



221 East Ship Creek Avenue
Anchorage, Alaska 99501
PH: 907-562-2074
FX: 907-562-1803

Mr. David Whitfield
Planning Department
Municipality of Anchorage
4700 Elmore Road
Anchorage , Alaska 99519-6650

1/29/18

Subject: Letter of Authorization
Lot 2, Block 1, Lucky Huffman Subdivision

Dear Mr. Whitfield,

I am the owner of the property described as Lot 2, Block 1, Lucky Huffman Subdivision (Plat #2013-062). As such, I authorize Big City Engineers, LLC and their subconsultant, Corvus Design, to act on my behalf regarding the highway screening plan review associated with the property referenced above.

If you have any questions, please call my cell (727-5315).

Thanks You

Michael S. Hammer
Owner, Hammer / Labar Properties, LLC
and Statewide Door & Glass

Municipality of Anchorage
Planning Department
4700 Bragaw Street
P. O. Box 196650
Anchorage, AK 99519-6650
Telephone: (907) 343-7943
Fax: (907) 343-7927

URBAN DESIGN COMMISSION
Review Questionnaire

Submit this questionnaire and required submittal documents *28 days prior* to the scheduled Commission hearing date.

PROJECT NAME: Statewide Door and Glass

Case Number: UDC **Tax Code Number:** 016-191-88-000

Submittal Type: Review **Date Submitted:** January 31, 2018
 Approval **Date Submitted:** January 31, 2018

Legal Description: Lot 2, Block 1, Lucky Huffman Subdivision
Community Council(s): Old Seward/Oceanview

Project Managers

Client (Agency): Statewide Door and Glass (Hammer Labar Property, LLC)

Project Manager: Mike Hammer

Address (include zip code): 221 E. Ship Creek Avenue, Anchorage, Alaska 99501

Telephone No.: 907/562-2074 **Fax No.:** 907/562-1803

Prime Design Consultant: Big City Engineers, LLC Gordon Thompson, Architect (project prime)

Project Manager: Melissa A. Branch, P.E.

Address: P.O. Box 92946, Anchorage, Alaska 99509

Telephone No.: 907/360-0985 **Fax No.** _____

Landscape Architect: Corvus Design, Inc.

Address (include zip code): 2506 Fairbanks Street, Unit B, Anchorage, Alaska 99503

Telephone No.: 907/222-2859 **Fax No.** _____

To whom should notification go: Big City Engineers

Project Schedule

Notice to Proceed: November 2017

Completion of Schematic Design: November 2017

Completion of Design Development: January 22, 2018

Completion of Contract Documents: March 15, 2018

Contract Award Date: March 1, 2018

Completion of Construction: January 2019 (estimated)

Statewide Door and Glass

Highway Screening Plan Review Narrative

January 2018

Project Location

The proposed project is located along the southern half of the Labar Street turnaround on Lot 2, Block 1, Lucky Huffman Subdivision in Municipality of Anchorage (MOA) grid SW2732. The New Seward Highway abuts the eastern property boundary.

Property Zoning and Effective Code

The property is zoned B-4, a rural business district. The B-4 zoning does not exist under current code. The adopting ordinance for the current Title 21, AO 2012-124(S), establishes that the B-2A, B-2B, B-2C, D-2, B-4, and T zoning districts, as well as all areas within TSAIA property boundaries, shall continue to be under the old Title 21 until rezoned. A determination from Sonnet Calhoun, MOA Lead Land Use Reviewer, stated that the property is subject to the "old" Title 21 that was in effect prior to December 31, 2013.

As described above the property is located adjacent to the New Seward Highway. It is within the boundaries described in 21.45.130.2.a and does not meet the exceptions outlined in 21.45.130.3. As such, it is subject to Highway Screening Landscape Plan Review before the Urban Design Commission as outlined in 21.45.130.

The rest of the site landscaping is subject to the requirements of AMC 21.40.190.M.

Project Description

The proposed development project includes a single-story, 21,842 square foot (SF), specialty trade building with office, warehouse, and storage space. The property is 1.90 acres in size. Access is from Labar Street. Parking is located along the north and east sides of the building. Loading facilities are located at the southeast corner of the building, facing the highway screening landscaping. This location is the rear side of the property based on access.

Property Ownership and Adjacent Developments

Hammer Labar Property, LLC owns the property, which will be developed for Statewide Door and Glass. Both entities are owned by Michael Hammer. Mr. Hammer has provided a letter authorizing Big City Engineers, LLC to pursue the highway screening review required code on his behalf

The properties to the north and south are also zoned B-4. Properties to the west are zoned I-1, a light industrial district. Properties to the east (across the New Seward Highway) are zoned PLI, a public lands and institutions district. Most of the surrounding properties are already developed; the property directly west is the only exception. The property to the north is Faltz Nursery, an office building is directly to the south, and The Garages is to the southwest.

Request for Approval

We are requesting review and approval of the highway screening landscaping for the proposed development. Please see the narrative below and the attached plans for more information.



Statewide Door and Glass
Location Map





Departments > Finance > Property Appraisal > New Search > results

Back Taxes

Find Parcel Number [] - [] - [] - 000

Submit Search

Public Inquiry Parcel Details

Show Parcel on Map

PARCEL: 016-191-88-000 01/01 Commercial Vacant Land 05/17/17

HAMMER LABAR PROPERTY LLC LUCKY HUFFMAN
BLK 1 LT 2
10601 Prospect Drive
Anchorage AK 99502 0000 Site

Lot Size: 82,830 ---Date Changed--- ----Deed Changed---- GRW: PIWt
Zone : B4 Owner : 04/07/17 Stateid: 2017 0009042
Tax Dist: 003 Address: 04/07/17 Date : 03/10/17
Grid : SW2732 Hra # : Plat : 130062
GRW: PIWC REF #: 09/17/13 016-191-81-000

ASSESSMENT HISTORY

Table with 4 columns: Appraised Val, ---Land--, --Building-, ---Total---. Rows include years 2015-2017 and Taxable Value 2017.

