

# **LAW OFFICES OF ERNOUF & COFFEY**

**A PROFESSIONAL CORPORATION**

**PO Box 212314**

**Anchorage, Ak 99521**

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## **MEMO TO MUNICIPALITY OF ANCHORAGE APPLICATION TO EXPAND LICENSED PREMISES**

**TO:** Municipality of Anchorage  
Current Planning Department  
**ATTN:** Francis McLaughlin  
**CC:** Dimond Center Hotel  
**ATTN:** Tony Cange & Tom Shepherd  
**FROM:** Ernouf and Coffey  
**ATTN:** Dan Coffey  
**RE:** Modification of Special Land Use Permit  
Expansion of Licensed Premises  
**DATE:** 11-16-2016

### **PURPOSE:**

The Dimond Center Hotel is the holder of a Beverage Dispensary Liquor License – Tourism. The purpose of this Memo is to describe, in detail, this Application for an expansion of the licensed premises at the Hotel. The expansion requires the approval of both the Municipality of Anchorage (hereinafter “MOA”) and the Alcohol Beverage Control Board (hereinafter “ABC Board”).

### **HISTORY:**

The Hotel applied for and was approved for the sale of alcoholic beverages pursuant to a tourism beverage dispensary license by both the Municipality and the ABC Board in 2002. At that time, the requisite land use permit for the sale of alcoholic beverages was entitled as a Conditional Use Permit. The same permit is now called a Special Land Use Permit. While there have been some changes from the old process to the new process, those changes are minor, mostly being related to filing and notice requirements.

In preparation for the drafting of this Memo, the Applicant's attorney reviewed the Conditional Use Permit application file from 2002 consisting of 89 pages. The majority of the documents in that application describe conditions that continue to exist to this day. The ownership of the facility, its location, its business (hotel), the type of license issued by the ABC Board (Tourism Beverage Dispensary license), as well as the "Findings" by MOA staff in its analysis dated September 1, 2002 are all relevant to this application.

The only significant changes from the 2002 process that should be noted is that the number of liquor licenses of all types has changed. In 2002, the staff identified five (5) licenses within 1,000 feet of the Hotel: three of which were "restaurant/eating place" licenses, one was a package store and one was a recreational site license.

At least one of those licenses (Roundtable Pizza – located in the Dimond Mall) has closed and two new restaurants with beverage dispensary licenses have opened in the Dimond Mall: Olive Garden and Chilis.

In 2002, the staff also surveyed liquor licensed businesses within a 3,000-foot radius. At that time, the staff identified 20 licensed businesses which included the five (5) noted above within the Dimond Mall. Of the other 15 identified licenses outside of the Dimond Mall; 3 were package store licenses (including K-Mart which is no longer in business); 5 were restaurant/eating place licenses; 5 were beverage dispensary licenses; and 2 were club licenses.

The area within the 3,000-foot radius is highly commercialized. The main roads are Dimond Boulevard and the Old Seward Highway. Given the extent of commercial development in the area and the likelihood of change over the past decade, while there are likely to be a similar number of licenses, undoubtedly some of those licenses that were located in that 3,000 foot radius have closed and other licensed locations have opened. Given the cost of surveying the area within the 3,000 foot radius, the fact that this application seeks a modification of an existing licensed operation and the absence of any ordinance or regulation requiring the Applicant to conduct such a survey, the Applicant has not identified new or closed licenses within the 3,000 feet radius.

Included with the 2002 Staff Analysis were 15 pages of comments from Municipal departments and agencies as well as one comment from the state department of transportation and public facilities. None had any objections to the permit application.

The Applicant's Description of the "Planned Use" in 2002, described alcohol service as being limited to the "Camel Rock Lounge" and the adjacent outside patio. The size and location of the existing licensed premises remains unchanged from 2002.

Detailed site plan drawings were submitted at the time and are still to be found in the Planning Department's 2002 file. The Hotel, as currently configured, is still accurately depicted in those drawings and diagrams.

#### MODIFICATION OF EXISTING SPECIAL LAND USE PERMIT:

In discussions with MOA staff, we have been advised that there is no specific section in Municipal Code or regulation dealing with the process for changing the size or location of an existing licensed premises. In those discussions with staff, the Applicant's attorney was directed to submit, in writing, a description of what is being requested along with a fee payment of \$1,080.00. This Memo is written in response to Staff's directions.

The Applicant is seeking a modification that involves the expansion of alcohol service to three (3) banquet/meeting rooms; to the area immediately adjacent to the Camel Rock Lounge; and in the dining room which is also immediately adjacent to the Lounge.

Also, assuming approval by the Hotel's Board of Directors, an outside portico on the east side of the hotel (to which there is no current access), may be modified for use as an outdoor patio with views of the Chugach mountains to the east.

This will require a building permit from the MOA, but until approval by the Board is given, this area will not be used. However, the Applicant seeks approval of this "portico/patio" during this current process (subject to building code requirements) so that it will not be required to file yet another modification application.

#### DESCRIPTION OF THE PROPOSED MODIFICATION & USEAGE:

The use of the Camel Rock Lounge and the adjacent patio will continue as it has over the last 14 years. The proposed modifications expanding the licensed premises within the hotel are as follows:

- 1) Expand to permit alcohol sales and service in the large banquet/meeting room of 1538 square feet (occupancy 103) on the first floor (see attached first floor diagram);

This room will be used for meetings and banquets as is the common practice of most hotels in anchorage.

This room will not have a fixed bar. Alcohol service will be provided from free standing mobile stations staffed by TAM trained employees to guests directly or by TAM trained waiters and waitresses.

- 2) Expand to permit alcohol sales and service to a smaller banquet/meeting room of 654 square feet (occupancy 20) on the second floor (see attached second floor diagram);

This room will be used for meetings and banquets as is the common practice of most hotels in anchorage.

This room will not have a fixed bar. Alcohol service will be provided from free standing mobile stations staffed by TAM trained employees to guests directly or by TAM trained waiters and waitresses.

- 3) Expand to permit alcohol sales and service to a smaller banquet/meeting room of 315 square feet (occupancy 10) on the second floor (see attached third floor diagram);

This room will be used for meetings and banquets as is the common practice of most hotels in anchorage.

This room will not have a fixed bar. Alcohol service will be provided from free standing mobile stations staffed by TAM trained employees to guests directly or by TAM trained waiters and waitresses.

- 4) Expand to permit alcohol sales and service in an area immediately adjacent to the existing lounge when larger events are planned on the first floor lobby of the hotel (see attached first floor diagram).

This last proposed expanded premises, consisting of approximately 200 to 250 square feet, will provide service at times when a special event is taking place in the Camel Rock Lounge but attendance is greater than what can be accommodated within the existing Lounge. Service may be provided from the existing fixed bar in the Camel Rock Lounge or may be provided by a mobile station outside of the Lounge. The area where alcohol is to be served will be cordoned off from the rest of the lobby to insure that alcohol is not removed from the premises.

This area will not have a fixed bar. Alcohol service will be provided from free standing mobile stations staffed by TAM trained employees to guests directly or by TAM trained waiters and waitresses to guests.

5) Expand to permit alcohol sales and service to the dining area immediately adjacent to the Lounge as depicted on the attached diagram. There is a door between the Lounge and the dining area which allows direct access to the dining area (See attached first floor diagram).

The Applicant will address the issues of minors on the dining area premises during its application to the ABC Board for this expansion of the areas in which liquor may be sold and consumed.

6) Expand to permit alcohol sales and service to the outside "portico/patio" on the east side of Hotel on third floor (see attached third floor diagram).

As noted above, the "portico/patio" will have to be modified to allow for occupancy by guests and staff. This will require a building permit and will, undoubtedly, result in considerable expense. The Board of the Hotel is considering this location for the necessary improvements. Assuming that the Board approves the project, an architect and engineer will draw up plans, a building permit will be obtained and the necessary improvements will be made.

This area is intended to be used primarily during the summer tourist season. The deck affords guests a sweeping view of the Chugach Mountain range to the east of the Hotel.

Attached to this Memo are the following exhibits:

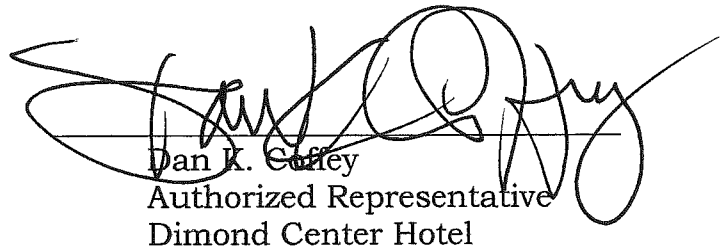
- 1) A Resolution appointing Tom Shepherd, General Manager the Applicant's authorized agent and Attorney Dan K. Coffey of the Law Firm of Ernouf and Coffey as the Applicant's representative in its dealings with the Municipality and the Alcohol Control Board with regard to this proposed expansion of licensed premises.
- 2) Three (3) diagrams/floor plans of the first, second and third floors of the hotel showing the existing licensed premises and the

locations where the Applicant is applying to expand the licensed premise.

- 3) A site Plan for the Hotel and a Plat of the property.
- 4) The parking calculations for a Hotel with a bar, restaurant and meeting rooms based on the Title 21 Table (21.07-4) along with a Memorandum of Agreement with the Dimond Mall for additional parking.
- 5) Photographs of the areas to in which alcohol sales and service is requested along with a "flyer" promoting the three (3) meeting/banquet rooms.

With this Memo in staff's hands, we are prepared to meet and discuss the process by which this Applicant can proceed and be approved.

DATED at Anchorage, Alaska this 16 day of November 2016.

  
Dan K. Coffey  
Authorized Representative  
Dimond Center Hotel



Seldovia Native Association Inc.  
101 W. Benson Blvd. Ste. #302, Anchorage, AK 99503  
907-868-8006 Main 907-868-8042 Fax

**Property Owner Authorization  
And  
Acknowledgement of Application**

We hereby grant permission to acknowledge that the Dimond Center Hotel is applying for a conditional use permit for the retail sales of alcoholic beverages on a property under our ownership and that as part of the conditional use permit process the Assembly may apply conditions which will be the responsibility of the property owner to satisfy.

We hereby assign Thomas Shepherd to act as our agent in this conditional use permit application and authorizes the Law Firm of Ernouf and Coffey to represent the applicant.

Signed this 11<sup>th</sup> of November 2016.

