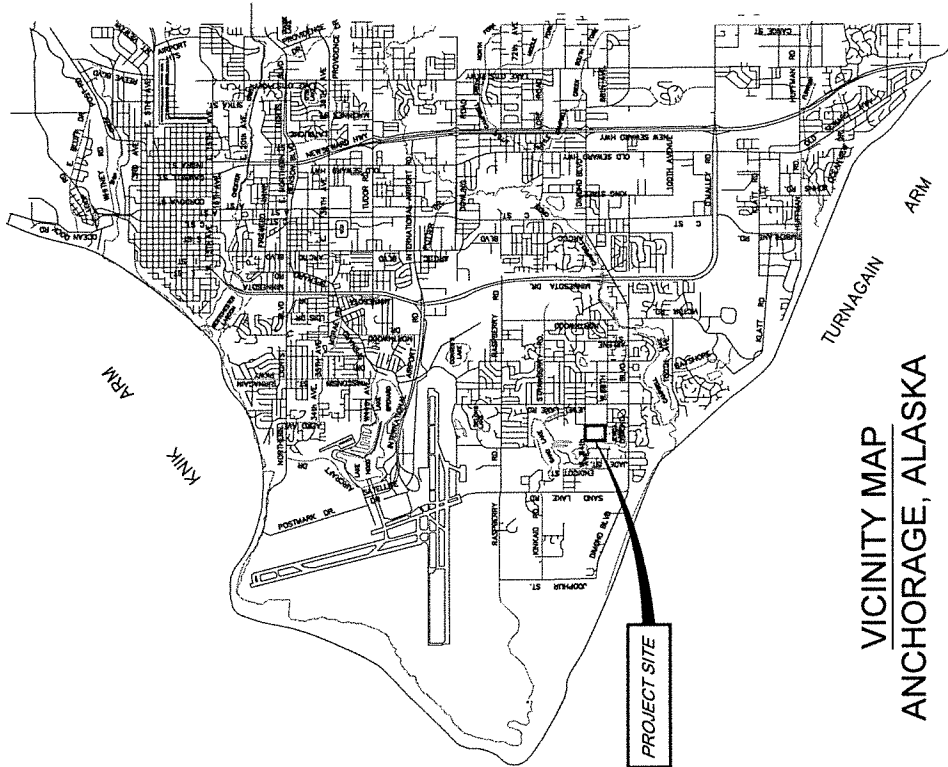
2019 JEWEL LAKE PARK PLAYGROUND IMPROVEMENTS

ITEM NO.	SPEC. NO.	WORK DESCRIPTION (UNIT PRICE IN WORDS)	ESTIMATED QUANTITY	UNIT BID PRICE	TOTAL BID PRICE
1	20.02	Storm Water Pollution Prevention Plan (Type 2) per L.S.	1	\$5,000.00	\$5,000.00
2	20.04	Clearing and Grubbing per L.S.	1	\$5,000.00	\$5,000.00
3	20.10	Excavation for Traffic Ways (Usable Excavation) per C.Y.	10	\$20.19	\$201.90
4	20.10	Excavation for Traffic Ways (Unusable Excavation) per C.Y.	535	\$22.42	\$11,994.70
5	90.04 20.21	Classified Fill and Backfill (Type IIA) per Ton	610	\$20.19	\$12,315.90
6	95.04 20.22	Leveling Course per Ton	52	\$41.90	\$2,178.80
7	95.04 20.22	Leveling Course (Ever Play Finishing Stone) per Ton	52	\$99.00	\$5,148.00
8	20.25	Geotextile Fabric (Type A) per S.Y.	618	\$1.93	\$1,192.74
9	95.04 30.02	P.C.C Curb (Type 7) per L.F.	450	\$31.20	\$14,040.00
10	95.04 30.03	P.C.C. Sidewalk Stairs with Thickened Edge per L.S.	1	\$5,000.00	\$5,000.00
11	95.04 30.03	P.C.C. Sidewalks (4" Thick), (Standard Broom Finish) per S.Y.	135	\$66.86	\$9,026.10
12	95.04 30.05	P.C.C. Structures (Bench Slab) (Standard Broom Finish) per C.Y.	7	\$2,387.50	\$16,712.50
13	55.19	Construct Open Ditch per L.F.	120	\$15.76	\$1,891.20
14	65.02	Construction Survey Measurement per L.S.	1	\$5,000.00	\$5,000.00
15	65.02	Two-Person Survey Crew per HR	1	\$226.47	\$226.47
16	70.11	Remove and Relocate Sign per EA	1	\$795.38	\$795.38
17	90.04 70.22	Demolish Existing Playground Equipment per L.S.	1	\$10,000.00	\$10,000.00
18	95.04 70.23	Furnish and Install Stair Handrails per L.S.	1	\$5,000.00	\$5,000.00
19	75.03	Topsoil (4-inch Depth) per MSF	4	\$623.23	\$2,492.92
20	75.04	Seeding (Schedule D, No Mow Mix) per MSF	4	\$327.53	\$1,310.12
21	75.05	Sod per MSF	0	\$3,187.50	\$0.00
22	95.04 75.09	Site Furnishings (Install Owner Provided Play Equipment) per L.S.	1	\$80,000.00	\$80,000.00
23	95.04 75.09	Site Furnishings (Install Owner Provided Safety Surfacing Tiles) per L.S.	1	\$10,000.00	\$10,000.00

Total: \$204,526.73

Contractor

Date



VICINITY MAP
ANCHORAGE, ALASKA



UNOFFICIAL
GRAPHIC SCALE
0 1/2 1 MILE

VERIFY SCALES
BAR IS ONE INCH ON
ORIGINAL DRAWING
0 1 1"
IF NOT ONE INCH ON THIS SHEET
ADJUST SCALES ACCORDINGLY



MUNICIPALITY OF ANCHORAGE
PARKS AND RECREATION DEPARTMENT

2019 JEWEL LAKE PARK
PLAYGROUND IMPROVEMENTS

4342 W. 88TH AVENUE
ANCHORAGE, AK 99515

SHEET INDEX:

J1		TITLE SHEET
J2		NOTES, ABBREVIATIONS, AND LEGEND
J3		SURVEY CONTROL
J4		DEMOLITION PLAN
J5		SITE PLAN
J6		PLAYGROUND EQUIPMENT FOOTING LOCATIONS
J7		GRADING AND DRAINAGE PLAN
J8		CROSS SECTIONS
J9		DETAILS

APPROVED BY:

John Rodda

JOHN RODDA
DIRECTOR PARKS AND RECREATION

ABBREVIATIONS:

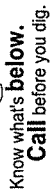
- | | |
|---------|--|
| ADA | AMERICAN WITH DISABILITIES ACT OF 1990 |
| ADOT | STATE OF ALASKA DEPARTMENT OF TRANSPORTATION |
| APPROX. | APPROXIMATE |
| BOP | BEGINNING OF PROJECT |
| BM | BENCH MARK |
| CC | CONCRETE CURB |
| CL | CENTERLINE |
| CONST | CONSTRUCT |
| DEPT. | DEPARTMENT |
| E | EAST |
| EP/EPD | EDGE OF PAVEMENT |
| EST | ESTIMATE |
| EST | EASEMENT LINE |
| EX | EXISTING |
| FG | FINISHED GRADE |
| FG(g) | EXISTING FINISH GRADE |
| FL | FLOW |
| G | GAS |
| GB | GRADE BREAK |
| HS | HIGHWAY |
| HP | HIGH POINT |
| INT | INTERSECTION |
| LAW | IN ACCORDANCE WITH |
| L | LENGTH |
| LOC | LOCATION |
| LOC | LOCATION |

ABBREVIATIONS:

- | | MUNICIPALITY OF ANCHORAGE STANDARD SPECIFICATIONS |
|--------|---|
| LT | LEFT |
| MASS | MAXIMUM EXISTING |
| MAX | MANHOLE |
| MIN | MINIMUM |
| MOD | NUMBER OF ANCHORAGE |
| N | NORTH |
| NANT | NEAR SEA LEVEL |
| NTP | NOT TO PROCEED |
| NTS | NOT TO SCALE |
| PCC | PORTLAND CEMENT CONCRETE |
| PUR | PUBLIC UTILITY EASEMENT |
| RADIUS | RADIUS |
| RAP | RECYCLED ASPHALT PAVEMENT |

ABBREVIATIONS.

- | | |
|--------|---------------------------|
| AC | ASPHALTIC CONCRETE |
| AD | APPROX. |
| AE | APPROXIMATELY |
| AF | ANCHOR |
| AG | BENCH MARK |
| AH | BEST MANAGEMENT PRACTICE |
| AI | CONCRETE |
| AJ | CONSTRUCT |
| AK | DETAIL |
| AL | DEPARTMENT |
| AM | EDGE OF PAVEMENT |
| AN | ELEVATION |
| AO | EASEMENT LINE |
| AP | EXISTING |
| AQ | EXISTING |
| AR | FURNISH AND INSTALL |
| AS | FINISHED GRADE |
| AT | PAVEMENT SURFACE GRADE |
| AV | FIRE HYDRANT |
| AW | FLOW LINE |
| AX | FL |
| AY | GRADE BREAK |
| AZ | GB |
| BA | GLOBAL POSITIONING SYSTEM |
| BB | HORIZONTAL |
| BC | INTERSECTION |
| BD | INVERT ELEVATION |
| BE | INVERT |
| BF | INTERSECTION WITH |
| BG | US |
| BH | LINEAR FEET |
| BI | LOCATION |
| BJ | POINT |
| BK | LEFT |
| BL | ALTERNATE |
| BM | MINIMUM |
| BN | MINIMUM |
| BO | MINIMUM |
| BP | MINIMUM |
| BQ | MINIMUM |
| BR | MINIMUM |
| BS | MINIMUM |
| BT | MINIMUM |
| BU | MINIMUM |
| BV | MINIMUM |
| BW | MINIMUM |
| BX | MINIMUM |
| BY | MINIMUM |
| BZ | MINIMUM |
| CA | MINIMUM |
| CB | MINIMUM |
| CC | MINIMUM |
| CD | MINIMUM |
| CE | MINIMUM |
| CF | MINIMUM |
| CG | MINIMUM |
| CH | MINIMUM |
| CI | MINIMUM |
| CJ | MINIMUM |
| CK | MINIMUM |
| CL | MINIMUM |
| CM | MINIMUM |
| CN | MINIMUM |
| CO | MINIMUM |
| CP | MINIMUM |
| CQ | MINIMUM |
| CR | MINIMUM |
| CS | MINIMUM |
| CT | MINIMUM |
| CU | MINIMUM |
| CV | MINIMUM |
| CW | MINIMUM |
| CX | MINIMUM |
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| DO | MINIMUM |
| DP | MINIMUM |
| DQ | MINIMUM |
| DR | MINIMUM |
| DS | MINIMUM |
| DT | MINIMUM |
| DU | MINIMUM |
| DV | MINIMUM |
| DW | MINIMUM |
| DX | MINIMUM |
| DY | MINIMUM |
| DZ | MINIMUM |
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| EB | MINIMUM |
| EC | MINIMUM |
| ED | MINIMUM |
| EE | MINIMUM |
| EF | MINIMUM |
| EG | MINIMUM |
| EH | MINIMUM |
| EI | MINIMUM |
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| EL | MINIMUM |
| EM | MINIMUM |
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| EO | MINIMUM |
| EP | MINIMUM |
| EQ | MINIMUM |
| ER | MINIMUM |
| ES | MINIMUM |
| ET | MINIMUM |
| EU | MINIMUM |
| EV | MINIMUM |
| EW | MINIMUM |
| EX | MINIMUM |
| EY | MINIMUM |
| EZ | MINIMUM |
| FA | MINIMUM |
| FB | MINIMUM |
| FC | MINIMUM |
| FD | MINIMUM |
| FE | MINIMUM |
| FF | MINIMUM |
| FG | MINIMUM |
| FG (6) | MINIMUM |
| FH | MINIMUM |
| FI | MINIMUM |
| FJ | MINIMUM |
| FK | MINIMUM |
| FL | MINIMUM |
| FM | MINIMUM |
| FN | MINIMUM |
| FO | MINIMUM |
| FP | MINIMUM |
| FQ | MINIMUM |
| FR | MINIMUM |
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| HTU | MINIMUM |
| HTV | MINIMUM |
| HTW | MINIMUM |
| HTX | MINIMUM |
| HTY | MINIMUM |
| HTZ | MINIMUM |
| IA | MINIMUM |
| IB | MINIMUM |
| IC | MINIMUM |
| ID | MINIMUM |
| IE | MINIMUM |
| IF | MINIMUM |
| IG | MINIMUM |
| IH | MINIMUM |
| II | MINIMUM |
| IJ | MINIMUM |
| IK | MINIMUM |
| IL | MINIMUM |
| IM | MINIMUM |
| IN | MINIMUM |
| IO | MINIMUM |
| IP | MINIMUM |
| IQ | MINIMUM |
| IR | MINIMUM |
| IS | MINIMUM |
| IT | MINIMUM |
| ITC | MINIMUM |
| ITD | MINIMUM |