Liv Units: 000 Common Area: Leasehold: Insp Dt: 07/15 Land Only
07/15 Exterior /

OTHER BUILDING AND YARD IMPROVEMENTS

Yard Structure: Size/Amt: Units: Yr/Blt: Condition: Funct/Util:
Chain Link Fence 6,000 01 15 Normal Normal

Feedback E-mail: wwfp@munio.org

GENERAL NOTES

- ALL SITE WORK CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MUNICIPALITY OF ANCHORAGE (MASS) STANDARD SPECIFICATIONS, CURRENT EDITION, UNLESS OTHERWISE SPECIFIED.
- LOCATIONS OF EXISTING UTILITIES ARE APPROXIMATE ONLY. VERIFY LOCATIONS BY OBTAINING UTILITY LOCATES PRIOR TO BEGINNING CONSTRUCTION.
- DIMENSIONS AND BATHI SHOWN ARE TO TOP BACK OF CURB, EDGE OF SIDEWALK, CENTER OF PAINT STRIPE OR FACE OF FOUNDATION UNLESS INDICATED OTHERWISE.
- ELEVATIONS ARE TO EDGE OF PAVEMENT, OR EARTHWORK FINISH GRADE UNLESS INDICATED OTHERWISE.
- EXISTING GROUND CONTOURS ARE BASED ON TOPOGRAPHIC SURVEY COMPLETED BY LOUNSBURY & ASSOCIATES, INC. IN JUNE 2017.
- PARKING SPACE STRIPING SHALL BE 4-INCH WIDE, WHITE PAINT, ACCESSIBLE ANGLED STRIPING SHALL BE AT 4-INCH WIDE BLUE PAINT AT A 45-DEGREE ANGLE SPACED 2 FEET ON CENTER. A 4-FOOT BY 4-FOOT INTERNATIONAL ACCESSIBLE SYMBOL, WHITE PAINT ON BLUE PAINT BACKGROUND, SHALL BE USED FOR THE ACCESSIBLE PARKING SPACE. THE ACCESSIBLE SYMBOL SHALL BE CENTERED AT THE BOTTOM OF THE PARKING SPACE.
- SOILS INFORMATION IS FROM SHANNON & WILSON, INC.'S GEOTECHNICAL REPORT DATED JANUARY 2017 AND TITLED: LOT 2, BLOCK 1, LABAR STREET, ANCHORAGE, ALASKA.
- ALL FILL MATERIAL SHALL BE PLACED IN LIFTS NO THICKER THAN 12 INCHES, AND COMPACTED TO AT LEAST 95% OF THE MAXIMUM DENSITY DETERMINED BY ASTM D 1557-03. EXISTING SOILS THAT QUALIFY AS CLASSIFIED FILL MAY BE UTILIZED AS BACKFILL. SUBMIT TEST RESULTS TO THE ENGINEER OF RECORD VERIFYING GRADATION OF EXISTING SOIL MATERIAL PRIOR TO PLACING AS BACKFILL.
- PROVIDE PASSING COMPACTION TESTS FOR ALL FILL AND BACKFILL PLACED AT A RATE OF ONE TEST PER 5,000 SQUARE FEET, PER LIFT.
- ASPHALT PAVEMENT SHALL BE MASS CLASS E.
- CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS.
- PROVIDE CONTROLS TO LIMIT SEDIMENT DISCHARGE FROM THE SITE DURING CONSTRUCTION DUE TO SOIL EROSION. THESE CONTROLS SHALL INCLUDE REGULAR SWEEPING OF STREETS ADJACENT TO THE SITE THAT ACCUMULATE SITE SOILS. ADDITIONAL CONTROLS MAY BE REQUIRED IF THESE MEASURES PROVE INADEQUATE TO PREVENT THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND UPDATE AS NECESSARY DURING CONSTRUCTION.
- FOLLOW ALL MUNICIPALITY OF ANCHORAGE REGULATIONS FOR NOISE, HOURS OF OPERATION, AND DUST CONTROL.
- RESTORE ALL DISTURBED PROPERTY OUTSIDE OF WORK LIMITS TO ORIGINAL CONDITIONS.
- HAUL ROUTES SHALL BE THE SHORTEST, MOST DIRECT ROUTES TO MINIMIZE TRAVEL ON LOCAL AND COLLECTOR ROADWAYS.

PARKING AND LOADING CALCULATIONS

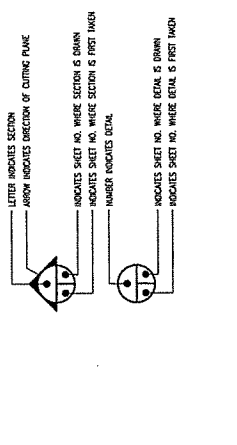
RECORDED PARKING	
OFFICE:	1 SPACE/300 SF
WAREHOUSE/STORAGE:	1 SPACE/1,000 SF
OFFICE:	3,542 SF/300 = 11.8 SPACES
STORAGE:	18,300 SF/1,000 = 18.3 SPACES
TOTAL REQUIRED PARKING:	30.1 = 31 SPACES
PROVIDED:	31 SPACES
ACCESSIBLE PARKING	
TOTAL ACCESSIBLE SPACES REQUIRED:	1 (1 VAN ACCESSIBLE)
TOTAL ACCESSIBLE SPACES PROVIDED:	2
LOADING:	
12,000-36,000 SF = 1 TYPE A LOADING BERTH REQUIRED	
3 TYPE A LOADING BERTHS PROVIDED (SEE CS10)	

YARD SETBACKS

RECORDED (B-4)	
FRONT	30 FT
REAR	110 FT
PROVIDED	
FRONT (NORTH)	30 FT
SIDE (EAST)	110 FT
SIDE (WEST)	70 FT
REAR (SOUTH)	28 FT

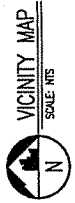
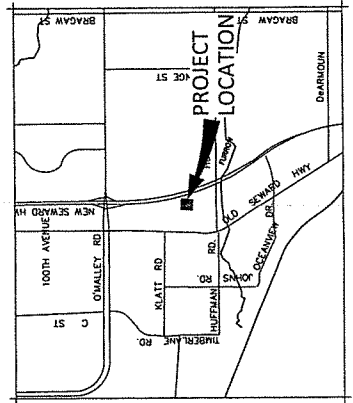
LEGEND