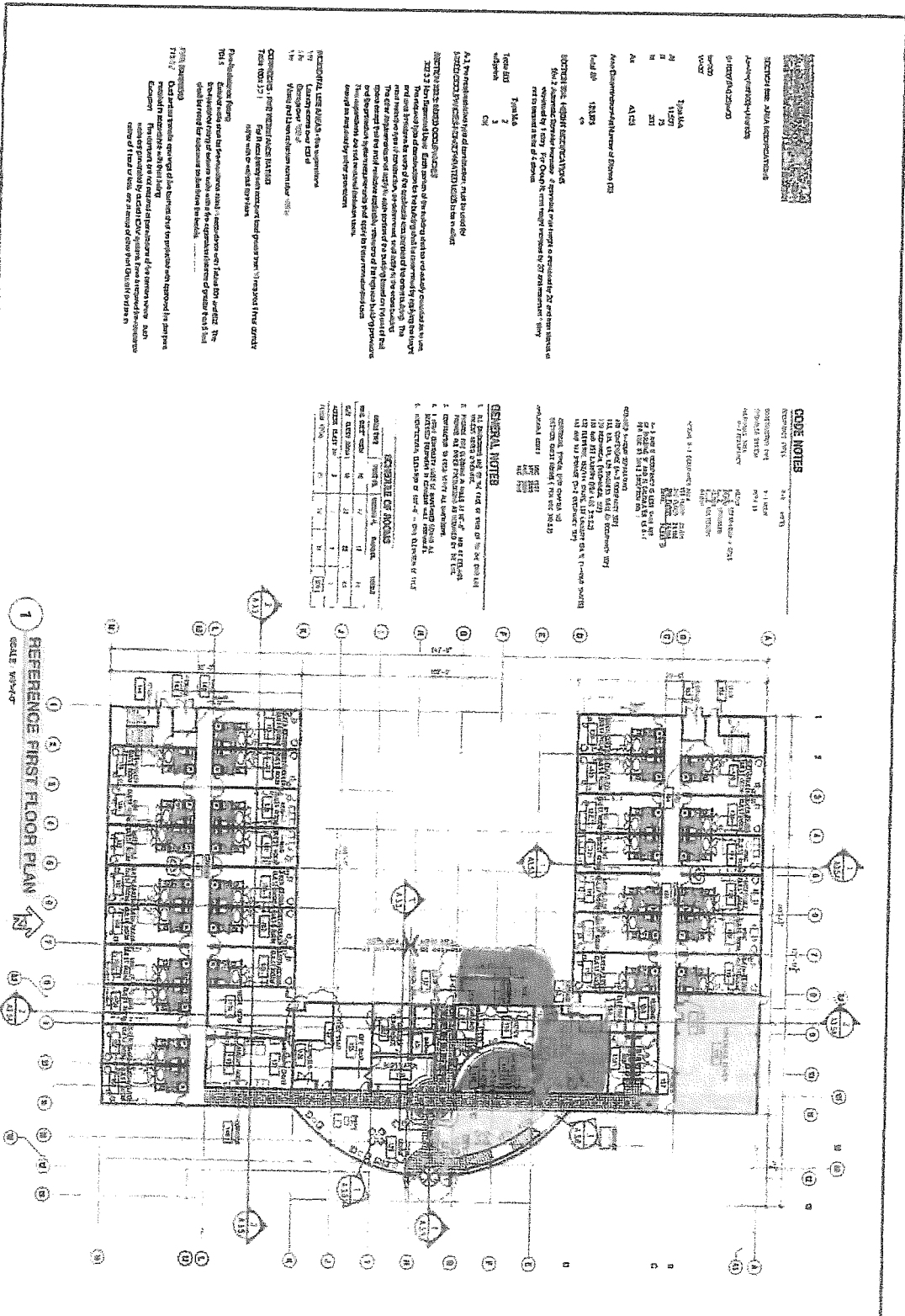
Tony Cange

Signature

CEO

Title

# 1<sup>ST</sup> FLOOR



### CODE NOTES

1. All work shall be in accordance with the latest editions of the following codes and specifications unless otherwise indicated:

- AIA 1997
- ASCE 7-98
- IBC 2003
- IRC 2003
- IS 1000
- IS 1001
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- IS 1005
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### GENERAL NOTES

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3	ISSUED FOR [Description]	7/20/01	J. [Name]	[Name]
4	ISSUED FOR [Description]	7/20/01	J. [Name]	[Name]
5	ISSUED FOR [Description]	7/20/01	J. [Name]	[Name]

### REVISIONS

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### PERMITS

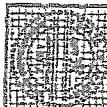
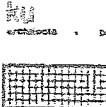

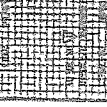
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### CONSTRUCTION SET - JULY 20, 2001

### SCALE: 1/8" = 1'-0"

### 1 REFERENCE FIRST FLOOR PLAN

ARCHITECTS • PLANNERS • INTERIOR DESIGNERS  
**DIAMOND CENTER HOTEL**  
 ARCHITECTS • PLANNERS • INTERIOR DESIGNERS

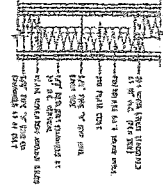
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# 2ND FLOOR

## INTERIOR PARTITION TYPES

1. TYPE 1 PARTITION: 1/2" GYPSUM BOARD ON EACH SIDE OF 1" FIBROGLASS INSULATION. ATTACHMENT: 1/2" x 1/4" STAPLES TO STUDS.
2. TYPE 2 PARTITION: 1/2" GYPSUM BOARD ON EACH SIDE OF 1" FIBROGLASS INSULATION. ATTACHMENT: 1/2" x 1/4" STAPLES TO STUDS.
3. TYPE 3 PARTITION: 1/2" GYPSUM BOARD ON EACH SIDE OF 1" FIBROGLASS INSULATION. ATTACHMENT: 1/2" x 1/4" STAPLES TO STUDS.
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6. TYPE 6 PARTITION: 1/2" GYPSUM BOARD ON EACH SIDE OF 1" FIBROGLASS INSULATION. ATTACHMENT: 1/2" x 1/4" STAPLES TO STUDS.
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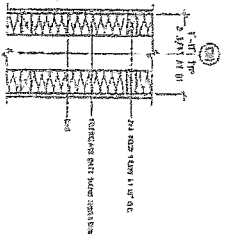


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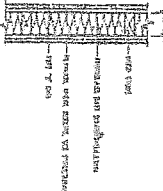


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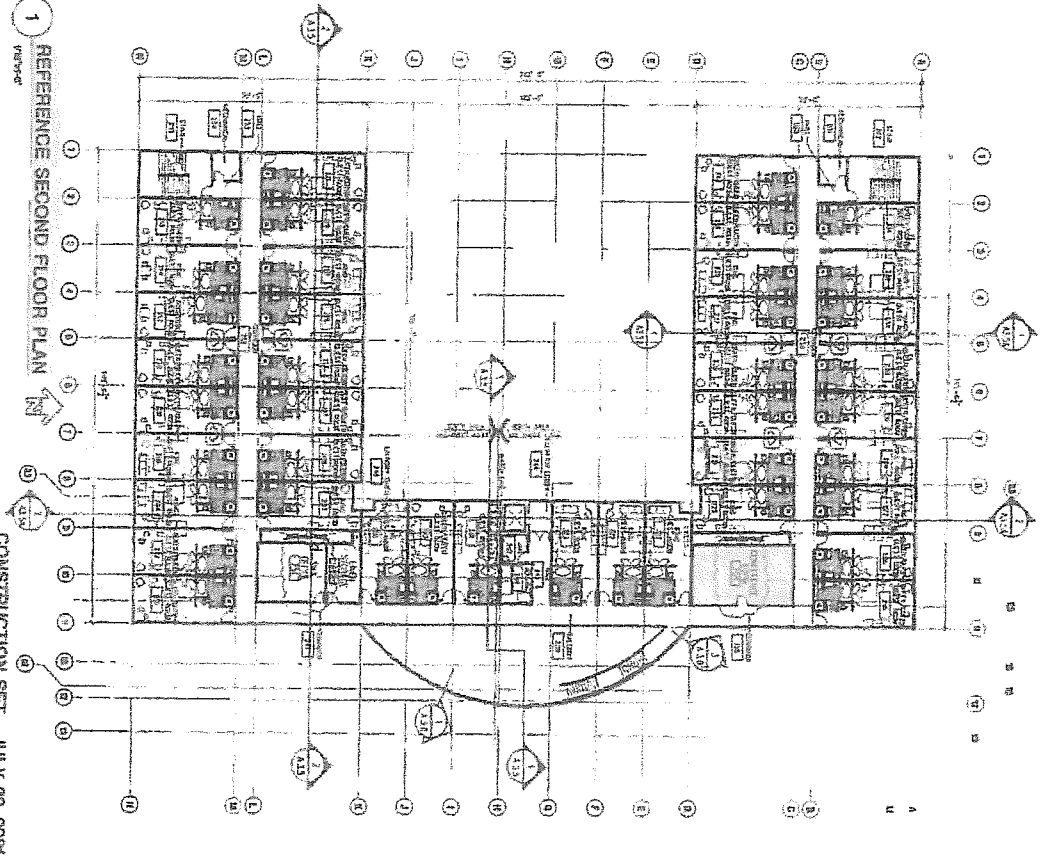
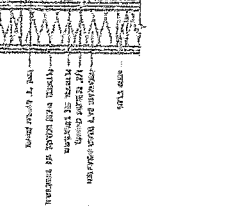
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2. TYPE 2 PARTITION: 1/2" GYPSUM BOARD ON EACH SIDE OF 1" FIBROGLASS INSULATION. ATTACHMENT: 1/2" x 1/4" STAPLES TO STUDS.

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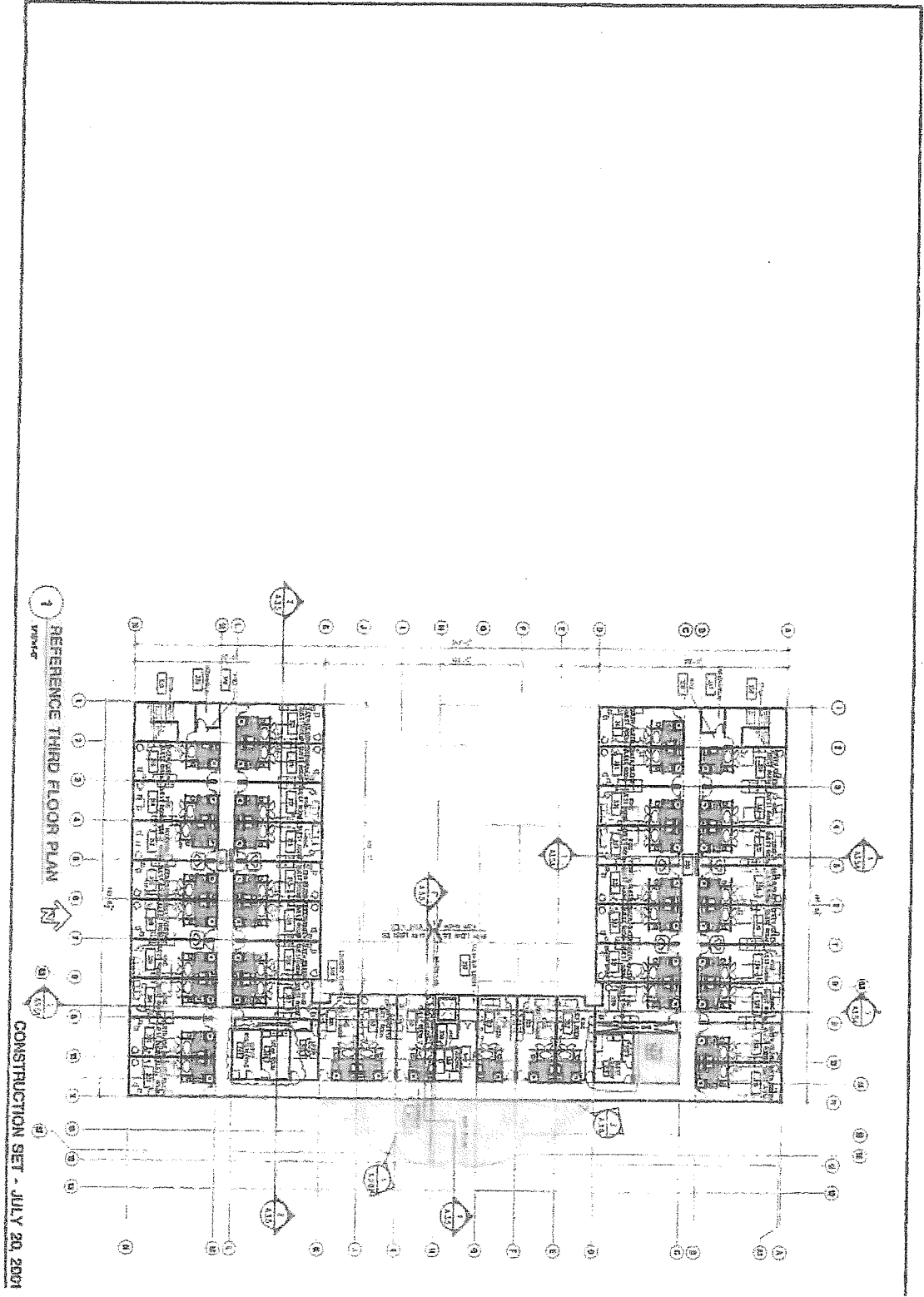
**DMC GROUP**  
architects • planners • interior designers