			Department of Parks and Recreation Municipality of Anchorage									
PARKS AND RECREATION DEPARTMENT JEWEL LAKE PARK PLAYGROUND NOTES, LEGEND, AND ABBREVIATIONS			<table><tr><td>DATE: 07/20/2018</td><td>USER: 202525</td><td>SHEET: 02</td></tr><tr><td>SCALE: 1"=20'</td><td>STATUS: CONTRACT DOCUMENTS</td><td>DATE: 07/20/2018</td></tr><tr><td>USER: NA</td><td></td><td>DATE: 07/20/2018</td></tr></table>	DATE: 07/20/2018	USER: 202525	SHEET: 02	SCALE: 1"=20'	STATUS: CONTRACT DOCUMENTS	DATE: 07/20/2018	USER: NA		DATE: 07/20/2018
DATE: 07/20/2018	USER: 202525	SHEET: 02										
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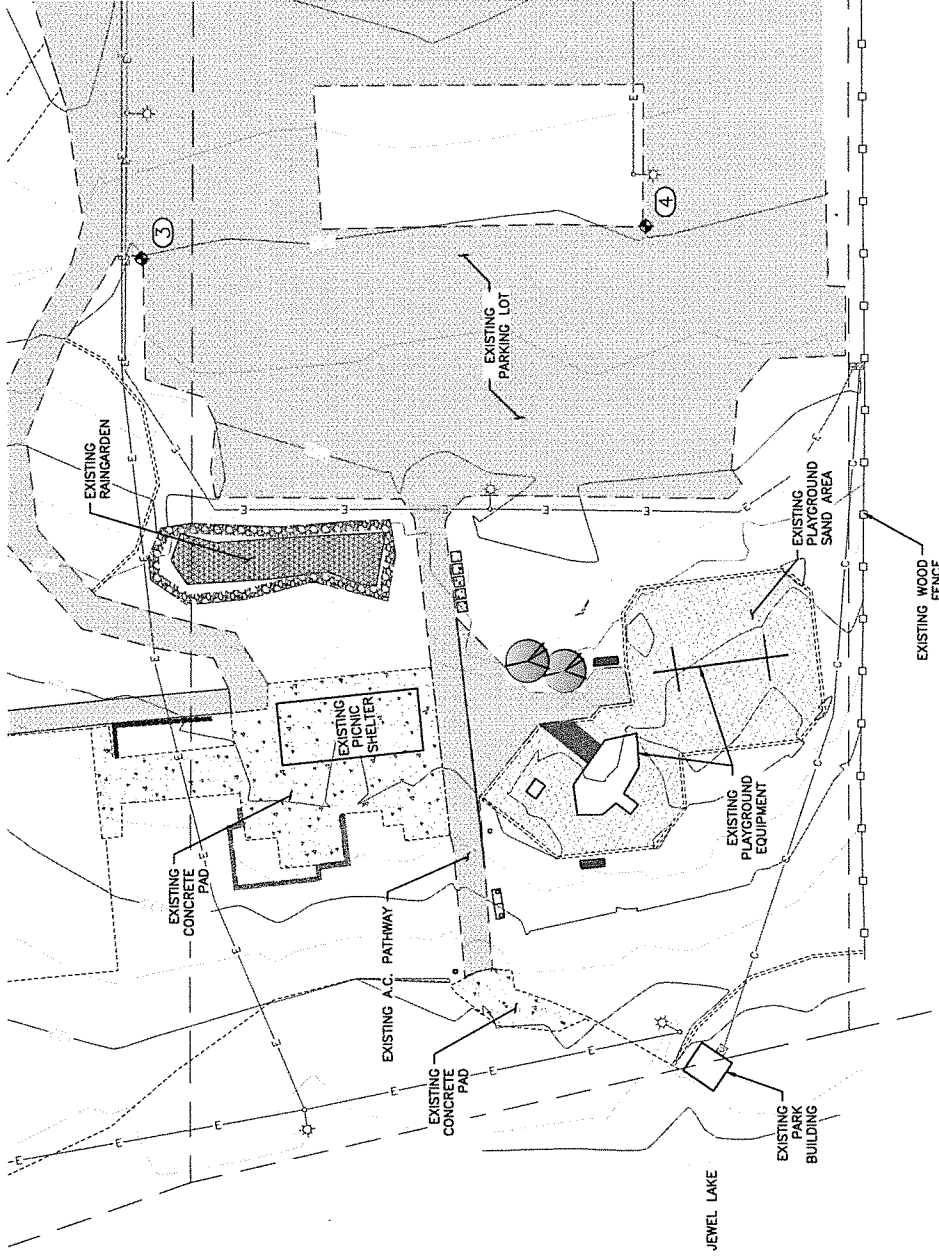
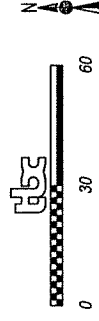
SURVEY NOTES:

1. The field survey was performed by The Boutel Company, in October, 2014. Field survey information for this project is located in the Boutel Company MOA field book 3858, page 24.
2. A title search was not performed. Examples of record other than those shown on the recorded plots are not shown herein.
3. All disturbed property corners shall be replaced by the contractor in accordance with Special Provision 85.02, Article 2.1 Project Control.
4. The Basis of Bearings and coordinates is NAD83(2011) (EPOCH 2010) Alaska State Plane Zone 4 grid from GPS observations from operating real time control networks (see note 7).
5. Coordinates are NAD83(2011) (EPOCH 2010) Alaska State Plane Zone 4, expressed in U.S. Survey Feet.
6. To convert from NAD83(2011) (EPOCH 2010) Alaska State Plane Zone 4 coordinates to NAD83(2011) (EPOCH 2010) Alaska State Plane Zone 4, Translating using -2,396,868.6878 N, -1,312,517.4904 E.
7. Elevations are expressed in NAVD88 (North American Vertical Datum, 1988 adjustment) in feet. The control and much of the survey was performed utilizing the Alaska State Plane Zone 4 grid. The survey was performed using a Leica TS15 total station, and applying NGS Geoid 12A to the ellipsoid elevations. Static GPS data was submitted for various control stations to the NGS OPUS (Online Positioning User System) for verification.
8. Property lines, imagery and other information are per MOA GIS data; www.muni.org/Departments/DCPD/GIS/Pages/MOAGISData.aspx. Subdivision Plats and other recorded data should be referred to before construction activities begin.
9. Refer to civil plans for alignment data.