DESCRIPTION	NEW
PROPERTY LINE	---
EXISTENT	---
GRADE BREAK	---
CENTERLINE	---
DRAINAGE SWALE	---
DRAINAGE ARROW	---
GAS LINE	---
UNDERGROUND ELECTRIC	---
SEWER/4" MANHOLE	---
STORMWATER 12" MANHOLE	---
WATERLINE 12" MANHOLE	---
ELEVATION CONTOUR	---
EDGE OF ASPHALT	---
STRUCTURE	---
CONCRETE	---
SPOT ELEVATION	---
SKIN	---
FIRE HYDRANT	---
TEST BORING	---
LIGHT POLES	---
TEMPORARY BENCH MARK	---
2-1/2" BRASS CAP	---
ALUMINUM CAP	---



ABBREVIATIONS

AC	ASPHALT CONCRETE/ASBESTOS CEMENT
AS	ASBESTOS
BS	BENCH MARK
CI	CAST IRON
C	CENTERLINE
CMP	CORRUGATED METAL PIPE
CP	CONTROL POINT
CPEP	CORRUGATED POLYETHYLENE PIPE
DP	DUCTILE IRON PIPE
E	ELECTRICAL
EA	EACH
ELEV	ELEVATION
FL	FLOWLINE
GB	GRADE BREAK
LY	LINEAR FEET
LF	LINEAR FEET
MAX	MAXIMUM



PROPERTY & SURVEY DATA
 LEGAL DESCRIPTION: LOT 2, BLOCK 1, LUCKY HUFFMAN SUBDIVISION (PLAT NO. 2013-62)

SURVEY CONTROL

HORIZONTAL DATUM IS IN A LOCAL COORDINATE SYSTEM. COMPRESSION PARAMETERS GRID TO GROUND: NORTHING OFFSET + 2,000,000, EASTING OFFSET = 0, SCALE FACTOR = 0.99999106.
 THE DIMENSIONS ARE PER PLAT 2013-62. ALL DISTANCES ARE EXPRESSED IN US FEET.

- CP# 701 2-1/2" ALUMINUM MONUMENT N=598547.8660 E=1666000.1970
- CP# 702 5/8" REBAR N=598578.5150 E=1666002.5260
- CP# 703 5/8" REBAR N=598577.7250 E=1666000.2790
- CP# 704 2-1/2" ALUMINUM MONUMENT N=598608.0270 E=1665999.8810
- CP# 706 YPC ON 5/8" REBAR N=598329.4120 E=1666000.9700
- CP# 707 YPC ON 5/8" REBAR N=598330.4690 E=166611.4650
- CP# 708 YPC ON 5/8" REBAR N=598578.4760 E=1666147.5690
- CP# 709 YPC ON 5/8" REBAR N=598579.3780 E=1666315.3500

VERTICAL CONTROL

ELEVATIONS ARE BASED ON MOA GAB BENCHMARK "14" WITH ELEVATION 159.51'. BENCHMARK IS LOCATED ON THE SOUTHEAST CORNER OF THE CARRS ON HUFFMAN BUILDING. MONUMENT IS A 1/2" ANCHOR BOLT APPROXIMATELY ONE (1) FOOT ABOVE THE GROUND.

- CP# 601 SOUTH TAG BOLT OF FIRE HYDRANT N=598552 E=1665999 ELEV=174.876'
- CP# 602 1" BRASS CAP, NW CORNER ELEC WALL N=598334 E=1665993 ELEV=166.906'
- CP# 603 EASTERLY BOLT ON FIRE HYDRANT N=598552 E=1665999 ELEV=174.876'

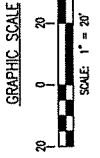
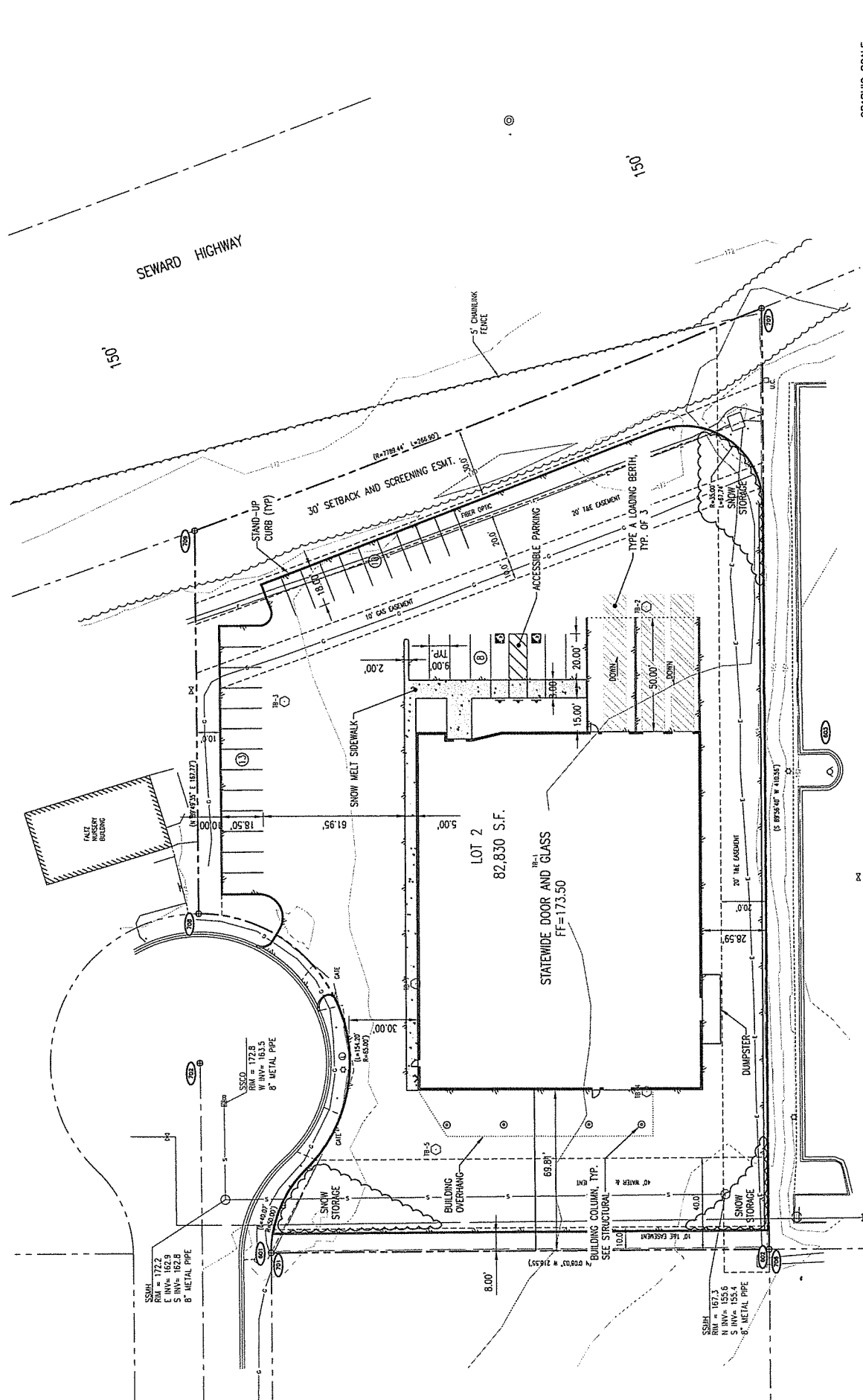
BEFORE DOING ANY DIGGING OR EXCAVATION