**DMC GROUP**  
architects • planners • interior designers

**DMC GROUP**  
architects • planners • interior designers

3

# 3RD FLOOR



1 REFERENCE THIRD FLOOR PLAN

CONSTRUCTION SET - JULY 20, 2001

Architectural title block containing the following information:

- Project Name: **DIVISION ONE**
- Client: **UNITED STATES GOVERNMENT**
- Architect: **KURTZ ASSOC. S. INC.**
- Services: **ARCHITECTS • PLANNERS • INTERIOR DESIGNERS**
- Scale: **1/4" = 1'-0"**
- Sheet Number: **3**
- Project Number: **100-100-100-100**
- Date: **JULY 20, 2001**





Area	Sq. Ft.	Occupancy	Parking Spaces
<b>Hotel</b>		<b>109</b>	<b>98</b>
<b>Chesloknu Ballroom</b>	<b>1538</b>	<b>103</b>	<b>26</b>
<b>Kachemak Bay Boardroom</b>	<b>654</b>	<b>20</b>	<b>5</b>
<b>3rd Floor Meeting Room</b>	<b>315</b>	<b>10</b>	<b>3</b>
<b>Bar</b>	<b>436</b>		<b>4</b>
<b>Breakfast Area</b>	<b>280</b>		<b>3</b>
<b>Parking Requirements</b>			<b>139</b>
<b>Current Hotel Parking</b>			<b>145</b>

**Hotel: .9 \* Number of Rooms**

**Meeting Space Occupancy: Occupancy/4**

**Bar/Restaurant: 1 Per 100 Square Feet**

## EXHIBIT C

### MEMORANDUM OF AGREEMENT FOR ADDITIONAL PARKING

This Memorandum of Agreement for Additional Parking ("MOA") is entered into as of April 19, 2013, by and between Dimond Center, LLC, whose address is 800 E. Dimond Boulevard, Suite 3-500, Anchorage, Alaska 99515 ("Grantor"), and Dimond Center Hotel, LLC, whose address is 700 E. Dimond Boulevard, Anchorage, Alaska 99515 ("Grantee"),

WHEREAS, Grantor has agreed to sell its membership interest in Grantee to Seldovia Native Association, Inc.;

WHEREAS, Grantor wishes to allow Grantee, and its employees and invitees, to park in a portion of land owned by Grantor, subject to the terms and restrictions set forth herein, to be effective upon the closing of the sale of Grantor's membership interest in Grantee;

WHEREAS, Grantee wishes to use this parking area, subject to the terms and restrictions set forth herein,

NOW, THEREFORE, in consideration of the mutual promises and covenants set forth herein, the parties agree as follows:

1. **Grant.** Grantor grants to Grantee, and its employees and invitees, the right to park motor vehicles on no more than twenty-seven (27) parking spaces located on the western edge of Fragment Lot 9A-1, Block 2, Dimond Industrial Subdivision, according to Plat No. 9578, which is owned by Grantor, as depicted on the attached Exhibit D ("Parking Area").
2. **Effective Date.** This grant is effective upon the closing of the sale of Grantor's membership interest in Grantee. If this closing does not occur for any reason, this MOA has no force or effect.
3. **Space-Available Basis.** This grant is made on a space-available basis only, as may reasonably be determined by Grantor.
4. **Conditions.** This grant is subject to the following conditions:
  - 4.1. **Parking on the Parking Area shall be temporary.** No vehicle shall be parked for more than twenty four (24) hours.
  - 4.2. **The Parking Area shall not be used for the storage of vehicles or any other item or items.**

4.3. Grantee shall ensure that its use of the Parking Area does not unreasonably interfere with Grantor's use and enjoyment of Fragment Lot 9A-1.

4.4. Grantee shall not permit any nuisance, or the discharge of any Hazardous Substance, as that term is defined in the Purchase and Sale Agreement for Membership Interest in Dimond Center Hotel, LLC, on the Parking Area.

4.5. Grantee shall not construct or install any temporary or permanent barriers, boundaries, or signs on or adjacent to the Parking Area.

4.6. Grantee's use of the Parking Area shall be subject to reasonable rules and regulations, as may be established by Grantor from time to time.

4.7. Grantee may not assign or sublet the Parking Area to any other person or entity, without the prior written consent of Grantor, provided that Grantee may permit its employees and invitees to park in the Parking Area, subject to the terms of this MOA.

4.8. Grantee shall not permit the washing or repairing of vehicles in the Parking Area.

4.9. Only motor vehicles that are fully operational and licensed for travel on the public roads may be parked in the Parking Area.

5. **No Warranties.** Grantor makes the Parking Area available for use by Grantee, and its employees and invitees, AS IS, WHERE IS. Grantor makes no warranties or representation about the condition or character of the Parking Area.

6. **Waiver and Indemnity.** Grantee, and its employees and invitees, agree to use of the Parking Area at their own risk, and they waive any liability of Grantor regarding that use. Grantee agrees to defend, indemnify, and hold harmless Grantor from any use of the Parking Area by Grantee, or its employees or licensees.

7. **Insurance.** Grantee shall purchase general commercial liability insurance that specifically covers the use of the Parking Area by Grantee, its employees and invitees. This insurance shall name Grantor as an additional named insured, and it shall be in an amount as may reasonably be determined from time to time by Grantor.

8. **Liability for Damages.** Grantee shall be liable to Grantor for any damages to the Parking Area caused by Grantee, or its employees or licensees.

9. **Maintenance.** Grantor shall maintain the Parking Area at a time and in manner subject to its determination and discretion.

10. **Modification.** Grantor reserves the right to modify the location of the Parking Area, upon written notice to Grantee, provided that such modification does not materially diminish Grantee's parking use.

11. **Amendment or Termination.** This MOA may be amended or terminated at any time by an instrument executed for such purpose and signed by Grantor and Grantee, or their successors and assigns.

12. **Successors and Assigns.** This MOA shall be binding upon and inure to the benefit of Grantor and Grantee and their successors and assigns.

13. **Governing Law.** This MOA shall be governed by and construed and enforced in accordance with the laws of the State of Alaska.

GRANTOR:  
DIMOND CENTER, LLC

Dated: April 19, 2013 \_\_\_\_\_  
By: José M. Hernandez  
Its: Manager

Acknowledgment

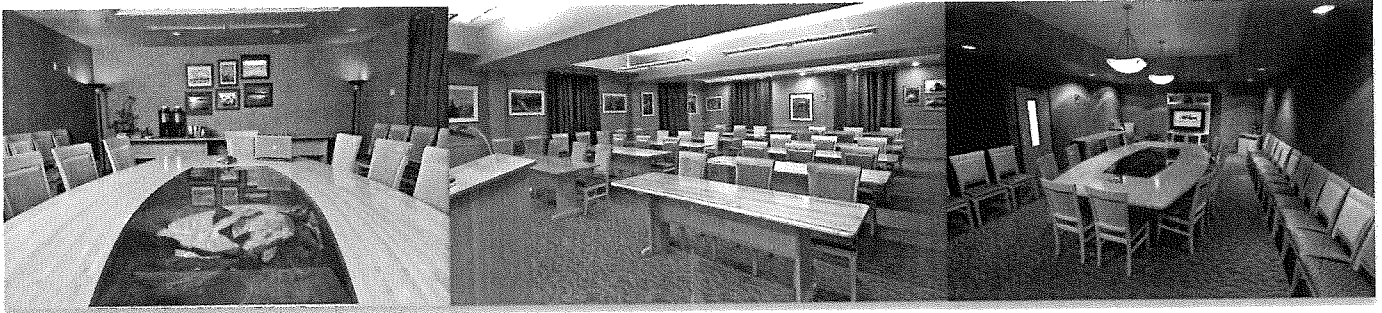
On this 19<sup>th</sup> day of April, 2013, before me personally appeared José M. Hernandez, to me personally known to be the MANAGING - MEMBER of Dimond Center, LLC, who signed the foregoing document for the purposes expressed therein.

WITNESS my hand and official seal.  
My commission expires: October 22, 2016  
Tanya Garber  
Notary Public for the State of Alaska





**Dimond Center**  
HOTEL



The Dimond Center Hotel is not only the place to stay, but also the place to gather. Whether it is for work or pleasure, experience the comfortable and uniquely decorated meeting spaces of the Dimond Center Hotel for your next event.