LEGEND

④ CONTROL POINT

Point Table			
Point #	Elevation	Northing	Easting
3	126.94	2609000.38	1647455.58
4	127.07	2608874.39	1647463.26
			CP3-PK
			CP4-PK



CONSULTANT

The Boutel Company, Inc.
1000 West 10th Avenue
Anchorage, AK 99501
P: 907.552.9179
F: 907.552.9178
License No. ACC00501



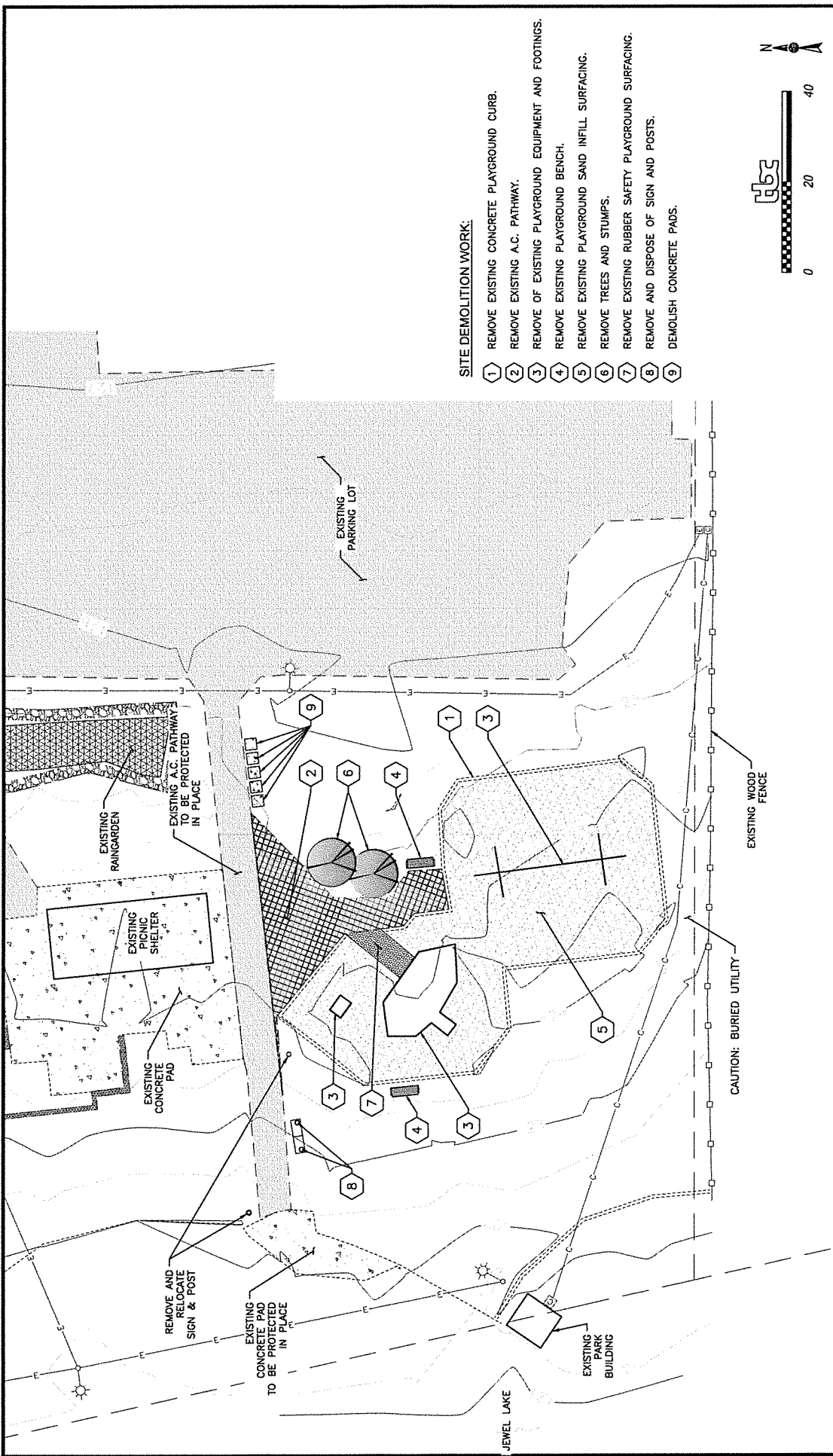
Department of Parks and Recreation
Municipality of Anchorage

Healthy Parks
Healthy People

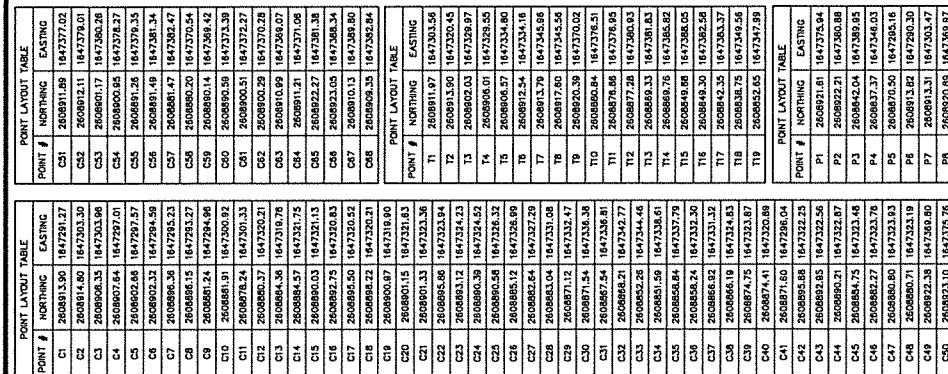


PARKS AND RECREATION DEPARTMENT
JEWEL LAKE PARK PLAYGROUND
SURVEY CONTROL

DATE: 11/03/2014
JOB: 20140228
SCALE: 1"=20'
SHEET: J3
STATUS: CONSTRUCTION DOCUMENTS



URS 1000 West 12th Avenue, Suite 100 Anchorage, Alaska 99501 Phone: 907.561.8800 Fax: 907.561.8801 Email: info@urscorp.com		Department of Parks and Recreation Municipality of Anchorage		Healthy Parks Healthy People		PARKS AND RECREATION DEPARTMENT JEWELL LAKE PARK PLAYGROUND ANCHORAGE, ALASKA 99502 DEMOLITION PLAN	
CONSULTANT		DATE: 10/20/18 SCALE: 1"=20' STATUS: CONSTRUCTION DOCUMENTS		DATE: 10/20/18 SCALE: 1"=20' STATUS: CONSTRUCTION DOCUMENTS		SHEET J4 J9	