CALL FOR FREE UNDERGROUND LOCATION

ALASKA DIGLINE, INC.
 ANCHORAGE AREA: 278-3121
 STATEWIDE: 800-476-3121

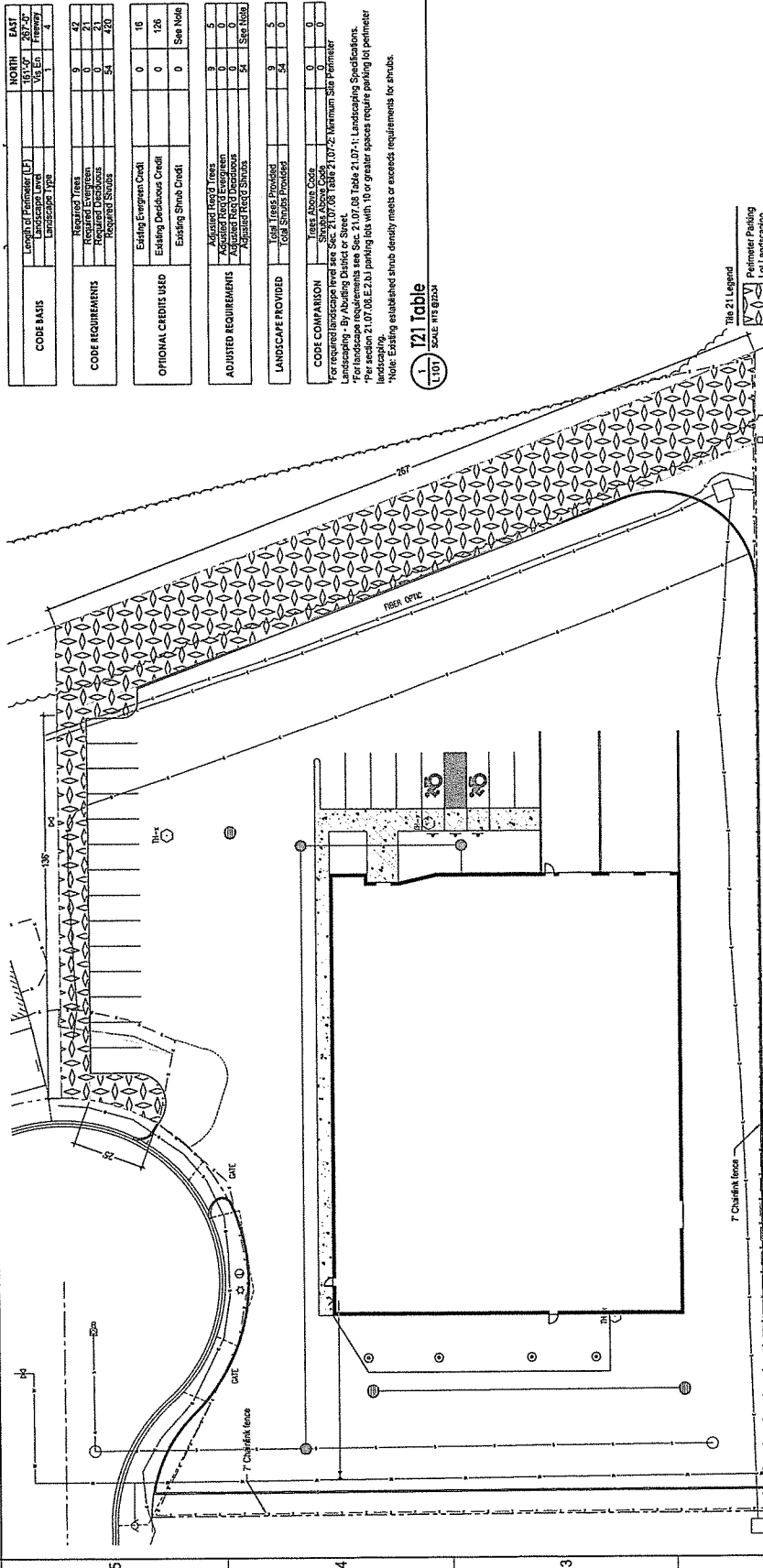
DRAWN	MAB
CHECKED	MAB
DATE	1.21.2018
SUB NO.	1005
SHEET NO.	C3.0
OF: 9	

65% REVIEW



SITE LAYOUT PLAN
SCALE: 1" = 20'