## Kachemak Bay Boardroom

**Room Size:** 654 Square Feet / 35 x 18

**Complimentary A/V Services:** 55" LED Monitor, Portable 8' Screen, Projector, Conference Phone, Complimentary WiFi, USB Connectivity

*Freshly Brewed Regular & Decaffeinated Coffee & a Selection of Specialty Teas Included in Room Rental  
All Prices + 15% Service Charge*

## Chesloknu Conference Room

**Room Size:** 1538 Square Feet / 35 x 43

**Complimentary A/V Services:** Two 55" LED Monitors, Built in 10' Screen, Projector, Conference Phone, Complimentary WiFi, USB Connectivity, Podium, Microphone / Lavalier Use

*Freshly Brewed Regular & Decaffeinated Coffee & a Selection of Specialty Teas Included in Room Rental  
All Prices + 15% Service Charge*

**Breakfasts**

**Luncheons**

**Dinners**

**Board Meetings**

**Corporate Gatherings**

**Trainings**

**Seminars**

**Presentations**

**Special Occasions**

**Phone**

(907) 743-4715

**E-Mail**

michelle@dimondcenterhotel.com

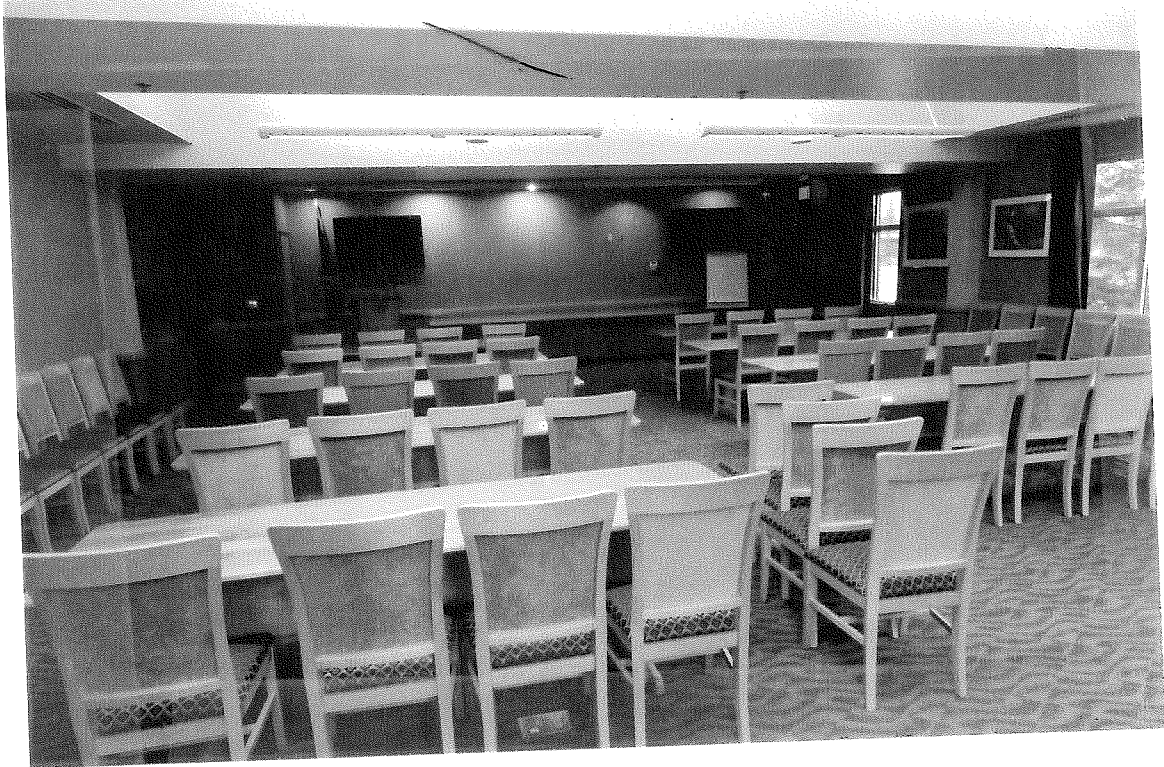
**Address**

700 East Dimond Boulevard  
Anchorage, Alaska 99515

RFP Form (online)



LARGE MEETING/BANQUET  
ROOM  
1538 #



SMALLER MEETING/BANQUET  
ROOM  
654/11



SMALLEST MEETING/BANQUET  
ROOM  
315



# LOBBY AREA



1ST FLOOR

DINING ROOM  
280 #



1ST FLOOR

PORTICO/PATIO / DECK



REQUIRES BUILDING PERMIT  
AND  
APPROVAL BY HOTEL'S BOARD

*Renewed*  
*9/29/16*

Submitted by: Chair of the Assembly at  
the request of the Mayor  
Prepared by: Planning Department  
For reading: September 10, 2002

CLERK'S OFFICE

APPROVED  
*9-10-02*

Date: .....

Anchorage, Alaska  
AR 2002- 281

1 A RESOLUTION OF THE ANCHORAGE MUNICIPAL ASSEMBLY APPROVING A  
2 CONDITIONAL USE FOR AN ALCOHOLIC BEVERAGES CONDITIONAL USE IN  
3 THE B-3 DISTRICT FOR A BEVERAGE DISPENSARY - TOURISM USE PER AMC  
4 21.40.180 D.8, FOR DIMOND CENTER HOTEL, LOCATED ON FRAGMENT LOT  
5 14 OF COMMERCIAL TRACT FRAGMENT LOT SITE PLAN AS RECORDED BY  
6 PLAT 2000-141 FOR LOT 5A, BLOCK 2, DIMOND INDUSTRIAL SUBDIVISION;  
7 GENERALLY LOCATED AT THE SOUTHWEST CORNER OF DIMOND  
8 BOULEVARD AND OLD SEWARD HIGHWAY NEXT TO THE ALASKA  
9 RAILROAD TRACKS.

10  
11 (Taku Campbell Community Council) (Case 2002-161)  
12

13  
14 THE ANCHORAGE ASSEMBLY RESOLVES:  
15

16 **Section 1.** The conditional use permit for an Alcoholic Beverages Conditional Use in the  
17 B-3 District for a Beverage Dispensary Use per AMC 21.40.180 D.8, for the Dimond  
18 Center Hotel, located on Fragment Lot 14 of Commercial Tract Fragment Lot Site Plan  
19 as recorded by Plat 2000-141 for Lot 5A, Block 2, Dimond Industrial Subdivision, meets  
20 the applicable provisions of AMC 21.50.020 and AMC 21.50.160.  
21

22 **Section 2.** The conditional use permit for an Alcoholic Beverages Conditional Use for a  
23 Beverage Dispensary - Tourism Use is for 1,129 square feet area of a 74,691 square foot  
24 hotel located on Fragment Lot 14 of Commercial Tract Fragment Lot Site Plan as  
25 recorded by Plat 2000-141 for Lot 5A, Block 2, Dimond Industrial Subdivision.  
26

27 **Section 3.** The conditional use permit is approved subject to the following conditions:  
28

- 29 1. A notice of Zoning Action shall be filed with the District Recorders Office within  
30 120 days of the Assembly's approval of a final conditional use approval for a  
31 beverage dispensary use in the B-3 District.  
32  
33 2. All uses shall conform to the plans and narrative submitted with this conditional  
34 use application.  
35  
36 3. This conditional use approval is for an Alcoholic Beverages Conditional Use in  
37 the B-3 District for a Beverage Dispensary - Tourism Use per AMC 21.40.180  
38 D.8 for 1,129 SF lounge area within a 74,691 SF hotel, for the Dimond Center  
39 Hotel, located on Fragment Lot 14 of Commercial Tract Fragment Lot Site Plan  
40 as recorded by Plat 2000-141 for Lot 5A, Block 2, Dimond Industrial

Subdivision. The lounge area proposes a bar with seating for ten (10), and five (5) tables with seating for four (4) at each table, or a total of thirty (30) non-fixed seating.

4. On-premise sale of alcohol beverages seven (7)-days a week, Monday thru Sunday, 5:00 PM to 11:00 PM. Liquor sales shall constitute no more than 5% of total gross receipts.

5. Prior to this conditional use becoming effective, the applicant shall demonstrate compliance with a liquor "Server Awareness Training Program approved by the State of Alaska alcoholic Beverage Control Board, such as or similar to the program for techniques in alcohol management (T.A.M.).

6. The use of the property by any person for the permitted purposes shall comply with all current and future federal, state and local laws and regulations including but not limited to laws and regulations pertaining to the sale, dispensing, service and consumption of alcoholic beverages and the storage, preparation, sale, service and consumption of food. The owner of the property, the licensee under the Alcoholic Beverage Control license and their officers, agents and employees shall not knowingly permit or negligently fail to prevent the occurrence of illegal activity on the property.

7. A copy of the conditions imposed by the Assembly in connection with this conditional use approval shall be maintained on the premise at a location visible to the public.

**Section 4.** Failure to comply with the conditions of this conditional use permit shall constitute grounds for its modification or revocation.

**Section 5.** This resolution shall become effective immediately upon passage and approval by the Anchorage Assembly.

PASSED AND APPROVED by the Anchorage Assembly this 10<sup>th</sup> day of September 2002.

ATTEST:

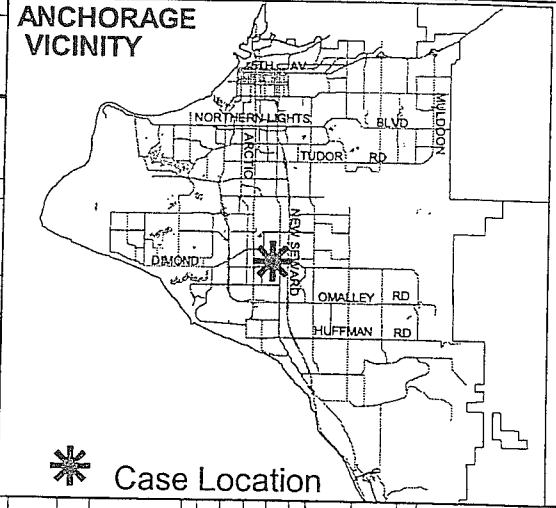
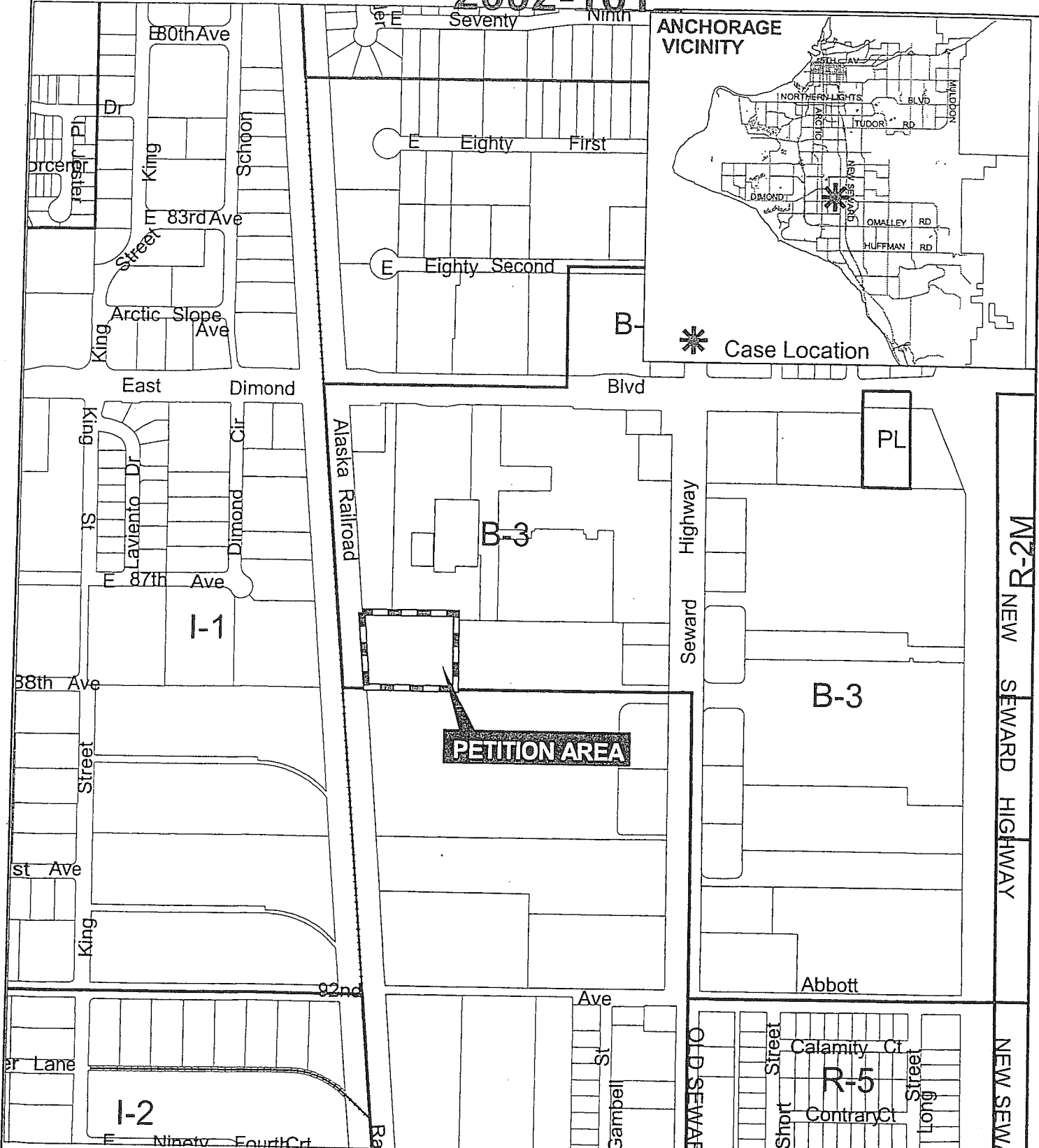
Dick  
Chair