POINT LAYOUT TABLE		
POINT #	NORTHING	EASTING
P1	2608021.61	1647375.94
P2	2608022.21	1647360.88
P3	2608024.04	1647389.95
P4	2608037.37	1647346.03
P5	2608070.50	1647295.16
P6	2608091.82	1647290.30
P7	2608091.33	1647303.47
P8	2608092.80	1647369.82

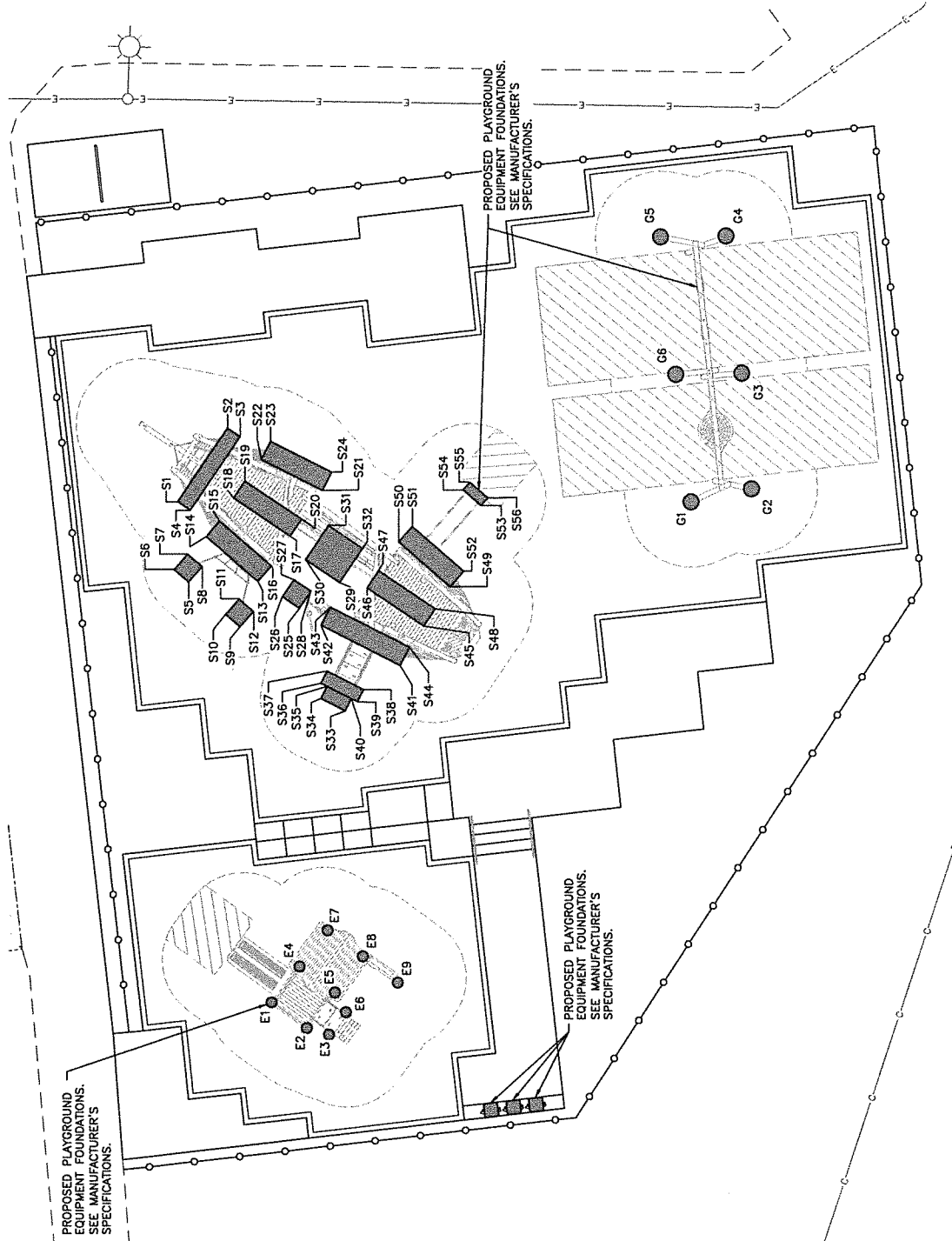
C40	2608950.76	1647322.08
C41	2608987.04	1647296.04
C42	2608995.58	1647332.25
C43	2608692.85	1647327.56
C44	2608950.21	1647322.87
C45	2608984.75	1647323.48
C46	2608982.27	1647323.76
C47	2608980.80	1647323.93
C48	2608980.71	1647323.19
C49	2608982.22	1647359.80
C50	2608923.10	1647375.76

Technical drawing of a roof plan. It shows a chimney on the left side and a dormer window on the right side. The roof is indicated by a dashed line. The drawing is labeled with 'T.S.' and 'T.S.' on the right side.

PROPOSED VINYL-COATED
4-FOOT CHAIN LINK FENCE
(BY OTHERS)

POINT #	NORTHING	EASTING
S28	2608894.67	1847345.05
S27	2608897.57	1847346.88
S26	2608899.94	1847345.58
S25	2608883.21	1847346.39
S24	2608896.47	1847346.59
S23	2608894.27	1847351.89
S22	2608891.01	1847349.86
S21	2608892.68	1847354.11
S20	2608895.00	1847353.50
S19	2608894.40	1847336.47
S18	2608894.99	1847337.83
S17	2608890.86	1847336.15
S16	2608891.46	1847334.88
S15	2608892.06	1847335.28
S14	2608897.39	1847338.43
S13	2608894.99	1847342.31
S12	2608894.10	1847340.18
S11	2608886.50	1847340.18
S10	2608885.14	1847342.22
S9	2608890.59	1847345.59
S8	2608892.44	1847347.52
S7	2608894.04	1847343.85
S6	2608892.00	1847345.97
S5	2608897.55	1847350.27
S4	2608891.31	1847347.45
S3	2608879.66	1847353.73
S2	2608891.39	1847355.24
S1	2608890.74	1847355.88
S0	2608878.01	1847354.47