A B C D E F G H



CODE BASIS	LANDSCAPE TYPE	NORTH		EAST	
		MIN	MAX	MIN	MAX
Required Trees	Required Trees	0	9	0	42
Required Evergreen	Required Evergreen	0	0	0	21
Required Shrubs	Required Shrubs	0	54	0	420

OPTIONAL CREDITS USED	Existing Evergreen Credit		Existing Shrub Credit	
	MIN	MAX	MIN	MAX
Adjusted Tree Credits	0	18	0	126
Adjusted Evergreen Credits	0	0	0	0
Adjusted Shrub Credits	0	0	0	0

ADJUSTED REQUIREMENTS	Adjusted Tree Credits		Adjusted Evergreen Credits		Adjusted Shrub Credits	
	MIN	MAX	MIN	MAX	MIN	MAX
Required Trees	0	9	0	0	0	5
Required Evergreen	0	0	0	0	0	0
Required Shrubs	0	54	0	54	0	54

LANDSCAPE PROVIDED	Total Trees Provided		Total Shrubs Provided	
	MIN	MAX	MIN	MAX
Adjusted Tree Credits	0	9	0	5
Adjusted Evergreen Credits	0	0	0	0
Adjusted Shrub Credits	0	54	0	0

1. T21 Table
 SCALE: 1/8" = 1'-0"

2. T21 Plan
 SCALE: 1/8" = 1'-0"

Fig. 2-1 Legend
 Perimeter Parking Lot Landscaping

Fig. 2-2 Legend
 Perimeter Parking Lot Landscaping

Fig. 2-3 Legend
 Perimeter Parking Lot Landscaping

Fig. 2-4 Legend
 Perimeter Parking Lot Landscaping

Fig. 2-5 Legend
 Perimeter Parking Lot Landscaping

Fig. 2-6 Legend
 Perimeter Parking Lot Landscaping

Fig. 2-7 Legend
 Perimeter Parking Lot Landscaping

Fig. 2-8 Legend
 Perimeter Parking Lot Landscaping

Fig. 2-9 Legend
 Perimeter Parking Lot Landscaping

Fig. 2-10 Legend
 Perimeter Parking Lot Landscaping

Fig. 2-11 Legend
 Perimeter Parking Lot Landscaping

Fig. 2-12 Legend
 Perimeter Parking Lot Landscaping

Fig. 2-13 Legend
 Perimeter Parking Lot Landscaping

Fig. 2-14 Legend
 Perimeter Parking Lot Landscaping

Fig. 2-15 Legend
 Perimeter Parking Lot Landscaping

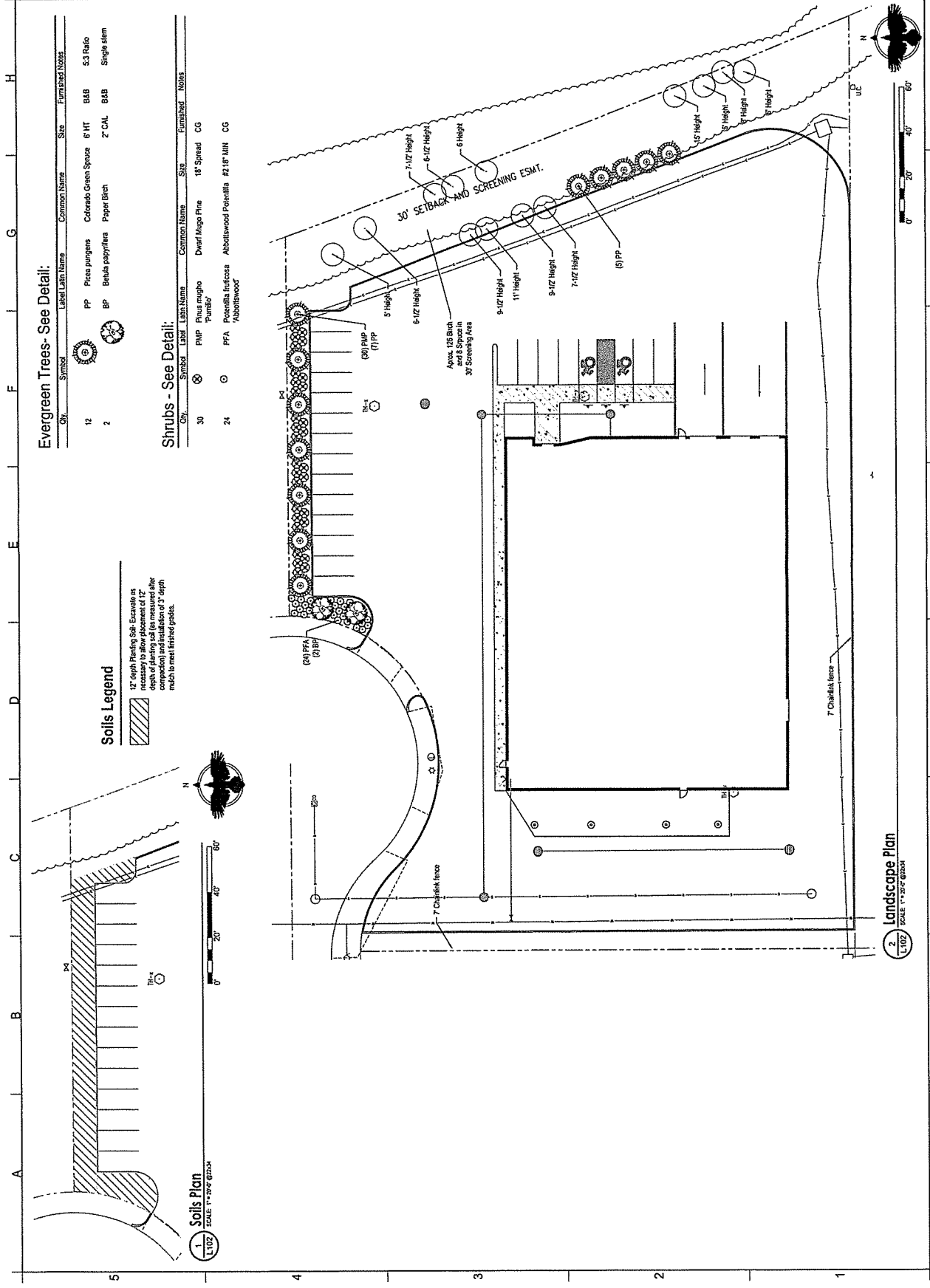
Fig. 2-16 Legend
 Perimeter Parking Lot Landscaping