Liz Meyer  
Municipal Clerk

(2002-161)  
(013-092-27)

# CONDITIONAL USE - LIQUOR




## 2002-161

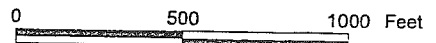


Municipality of Anchorage  
Planning Department



**Flood Limits**

-  100 Year Floodplain
-  500 Year Floodplain
-  Floodway



Date: JULY 2, 2002



MUNICIPALITY OF ANCHORAGE  
ASSEMBLY MEMORANDUM

771  
No. AM / -2002

Meeting Date: September 10, 2002

From: Mayor

Subject: AR 2002- 281

Alcoholic Beverages Conditional Use in the B-3 District  
for a Beverage Dispensary - Tourism Use per AMC  
21.40.180.D.8 for the Dimond Center Hotel.

1 The Dimond Center Hotel has made application for a new conditional use permit for an alcoholic  
2 beverages conditional use in the B-3 District for a beverage dispensary - tourism use per AMC  
3 21.40.180.D.8. for its existing Camel Rock Lounge at 800 East Dimond Boulevard. The three-story,  
4 109-room hotel opened for business in June 2002. Alcoholic beverages will be restricted to the Camel  
5 Rock Lounge consisting of 1,129 square feet located off the lobby on the first floor of the hotel.  
6

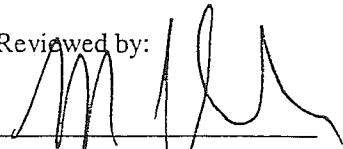
7 Sixty-one (61) public hearing notices were mailed. No returned notices from the public or the Taku-  
8 Campbell Community Council was received.  
9

10 The Alcoholic Beverage Control state statutes, without regard to regular license to population ratio  
11 restrictions, exempts tourism related beverage dispensary and restaurant/eating place licenses from  
12 population restrictions (AS 4.11.400(a)(3)(B)(d)). The intent of the statute is to encourage (a) the  
13 construction or improvement of a tourist facility that would not be financially feasible without a liquor  
14 license, and (b) construction or improvement of the tourist facility that will encourage tourism, and  
15 tourist business will constitute a substantial portion of the business of the tourist facility (15 AAC  
16 104.325).  
17


18 There are three (3) restaurant/eating place licenses, one (1) recreation site license and one (1) package  
19 store license within a 1,000-foot radius of the petition site: there are no schools or churches within  
20 1,000-feet of the Dimond Center Hotel.  
21

22 This conditional use for alcoholic beverages in the B-3 District for a beverage dispensary-tourism  
23 conditional use and license generally meets the required standards of Title 21 and Title 10.  
24

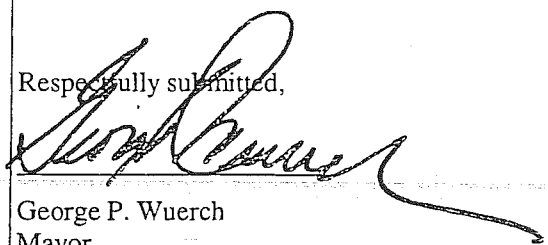
Reviewed by:

  
Harry J. Kieling Jr.  
Municipal Manager

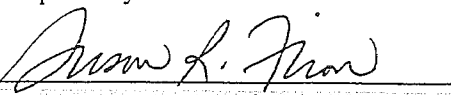
Reviewed by:

  
Craig E. Campbell, Executive  
Director Office of Planning, Development  
and Public Works

Respectfully submitted,

  
George P. Wuerch  
Mayor

Prepared by:

  
Susan R. Fison, Director  
Department of Planning

**PLANNING DEPARTMENT  
STAFF ANALYSIS  
CONDITIONAL USE - ALCOHOLIC BEVERAGE SALES**

**DATE:** September 10, 2002

**CASE NO.:** 2002-161

**APPLICANT:** Dimond Center Hotel

**REPRESENTATIVE:** Michael Beal

**REQUEST:** Conditional Use for an Alcoholic Beverages Conditional Use in the B-3 District for a Beverage Dispensary - Tourism Use/License per AMC 21.40.180.D.8

**LOCATION:** Fragment Lot 14 of Commercial Tract Fragment Lot Site Plan as recorded by Plat 2000-141 for Lot 5A, Block 2, Dimond Industrial Subdivision; generally located at the southwest corner of Dimond Boulevard and Old Seward Highway next to the Alaska Railroad Tracks.

**STREET ADDRESS:** 800 East Dimond Boulevard

**COMMUNITY COUNCIL:** Taku-Campbell

**TAX PARCEL:** 013-092-27/ Grid 2331

**ATTACHMENTS**

1. Location Map
2. Departmental Comments
3. Application
4. Posting Affidavit
5. Historical Information

**RECOMMENDATION SUMMARY:**

This conditional use generally meets the required standards of AMC Title 10 and Title 21, and State Statute 04.11.480 and 15 AAC 104.145.

**SITE:**

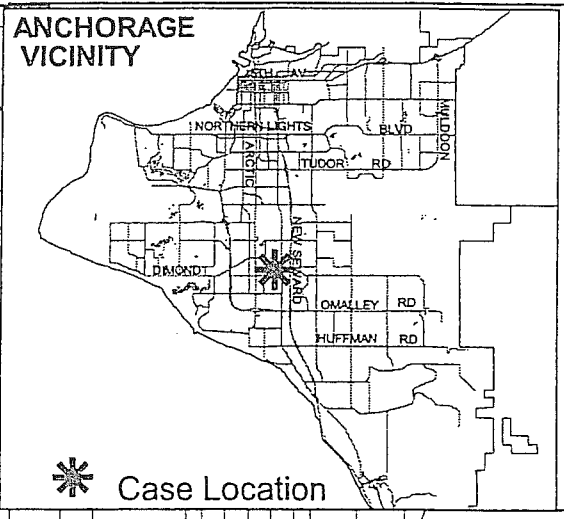
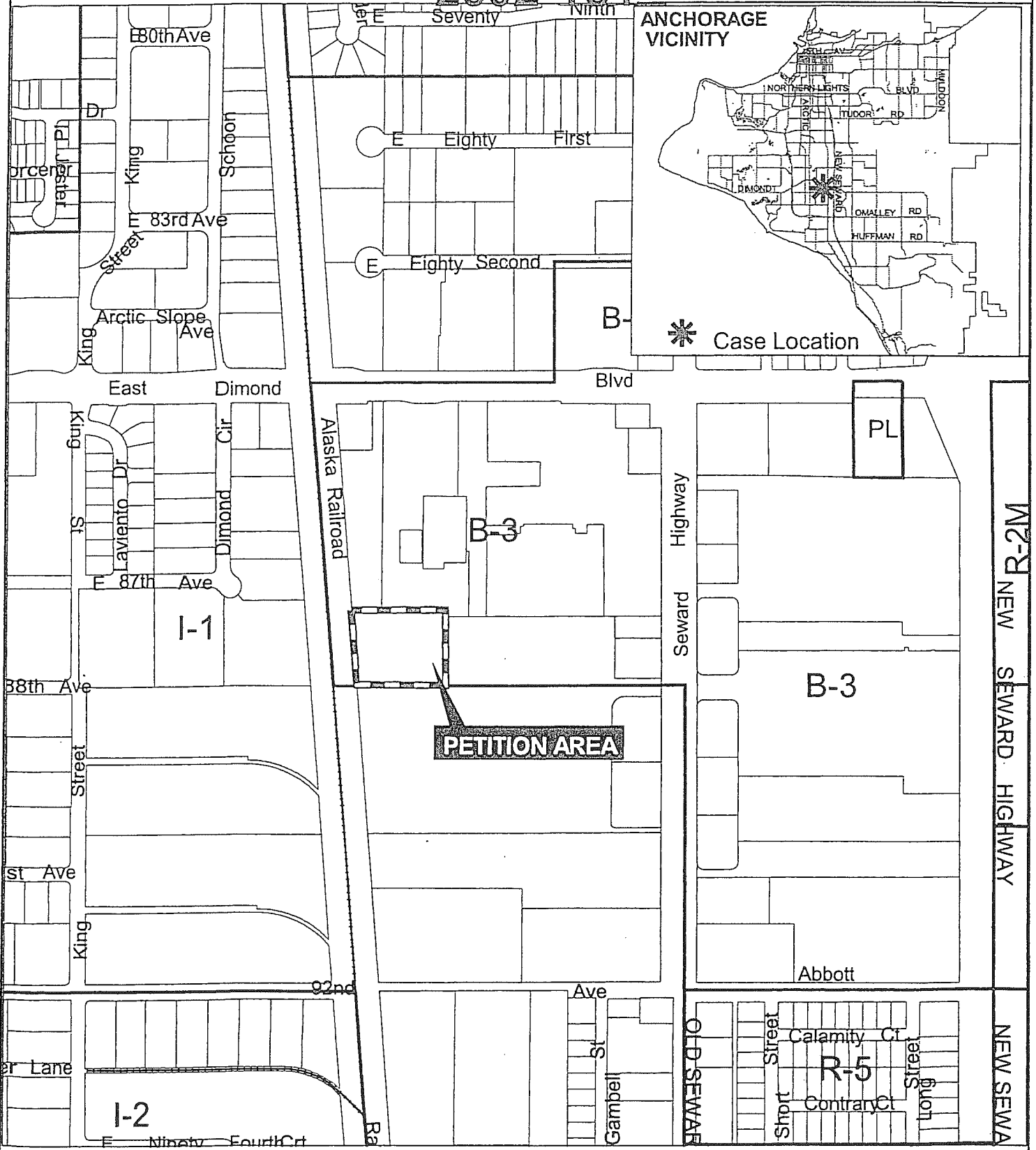
Acres: 3.01 acres /131,396 SF