POINT #	NORTHING	EASTING
E1	2608894.68	1847306.27
E2	2608894.32	1847303.77
E3	2608894.19	1847303.15
E4	2608897.01	1847309.68
E5	2608893.64	1847302.19
E6	2608892.56	1847305.30
E7	2608894.32	1847313.14
E8	2608890.85	1847310.65
E9	2608897.59	1847308.11
E10	2608899.48	1847324.03
E11	2608893.70	1847325.25
E12	2608894.63	1847326.33
E13	2608895.15	1847329.47
E14	2608892.42	1847329.40
E15	2608890.86	1847328.22
E16	2608902.71	1847326.18
E17	2608902.71	1847326.18
E18	2608902.71	1847326.18
E19	2608902.71	1847326.18
E20	2608902.71	1847326.18
E21	2608902.71	1847326.18
E22	2608902.71	1847326.18
E23	2608902.71	1847326.18
E24	2608902.71	1847326.18
E25	2608902.71	1847326.18
E26	2608902.71	1847326.18
E27	2608902.71	1847326.18
E28	2608902.71	1847326.18
E29	2608902.71	1847326.18
E30	2608902.71	1847326.18
E31	2608902.71	1847326.18
E32	2608902.71	1847326.18
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E34	2608902.71	1847326.18
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E57	2608902.71	1847326.18
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E59	2608902.71	1847326.18
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E61	2608902.71	1847326.18
E62	2608902.71	1847326.18
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E80	2608902.71	1847326.18
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E94	2608902.71	1847326.18
E95	2608902.71	1847326.18
E96	2608902.71	1847326.18
E97	2608902.71	1847326.18
E98	2608902.71	1847326.18
E99	2608902.71	1847326.18
E100	2608902.71	1847326.18



City of Anchorage

Department of Parks and Recreation

Healthy Parks Healthy People

Municipality of Anchorage

Jewel Lake Park Playground

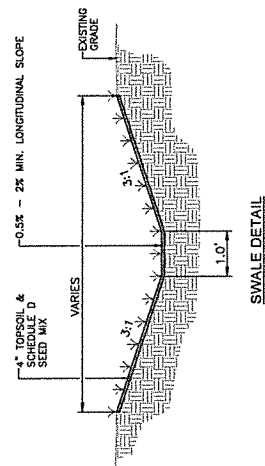
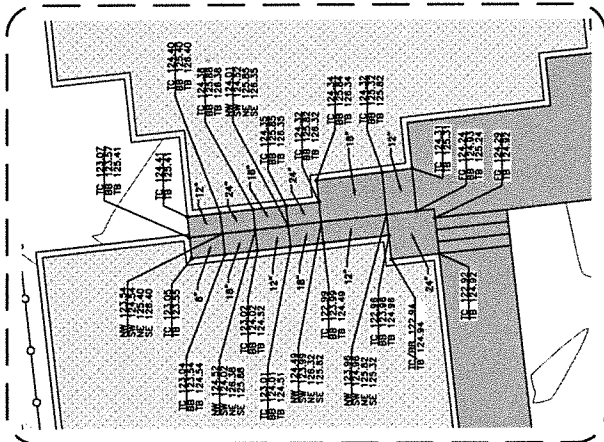
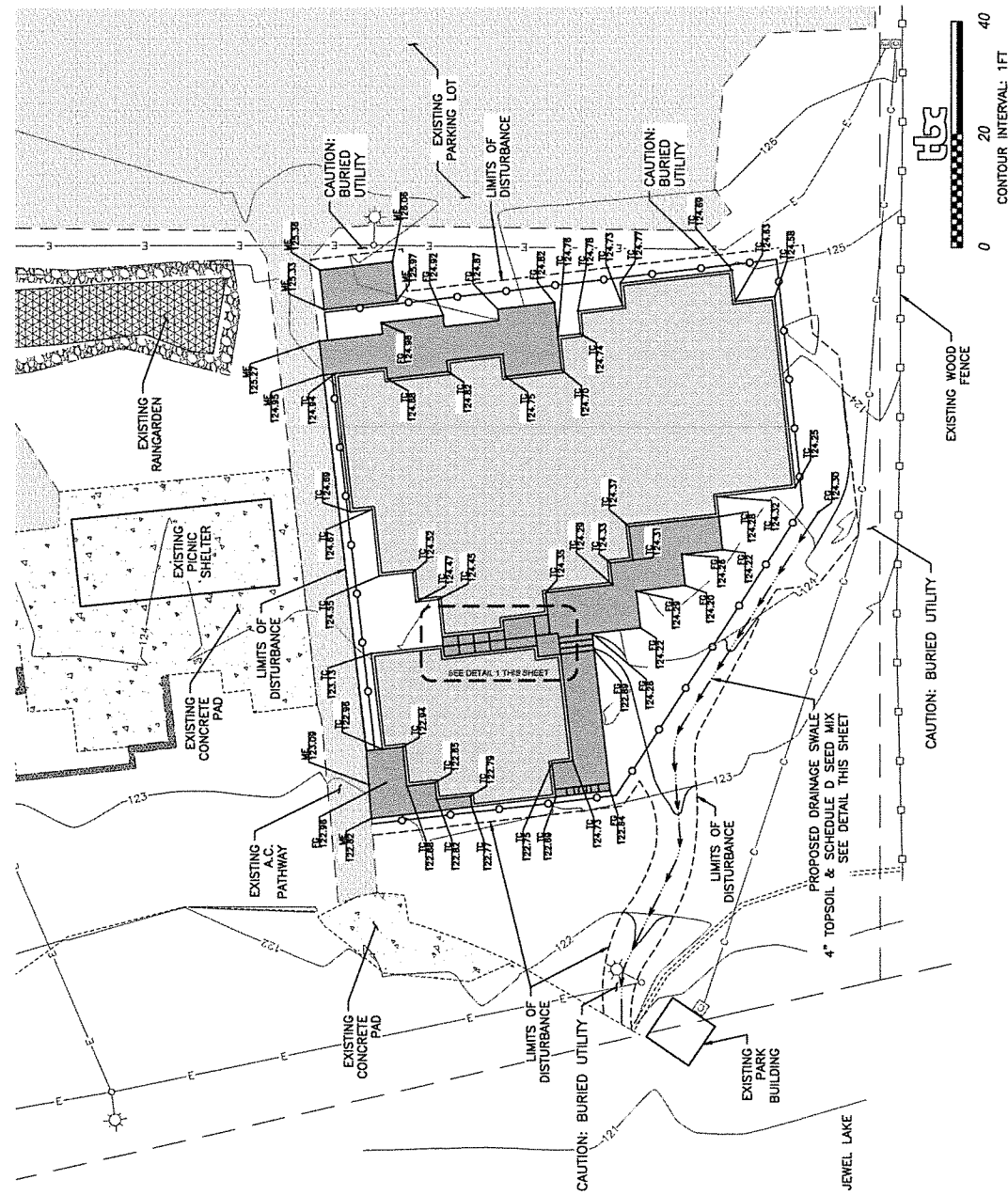
Playground Equipment Footing Locations