Fig. 2-17 Legend
 Perimeter Parking Lot Landscaping

Fig. 2-18 Legend
 Perimeter Parking Lot Landscaping

Fig. 2-19 Legend
 Perimeter Parking Lot Landscaping

Fig. 2-20 Legend
 Perimeter Parking Lot Landscaping



Evergreen Trees- See Detail:

Qty.	Symbol	Label Latin Name	Common Name	Size	Furnished Notes
12	(Symbol)	PP Picea pungens	Colorado Green Spruce	6' HT	B&B 5:3 Ratio Single stem
2	(Symbol)	BP Betula papyrifera	Paper Birch	2' CAL	B&B

Shrubs - See Detail:

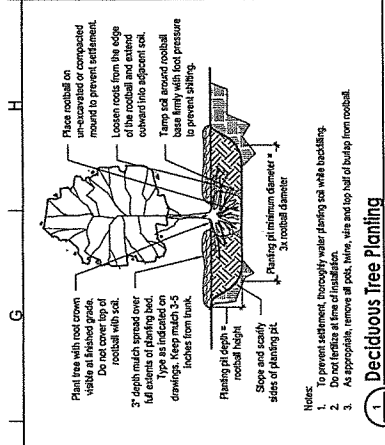
Qty.	Symbol	Label Latin Name	Common Name	Size	Furnished Notes
30	(Symbol)	PMP Picea mariana	Dwarf Mugo Pine	18" Spread	CG
24	(Symbol)	PFA Potentilla fruticosa	Abbotswood Potentilla	#2, 18" MIN	CG

Soils Legend

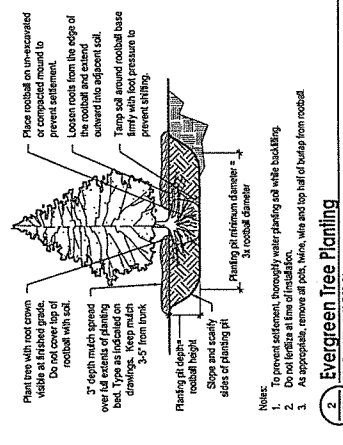
12' depth planting soil. Excavate as necessary to allow placement of 12' depth planting soil. Soil compaction and installation of 3" depth mesh to meet finished grade.

1
 Soils Plan
 SCALE: 1" = 20' @ 20x34"

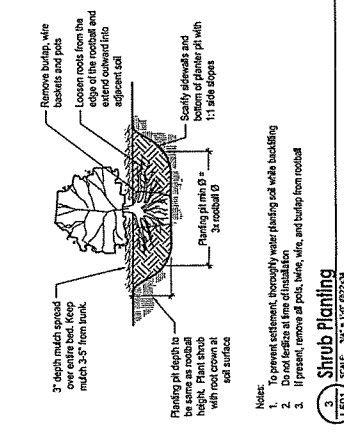
2
 Landscape Plan
 SCALE: 1" = 20' @ 20x34"



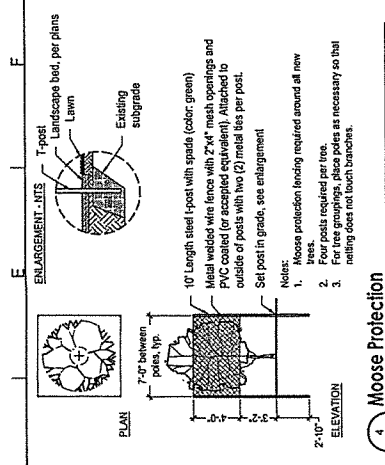
1 Deciduous Tree Planting
 SCALE: 1/2" = 1'-0" @ 2324



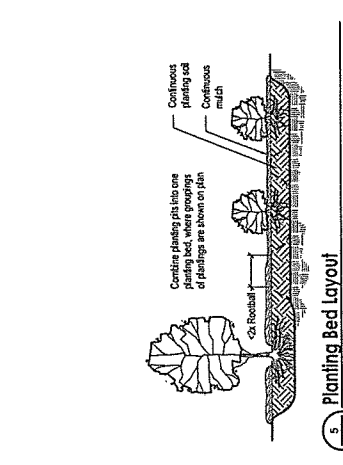
2 Evergreen Tree Planting
 SCALE: 1/2" = 1'-0" @ 2324



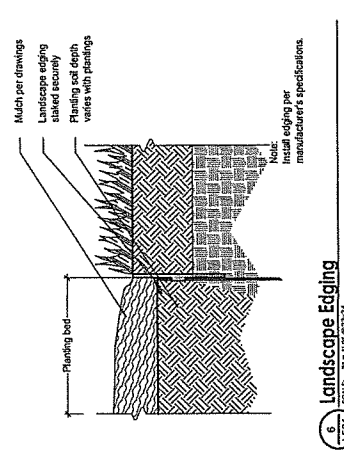
3 Shrub Planting
 SCALE: 3/4" = 1'-0" @ 2324



4 Moose Protection
 SCALE: 3/16" = 1'-0" @ 2324



5 Planting Bed Layout
 SCALE: 3/8" = 1'-0" @ 2324



6 Landscape Edging
 SCALE: 3/4" = 1'-0" @ 2324

SEAL:

Lucky Huffman BLK 1 Lot 2 - Application For Conditional Use (Property Tax #01-619-188)
Exhibit: Documentation of Existing Perimeter Vegetation