Vegetation: none

Zoning: B-3




# CONDITIONAL USE - LIQUOR

## 2002-161



Municipality of Anchorage  
Planning Department



- Flood Limits**
-  100 Year Floodplain
  -  500 Year Floodplain
  -  Floodway



0 500 1000 Feet

Date: JULY 2, 2002

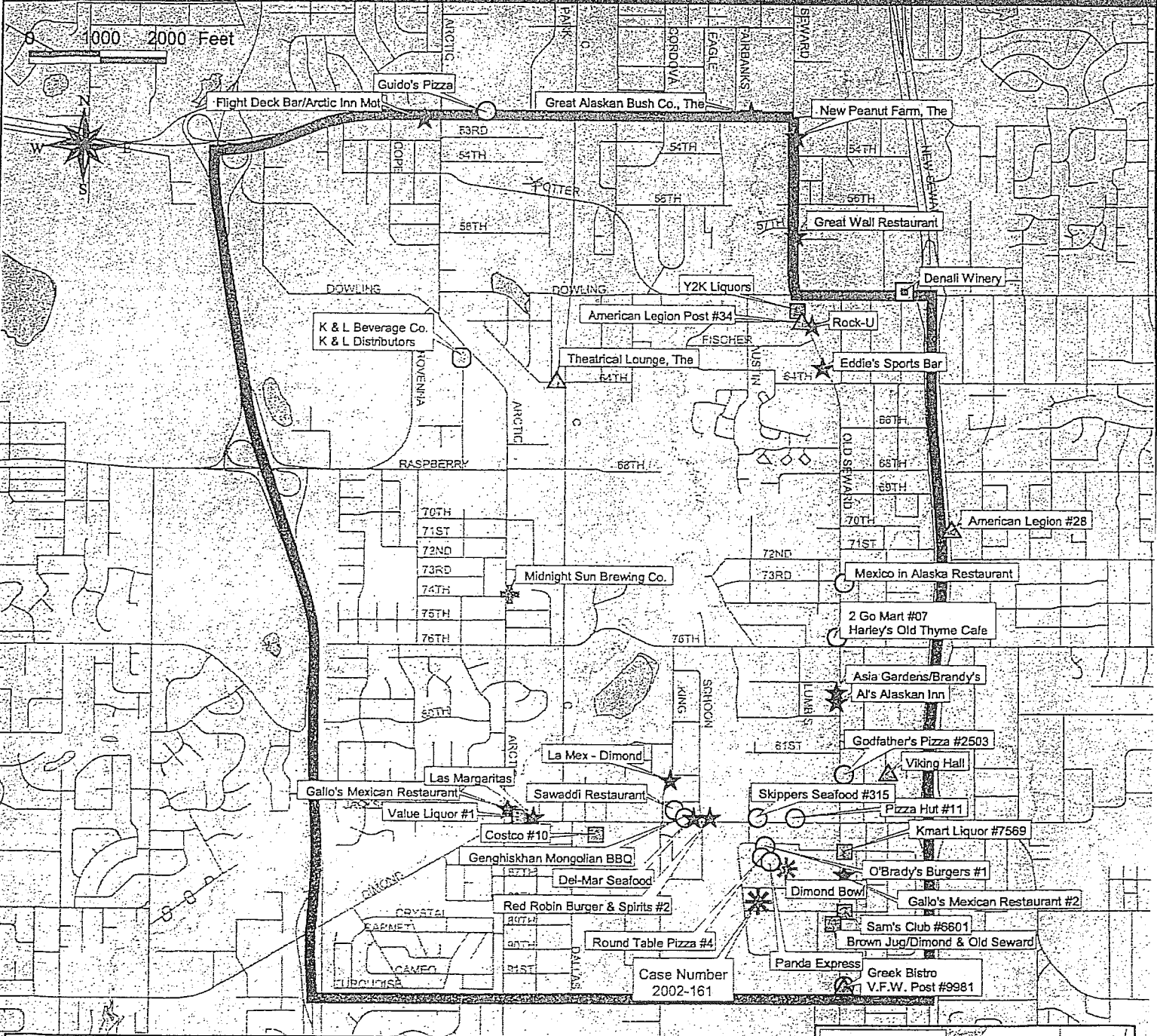


# Liquor Licenses Within the Taku/Campbell Community Council Area

## Case Number 2002-161



Municipality of Anchorage  
 Planning Department  
 August, 2002

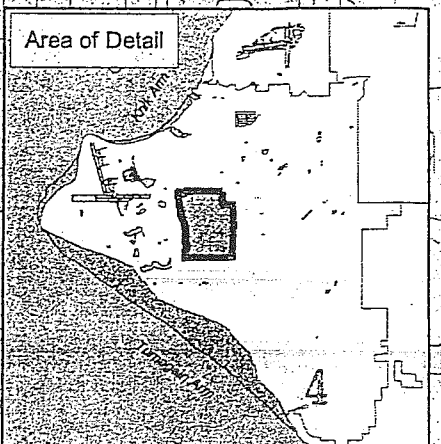


### Key to Features

- |                           |                         |
|---------------------------|-------------------------|
| ▲ Club                    | ● Brewpub               |
| ▣ Package Store           | ⊕ Brewery               |
| ★ Beverage Dispensary     | ⊗ Theater License (PAC) |
| ○ Restaurant/Eating Place | ⊖ Wholesale/General     |
| ✱ Recreation Site         | ▣ Winery                |

**Taku/Campbell Community Council Boundary**

**NOTE:**  
 The accuracy of the liquor license information presented on this map has not been verified and is not necessarily up to date.



Topography: Flat  
Existing Use: Hotel  
Soils: Public Sewer & Water

**COMPREHENSIVE PLAN**

Classification: Commercial  
Density: N/A

**SURROUNDING AREA**

	NORTH	EAST	SOUTH	WEST
Zoning:	B-3	B-3	B-3	B-2B
Land Use:	Dimond Center Mall	Parking lots, Express Lube	Walmart	Railroad Tracks - Com'l

**SITE DESCRIPTION AND PROPOSAL:**

The petition property is a 3.01-acre commercial fragment lot located south of the Dimond Center Mall. It contains the recently constructed three-storey, 109-room, 74,691 square foot, Dimond Center Hotel. The hotel employs over 35 people. Seldovia Native Association, Inc. with a minority interest held by the Dimond Center LLC owns the hotel.

The petitioner is seeking final conditional use approval for an alcoholic beverages conditional use in the B-3 District for a Beverage Dispensary - Tourism Use per AMC 21.40.180D.8 for the Dimond Center Hotel. Alcoholic beverages will be restricted to the *Camel Rock Lounge* consisting of 1,129 square feet, located on the first floor of the hotel. Based on a floor diagram of the lounge there is a bar with fixed seating for ten (10), and five (5) tables with seating for four (4) at each table, or a total of twenty-five (25) non-fixed seating.

The sale of alcoholic beverages will represent 5 % and will be served in the lounge representing just 1,129 square feet of the hotel or 1.5 % of the hotel space. The lounge will operate Monday thru Sunday from 5:00 PM to 11:00 PM. Television is the only form of entertainment proposed. Five (5) employees will have direct contact with alcohol and trained in accordance with the Alcoholic Beverage Control Board's Liquor Server Awareness Training Program. Non-alcoholic beverages will be available, notices of penalties for driving intoxicated will be posted, and patrons will have access and assistance to public transportation. There will be no entertainment defined as "indecent material" or "adult entertainment," no happy hours, games or contests that include consumption of alcoholic beverages, and no solicitation or encouragement of alcoholic beverage consumption. Sales to persons who are

discuss

inebriated or underage are prohibited. There is sufficient parking provided as evidenced by the approved building permit.

**PUBLIC COMMENTS:**

Sixty-one (61) public hearing notices (PHNs) were mailed. At the time this report was written no PHNs were returned; no written comment has been received from the Taku/Campbell Community Council.

**FINDINGS**

- A. *Furtheres the goals and policies of the Comprehensive Development Plan and conforms to the Comprehensive Development Plan in the manner required by Chapter 21.05.***

This site is not identified on the *Anchorage 2020 Plan* Land Use Policy Map (p. 50) which sets the direction for the preferred form of long-term growth and development in the Anchorage Bowl. The 1982 *Anchorage Bowl Comprehensive Development Plan* Generalized Land Use Plan Map 3-1 classified this property as commercial. However, the *Anchorage 2020 Plan* mentions the Dimond Center area as having high overall employment. The *Anchorage 2020 Comprehensive Plan* does not specifically address the sale of alcoholic beverages in the community. A strategy of the adopted *Anchorage 2020 Plan*, however, does call for the development of locational standards and criteria for retail sales/service of alcoholic beverages. To date these have not been developed.

Several goals of the *Anchorage 2020 Plan* do address related issues such as recreational and economic opportunities. The hotel is located in an area with concentrations of office and commercial development. The hotel is within walking distance of tourist related uses such as restaurants, movie theatres, recreational uses such as bowling and ice rinks, a large shopping center with general merchandise and retail businesses, a bank and office buildings. The sale of alcoholic beverages is part of the social, recreational and economic environment of the community.

- B. *Conforms to the standards for that use in this title and regulations promulgated under this title.***

*This standard is met.*

The B-3 Business District zoning regulations allow alcoholic beverage sales through the conditional use permit process: AMC 21.40.180D.8. *Liquor stores, restaurants, tearooms, cafes, private clubs or lodges and other places serving*

inebriated or underage are prohibited. There is sufficient parking provided as evidenced by the approved building permit.

**PUBLIC COMMENTS:**

Sixty-one (61) public hearing notices (PHNs) were mailed. At the time this report was written no PHNs were returned: no written comment has been received from the Bayshore-Klatt Community Council.

**FINDINGS**

- A. *Furtheres the goals and policies of the Comprehensive Development Plan and conforms to the Comprehensive Development Plan in the manner required by Chapter 21.05.***

This site is not identified on the *Anchorage 2020 Plan* Land Use Policy Map (p. 50) which sets the direction for the preferred form of long-term growth and development in the Anchorage Bowl. The 1982 *Anchorage Bowl Comprehensive Development Plan* Generalized Land Use Plan Map 3-1 classified this property as commercial. However, the *Anchorage 2020 Plan* mentions the Dimond Center area as having high overall employment. The *Anchorage 2020 Comprehensive Plan* does not specifically address the sale of alcoholic beverages in the community. A strategy of the adopted *Anchorage 2020 Plan*, however, does call for the development of locational standards and criteria for retail sales/service of alcoholic beverages. To date these have not been developed.