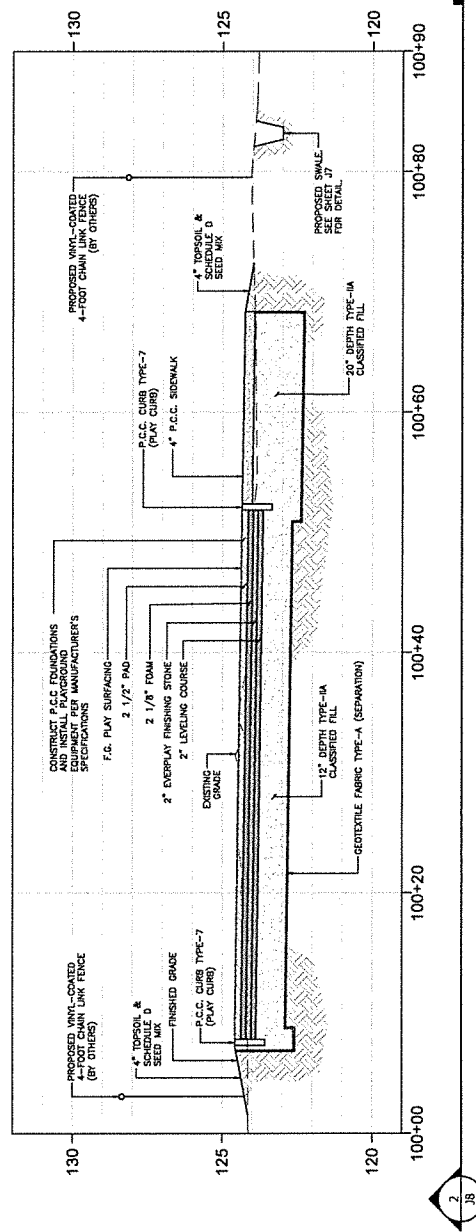
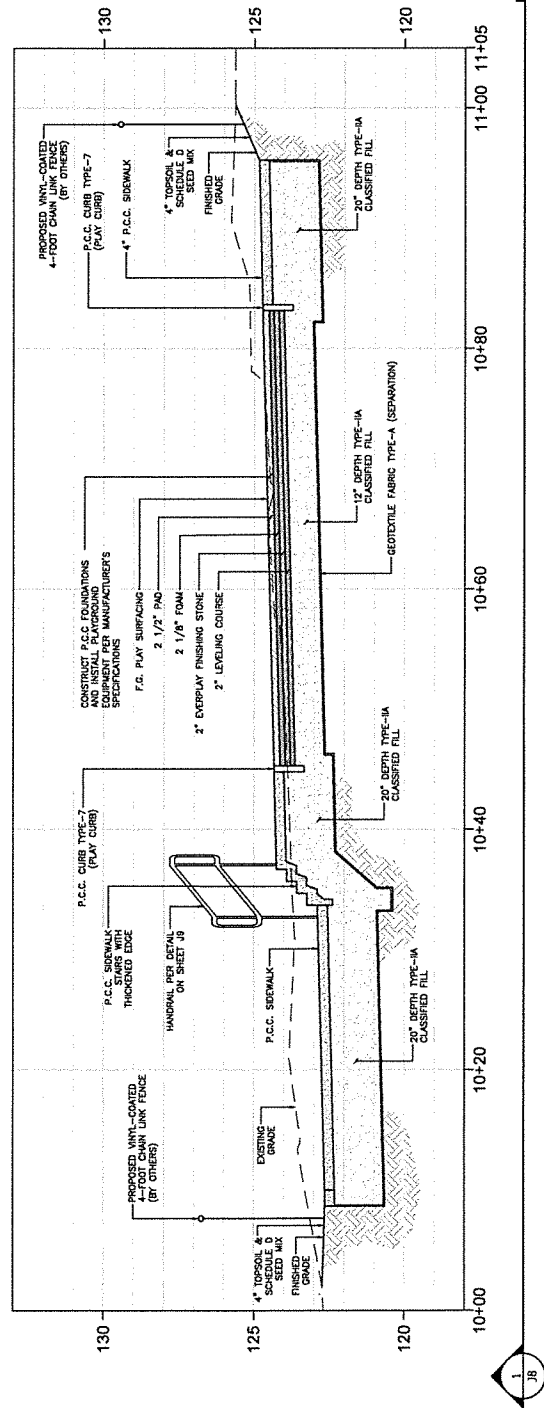
Scale: 1" = 20'

North

Consultant

Sheet J5



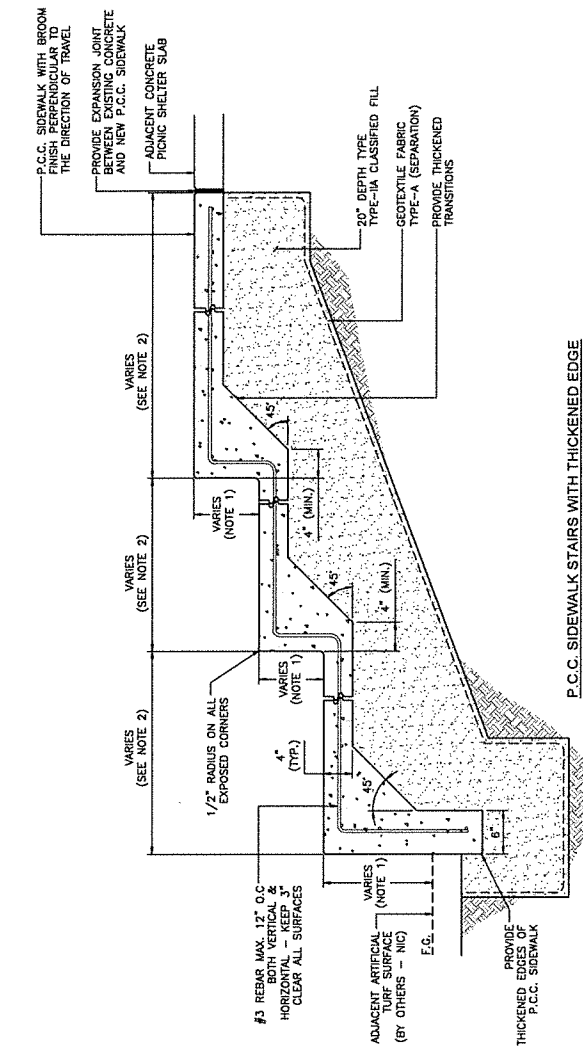


CHAIN LINK FENCE NOTES:

1. ALL WESH TO BE 8 GAUGE.
2. ALL POST LOCATED ATOP P.C.C. AND ENTRANCES SHALL BE SECURED WITH GALVANIZED BOLT PLATE AND ANCHORED TO SLAB.
3. ALL TERMINAL AND ANGLE POINT POST SHALL BE 2-3/8"
4. ALL GATE POST SHALL BE 2-7/8"
5. ALL LINE POST SHALL BE 1-7/8"
6. ALL TOP RAILS SHALL BE 1-3/8"
7. ALL LINE POSTS SHALL BE DRIVEN PILE TO A MINIMUM DEPTH OF 8-FEET ON UNIL. RETRAVAL. ALL GATE POST AND GATE POST NOT TO BE DRIVEN PILE TO A MINIMUM DEPTH OF 10-FEET ON UNIL. RETRAVAL.
8. APPRO BOTTOM RAIL (1-1/2") TO ALL FENCES INSTALLED ON TOP OF CONCRETE PAVES.

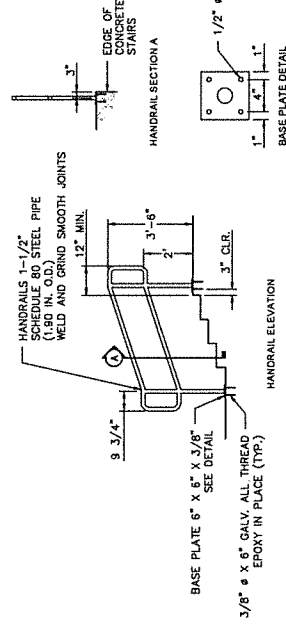
INTERNATIONAL BUILD CODE TABLE 1705.8			
REQUIRED VERIFICATION AND INSPECTION OF SOILS			
VERIFICATION AND INSPECTION TASK	CONTINUOUS DURING TASK LIST	PERIODICALLY DURING TASK LISTED	
1. VERIFY MATERIALS BELOW SHALLOW FOUNDATIONS ARE ADEQUATE TO ACHIEVE THE DESIGN CAPACITY.	—	X	
2. VERIFY EXCAVATIONS ARE EXTENDED TO PROPER DEPTH AND HAVE REACHED PROPER MATERIAL.	—	X	
3. PERFORM CLASSIFICATION AND TESTING OF COMPACTED FILL MATERIALS.	—	X	
4. VERIFY USE OF PROPER MATERIALS, DENSITIES AND PROPER CONSTRUCTION METHODS TO AVOID ACCIDENT AND COMPACTED FILL.	X	—	
5. PRIOR TO PLACEMENT OF COMPACTED FILL, OBTAIN NEIGHBORHOOD AND VERIFY THAT SITE HAS BEEN RESEARCHED AND PROPERLY DESIGNED.	—	X	

INTERNATIONAL BUILD CODE TABLE 1705.6



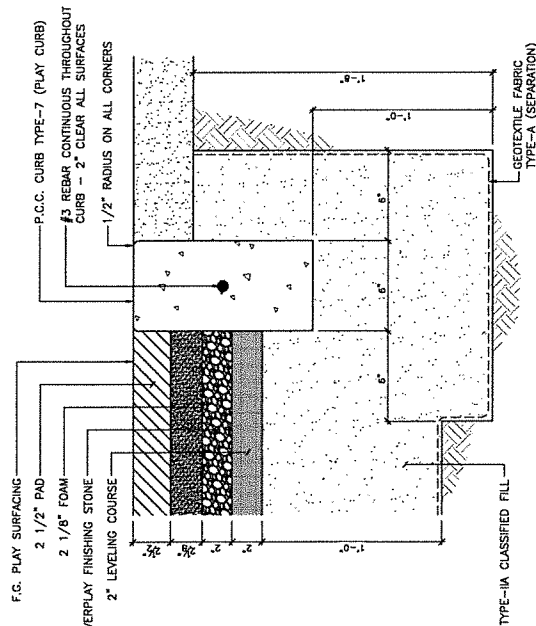
P.C.C. SIDEWALK STAIRS WITH THICKENED EDGE

- NOTES:
1. HEIGHT OF TRANSITION/STEP VARIES. SEE GRADING PLAN ON SHEET J7 FOR ELEVATIONS.
 2. WIDTH OF SIDEWALK VARIES. SEE LAYOUT PLAN ON SHEET J5 FOR DIMENSIONS AND LAYOUT.
 3. STAIR TREAD FINISH SHALL BE "COARSE BROOM" FINISH. TRAVERSE TO DIRECTION OF TRAVEL.



STAIR HANDRAIL DETAIL

1. ALL MATERIAL AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH M.A.S.S.
2. ALL CONCRETE SHALL BE CLASS M-3.
3. ALL EXPOSED WALL EDGES SHALL BE CHAMFERED 1".
4. ALL STEEL REINFORCEMENT SHALL BE NO. 3 DEFORMED BARS. SPLICES IN REINFORCING STEEL SHALL OVERLAP A MINIMUM LENGTH OF 40 DIAMETERS.
5. ALL STEEL SHALL HAVE A CLEAR DISTANCE OF 2-1/2" TO FACE OF CONCRETE.
6. ALL HARDWARE SHALL BE STAINLESS STEEL.
7. FABRICATION OF ALL COMPONENTS SHALL BE COMPLETED PRIOR TO PAVING. COLOR OF PAINTS OR APPROVED EQUIVALENTS SHALL BE APPROVED BY THE ARCHITECT.



P.C.C. PARK CURB TYPE-7

1. EXPANSION JOINT SHALL BE PLACED BEHIND CURBING ADJACENT TO OTHER PROPOSED CONCRETE SURFACES.
2. TRANSVERSE CONTRACTION JOINTS SHALL BE CUT TO A DEPTH OF 1-INCH PRIOR TO THE FINAL SET OF CONCRETE AT INTERVALS OF 10 FEET.