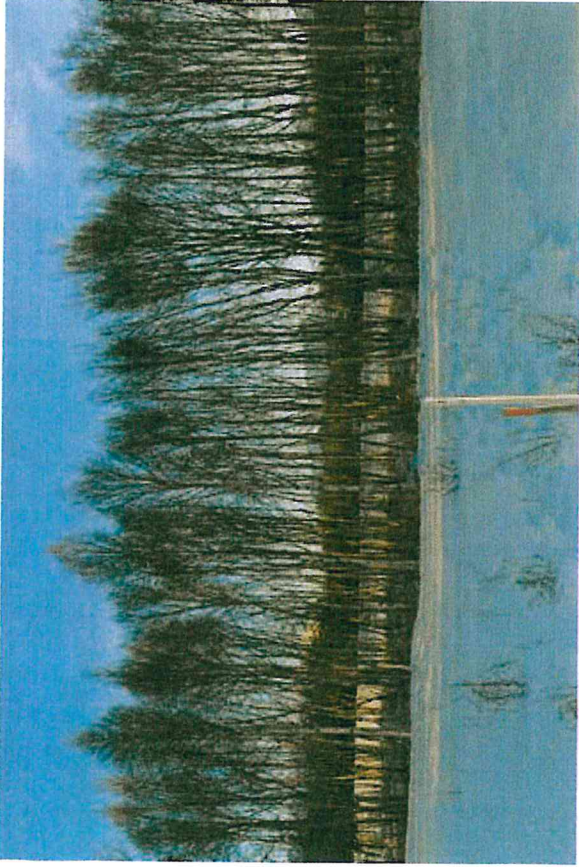


Photo 1. East site perimeter

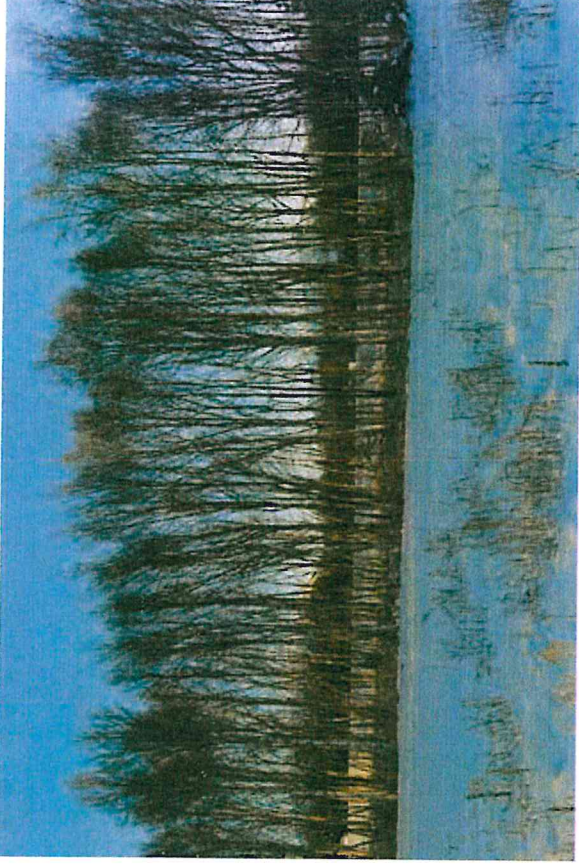


Photo 2. East site perimeter

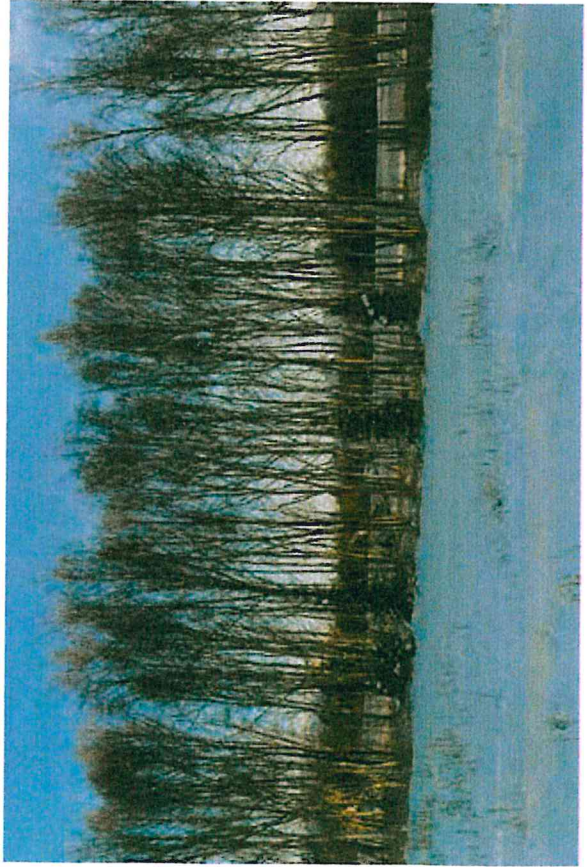


Photo 3. East site perimeter



Photo 4. East site perimeter

Lucky Huffman BLK 1 Lot 2 - Application For Conditional Use (Property Tax #01-619-188)

Exhibit: Documentation of Existing Perimeter Vegetation



Assessments use NEW Title 21.

The east site boundary (parallel to Seward Hwy) is a high density birch forest, with some minor spruce quantities and a typical birch forest shrub understorey. Photos are included to illustrate density. Existing vegetation within an area between 23 and 28' inside of the property line, within a larger vegetation mass which extends to Seward Highway ramps. All existing vegetation within this area is to be retained to meet Freeway Landscape (L4) requirements per MOA Title 21 Table 21.07-1. 30' of landscape landscape adjacent to the east boundary is allocated to meet requirements.

Deciduous Trees - Based on randomly measuring trees within the area, the majority of birch trees are between 2" and 9" caliper. The quantity and caliper of birch trees exceeds code requirements by a large amount based on value for existing retained trees per AO 21.07.080.F.1.

Evergreen Trees - Ten spruce trees are within the area to be retained, ranging in height from 6' to 11'. Three of the trees were over 10' in height, being valued at 3 trees each based on AO 21.07.080.F.1. The remainder of trees count for one each, providing a total quantity of 16 evergreen trees. Five additional trees are provided to meet code requirements.