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- B. *Conforms to the standards for that use in this title and regulations promulgated under this title.***

*This standard is met.*

The B-3 Business District zoning regulations allow alcoholic beverage sales through the conditional use permit process: AMC 21.40.180D.8. *Liquor stores, restaurants, tearooms, cafes, private clubs or lodges and other places serving*

*food or beverages involving the retail sale, dispensing or service of alcoholic beverages in accordance with section 21.50.160.*

**C. *Will be compatible with existing and planned land uses in the surrounding neighborhood and with the intent of its use district.***

*This standard is met.*

The B-3 District is intended for general commercial uses, including hotels serving alcoholic beverages. The Dimond Shopping Mall includes restaurants that serve food and alcohol, such as Round Table Pizza and O'Brady's Restaurant. The hotel and lounge is compatible with the B-3 and existing uses in area.

There are no Beverage Dispensary/Tourist uses or licenses within 1,000 feet of the petition site.

*Alaska Statute 04.11.410, Restriction of location near churches and schools, restricts beverage dispensary and package store licenses from being located in a building the public entrance of which is within 200-feet of the public entrance of a church building, or from being located within 200-feet of school grounds. There are no church buildings or school grounds within 200 feet of the Dimond Center Hotel.*

AMC 21.50.160.B asks that a list of all alcohol licenses located within a minimum of 1,000 feet of the proposed conditional use be provided. There are three (3) Restaurant/Eating Place alcoholic beverages type licenses, one (1) package store alcoholic beverages type license and one (1) recreational site alcoholic beverages type license within 1,000 feet of the petition site. Approving this beverage dispensary-tourism use and license will add one such beverage dispensary license to this 1000-foot radius.

**D. *Will not have a permanent negative impact on the items listed below substantially greater than that anticipated from permitted development:***

**1. *Pedestrian and vehicular traffic circulation and safety.***

*This standard is met.*

The B-3 District provides that all required parking be provided on site. The amount of required parking was reviewed and determined as part of the building permit 01-5310, along with pedestrian and vehicular traffic circulation. There is parking in front and behind the hotel. The Traffic Department notes the hotel

and lounge should not cause over-flow parking into the required parking for the main mall.

The approved building permit addressed vehicular and pedestrian traffic circulation and safety. There are adequate entrances and exits for vehicles to and from adjacent streets and roadways. The parking area is well lit. The site plan incorporates pedestrian sidewalks along the along the roadways adjacent to the parking lot entrances, pedestrian walkways buffers between hotel entrances and exists and the parking lot aisles.

**2. The demand for and availability of public services and facilities.**

*This standard is met.*

The addition of a hotel serving alcohol at this location will not impact public services. Electrical, water and sewer, natural gas are available on site. Road infrastructure and public transit is already in place. The petition site is within ARDSA, Police and Fire service areas.

**3. Noise, air, water, or other forms of environmental pollution.**

*This standard is met.*

As a land use, a Beverage Dispensary conditional use and license will not cause or contribute to any environmental pollution. The public parking lots are paved, which control air pollution.

**4. The maintenance of compatible and efficient development patterns and land use intensities.**

*This standard is met.*

The zoning, land use and the general area land use will not change as a result of this conditional use permit for a beverage dispensary-tourism license.

**Standards Chapter 10.50 Alcoholic Beverages**

**In the exercise of its powers and under AS 04.11.480 and 15 AAC 104.145 to protest issue, renewal and transfer or alcoholic beverage licenses within the Municipality of Anchorage, the Assembly shall consider whether the proposed license meets each and every factor and standard set forth below**

- A. Concentration and land use. Whether transfer of location or issue of the requested license will negatively impact the community through an increase in the concentration of uses involving the sale or service of alcoholic beverages within the area affected and will conform to the separate standards of AMC 21.50.020.**

This standard does not apply to tourism licenses.

Alaska Statutes for Title 4. Alcoholic Beverage Control includes an exemption clause from the regular license-to-population ratio limitations for tourism licenses. AS 4.11.400(a)(3)(B)(d)(1) permits hotels having more than 50 rental rooms to have a tourism license if the population is greater than 50,000. The Dimond Center Hotel has 109 rental rooms.

*currier*

There are no schools or churches within 1,000-feet of the petition site. There are three (3) restaurant/eating place licenses, one (1) recreation site license and one (1) package store license with a 1,000-foot radius of the petition site. Approving this beverage dispensary-tourism license will add the only beverage dispensary-tourism license within a 1,000-foot radius of the petition site.

Recreation Site	Dimond Bowl	800 E. Dimond, #3-023
Restaurant/Eating Place	O'Brady's Burgers #1	800 E. Dimond, #159
Restaurant/Eating Place	Panda Express	800 E. Dimond, #241
Restaurant/Eating Place	Round Table Pizza #4	800 E. Dimond, # 3-500
Package Store	Brown Jug	8840 Old Seward, Unit F

- B. Training. If application is made for issue, renewal or transfer of a beverage dispensary license, restaurant or eating place license, or package store license, whether the applicant can demonstrate prospective or continued compliance with a Liquor "Server Awareness Training Program approved by the State of Alaska alcoholic Beverage Control Board, such as or similar to the program for techniques in alcohol management (T.A.M.). Until such plan is approved, training by a licensee's employees in the T.A.M. shall constitute compliance with this ordinance.**

This standard is met.

The applicant states that five (5) of the total 35 employees will be involved in the dispensing of alcoholic beverages and will be trained in accordance with the T.A.M. training and hold the appropriate certificates.

- C. Operations procedures. If application is made for issue, renewal or transfer of a license, whether the applicant can demonstrate**

*No Violations*

**prospective or continued compliance with operations procedures for licensed premises set forth in Section 10.50.035 of this code.**

This standard is met.

AMC 10.50.035 sets forth that persons seeking the issue or transfer of a license shall comply with restrictions regarding happy hours, games or contests involving the consumption of alcohol, public transportation, notice of penalties, availability of nonalcoholic drinks, compliance determination with techniques in alcohol management (T.A.M.), solicitation of purchase of alcoholic beverages for consumption by employees, and warning signs. The petitioner has stipulated in his application that he will abide by requirements of AMC 10.50.035.

The Camel Rock Lounge will be open from 5:00 PM to 11:00 PM every night of the week.

- D. Public safety. When application is made for the renewal or transfer of location or transfer of ownership of a beverage dispensary license restaurant or eating place license, or package store license, the Assembly shall consider whether the operator can demonstrate the ability to maintain order and prevent unlawful conduct in a licensed premises. In determining the operator's demonstrated ability to maintain order and prevent unlawful conduct, the Assembly may consider police reports, testimony presented before the Assembly, written comments submitted prior to or during the public hearing, or other evidence deemed to be reliable and relevant to the purpose of this subsection. For purposes of this section and Section 10.50.035 "licensed premises" shall include any adjacent area under the control or management of the licensee.**

This standard appears to be met.

According to the application the petitioner the interior of the licensed premises will be well lighted, as is the lobby and parking lot. No additional safety procedures are mentioned in the application. At the time this report was prepared, no comments were received from the Anchorage Police Department

- E. Payment of taxes and debts. When application is made for renewal of a license the assembly shall consider, pursuant to AS 4.11.330, whether the applicant is delinquent in payment of taxes owed to the Municipality. When application is made for transfer of ownership of a license the Assembly shall consider, pursuant to AS 4.11.360,**

whether the municipality has received either payment or adequate security, for the payment of any debts or taxes, including any estimated taxes for the current year, arising from the conduct of the licensed business. Adequate security for the payment of debts and taxes may be in the form of: 1) escrowed funds sufficient to pay the debts and taxes claimed and any escrow fees; 2) actual payment of debts and taxes claimed; or, 3) a guarantee agreement in accordance AMC 10.50.030. Any guarantee agreement shall be in writing, signed by the transferor, transferee and Municipality

This standard is met.

There are no delinquent Personal Property Taxes, Real Property Taxes or Downtown Improvement Special Tax Assessments owing at this time according to the Treasury Division.

- F. **Public health.** If application is made for the renewal or transfer of location or transfer of ownership of a license, the Assembly shall consider whether the operator has engaged in a pattern of practices injurious to public health or safety such as providing alcohol to minors or intoxicated persons, committing serious violations of State law relevant to public health or safety, or other actions within the knowledge and control of the operator which place the public health or safety at risk. In determining if a pattern of practices injurious to public health or safety exists, the Assembly may consider criminal convictions, credible proof of illegal activity even if not prosecuted, police reports, testimony presented before the Assembly, written comments submitted prior to or during the public hearing, or other evidence deemed to be reliable and relevant to the purpose of this subsection.

*No violation*

After review of this proposal, the Department of Health and Human Services provide the following comments:

DHHS Childcare Enforcement: The nearest licensed child care center is Morning Star Christian School, located at 8220 Briarwood, which is in the New Seward/Briarwood area. The impact is expected to be minimal.

Community Health Promotion, Injury Prevention: State law limits the number of beverage dispensary licenses by population to control availability so those problems can be minimized. Historically, Taku Campbell has not approved any licenses that are transferred in from another community council. There are no standards to evaluate alcohol sales.

- G. **Municipality of Anchorage Alcoholic Beverage Licensee Compliance Form.** In order to determine whether applicants seeking issue, renewal or transfer of alcoholic beverage licenses have complied with the provisions of this chapter, applicants shall, at the request of the Assembly, submit to the municipal clerk such information as is required on a municipal form prepared by the municipal clerk known as the Municipality of Anchorage Alcoholic Beverage Licensee Compliance Form. Upon request, operators shall also provide the municipal clerk with certificates from all current employees demonstrating that those employees have successfully completed a "Liquor Service Awareness Training Program" such as the program for techniques in alcohol management (T.A.M.) as approved by the State of Alaska Alcoholic Beverage Control Board.

This form was not requested of this applicant.

**RECOMMENDATION:**

This application for a final conditional use for alcoholic beverages in the B-3 District for a beverage dispensary-tourism use and license generally meets the required standards of AMC Title 10 and Title 21, and State Statute 04.11.480 and 15 AAC 104.145.

If after a public hearing on the matter, the Anchorage Assembly finds that the required standards have been met, staff recommends the following conditions of Approval:

1. A notice of Zoning Action shall be filed with the District Records Office within 120 days of the Assembly's approval of a final conditional use approval for a beverage dispensary use in the B-3 District.
2. All uses shall conform to the plans and narrative submitted with this conditional use application.
3. This conditional use approval is for an Alcoholic Beverages Conditional Use in the B-3 District for a Beverage Dispensary - Tourism Use per AMC 21.40.180D.8 for 1,129 SF lounge area within a 74,691 SF hotel, for the Dimond Center Hotel, located on Fragment Lot 14 of Commercial Tract Fragment Lot Site Plan as recorded by Plat 2000-141 for Lot 5A, Block 2, Dimond Industrial Subdivision. The lounge area proposes a bar with seating for ten (10), and five (5) tables with seating for four (4) at each table, or a total of twenty-five (25) non-fixed seating.