Lucky Huffman BLK 1 Lot 2 - Application For Conditional Use (Property Tax #01-619-188)
Exhibit: Documentation of Existing Perimeter Vegetation



Photo 5. East site perimeter

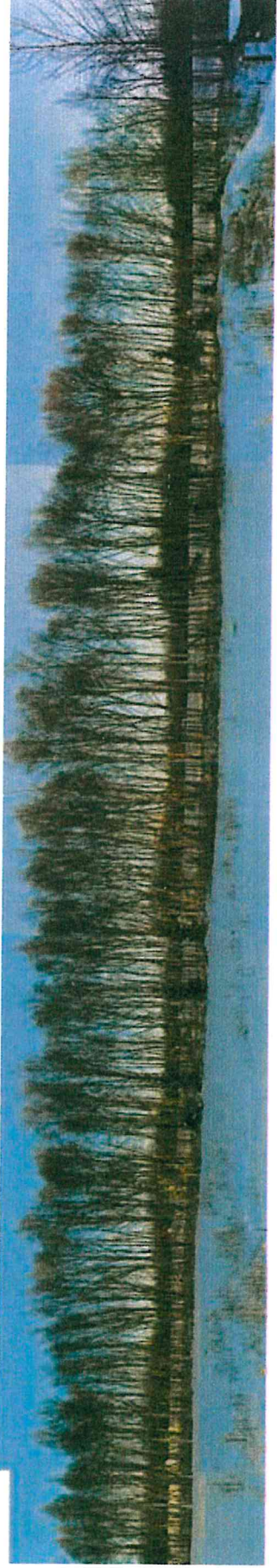


Photo 6. Entire east site perimeter (combined panorama)

Lucky Huffman BLK 1 Lot 2 - Application For Conditional Use (Property Tax #01-619-188)

Exhibit: Documentation of Existing Perimeter Vegetation



Photo 7. East Boundary - Large Birch - 7" Avg Cal.



Photo 8. East Boundary - Small Birch - 2-3/4" Avg Cal.

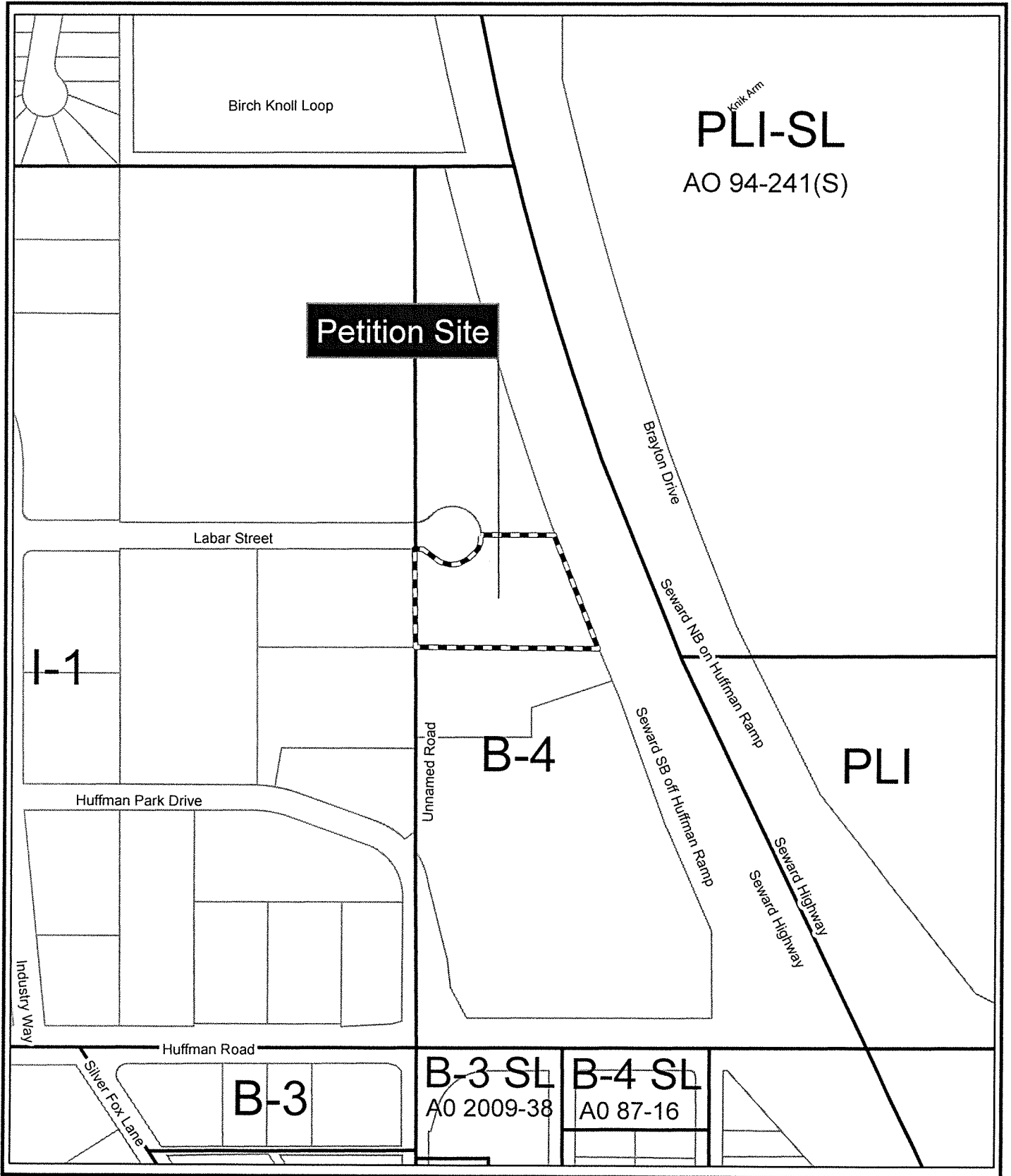


Photo 9. East Boundary - Spruce - 9-1/2' Avg Height



Photo 10. East Boundary-Spruce - 6'-15' Height

2018-0035



2018-0035