4. On-premise sale of alcohol beverages seven (7)-days a week, Monday thru Sunday, 5:00 PM to 11:00 PM. Liquor sales shall constitute no more than 5% of total gross receipts.
5. Upon demand the applicant shall demonstrate compliance with a liquor "Server Awareness Training Program approved by the State of Alaska alcoholic Beverage Control Board, such as or similar to the program for techniques in alcohol management (T.A.M.).
6. The use of the property by any person for the permitted purposes shall comply with all current and future federal, state and local laws and regulations including but not limited to laws and regulations pertaining to the sale, dispensing, service and consumption of alcoholic beverages and the storage, preparation, sale, service and consumption of food. The owner of the property, the licensee under the Alcoholic Beverage Control license and their officers, agents and employees shall not knowingly permit or negligently fail to prevent the occurrence of illegal activity on the property.
7. A copy of the conditions imposed by the Assembly in connection with this conditional use approval shall be maintained on the premise at a location visible to the public.




mpa G:\zon\_plat\ASSEMBLY\Assbly2002\2002-161 Dimond Ctr Hotel Bev Dis Tourism.doc

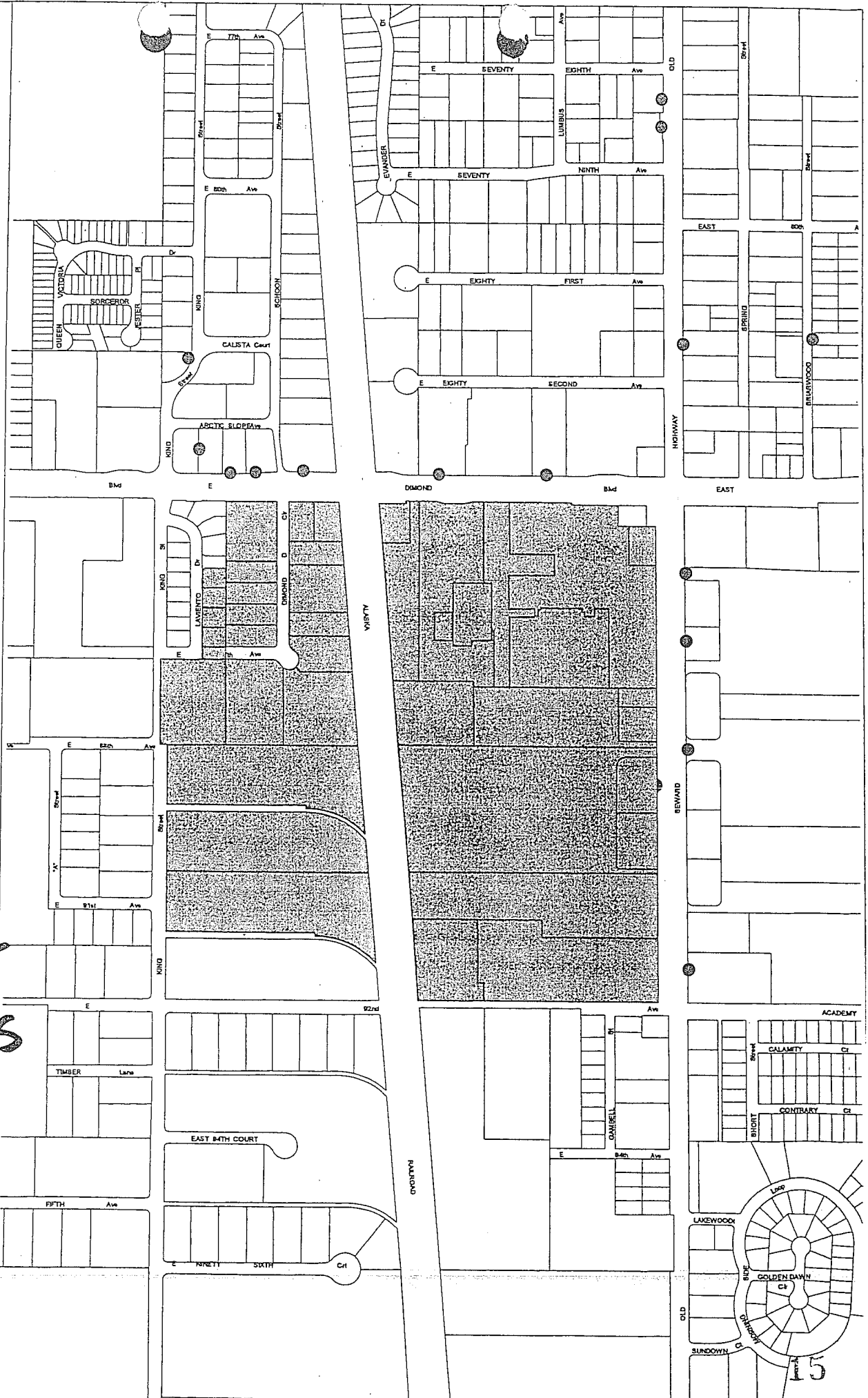
Map: Parcels



Scale 1:8000

**Legend:**

-  alcohol
-  streetsano: Text
-  parcels



1000 FT  
RADIUS

# Alcohol Extract from List Report

Case Number: 2002-161

Description: 1000 ft. Liquor License

Parcel Business Name	Parcel Owner Name Applicant Name	Parcel Owner Address Business Address	City Lic. Number	State Lic. Zone	Zip Lic. Type
01309222000 Diamond Bowl	DIMOND CENTER LLC Jalasko Investments, Inc.	800 E DIMOND BLVD STE 3-500 800 E. Dimond #3-023	ANCHORAGE 2869	AK B3	99515 Recreational Site
01309222000 O'Brady's Burgers #1	DIMOND CENTER LLC Logan Enterprises	800 E DIMOND BLVD STE 3-500 800 E. Dimond Blvd #159	ANCHORAGE 1989	AK B3	99515 Restaurant/Eating Place
01309222000 Pasta Express	DIMOND CENTER LLC Chung, Richie B.	800 E DIMOND BLVD STE 3-500 800 E. Dimond Blvd, #241	ANCHORAGE 3711	AK B3	99515 Restaurant/Eating Place
01309222000 Round Table Pizza #4	DIMOND CENTER LLC Dimond Roundtable, LLC	800 E DIMOND BLVD STE 3-500 800 E. Dimond Blvd	ANCHORAGE 2606	AK B3	99515 Restaurant/Eating Place
01312210000 Brown Jug/Diamond & Old Seward	WD CORPORATION Brown Jug, Inc.	341 W TUDOR ROAD 8840 Old Seward, Unit F	ANCHORAGE 3886	AK I1	99503 Package Store

2002 161 3000ft liq lic



Mon Jul 01, 13:56:12, 2002

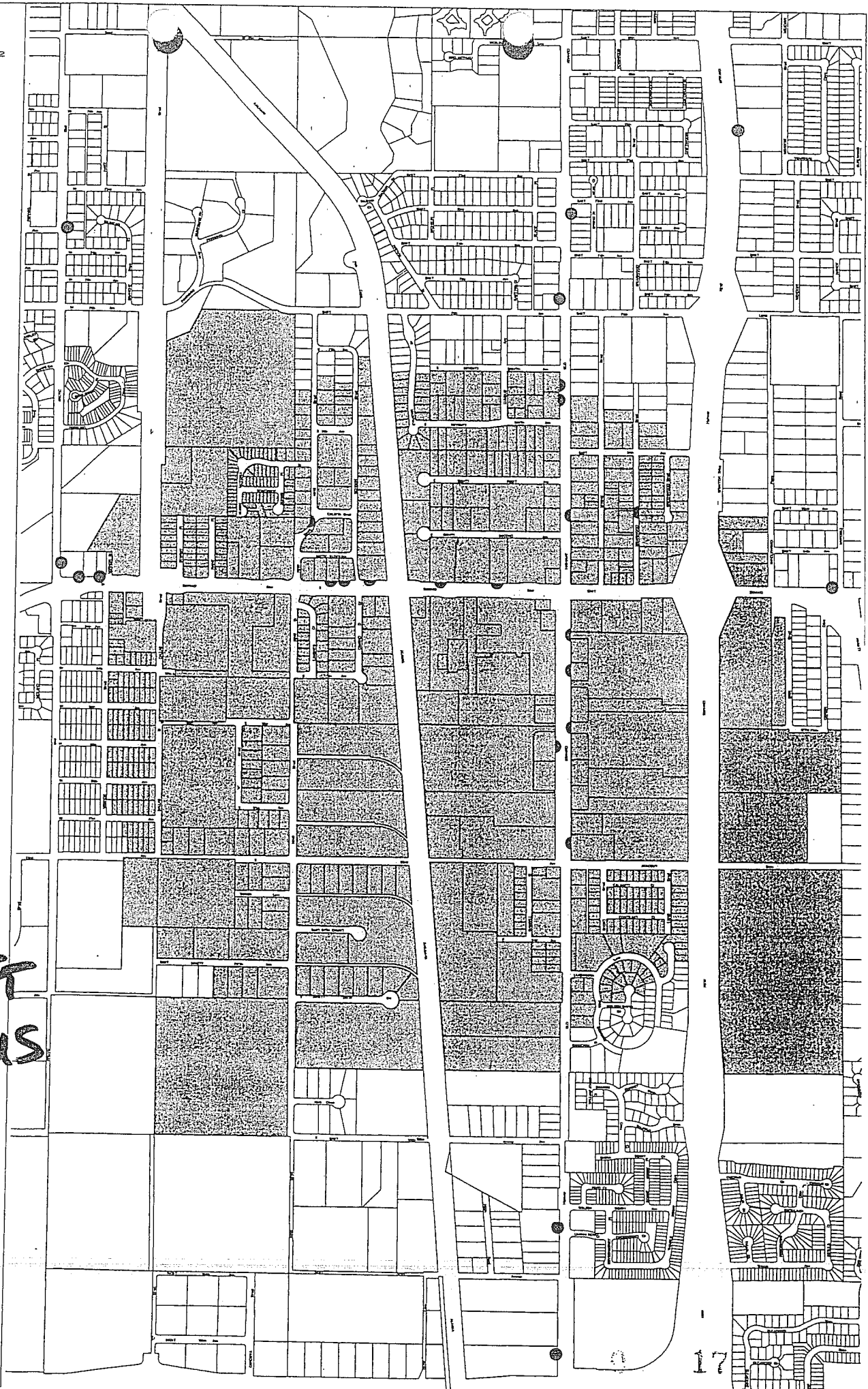
Map: Parcels



Scale 1:15000

**Legend:**

-  alcohol
- Txt streetsano: Text
-  parcels



3000 FT  
RADIUS

# Alcohol Extract from List Report

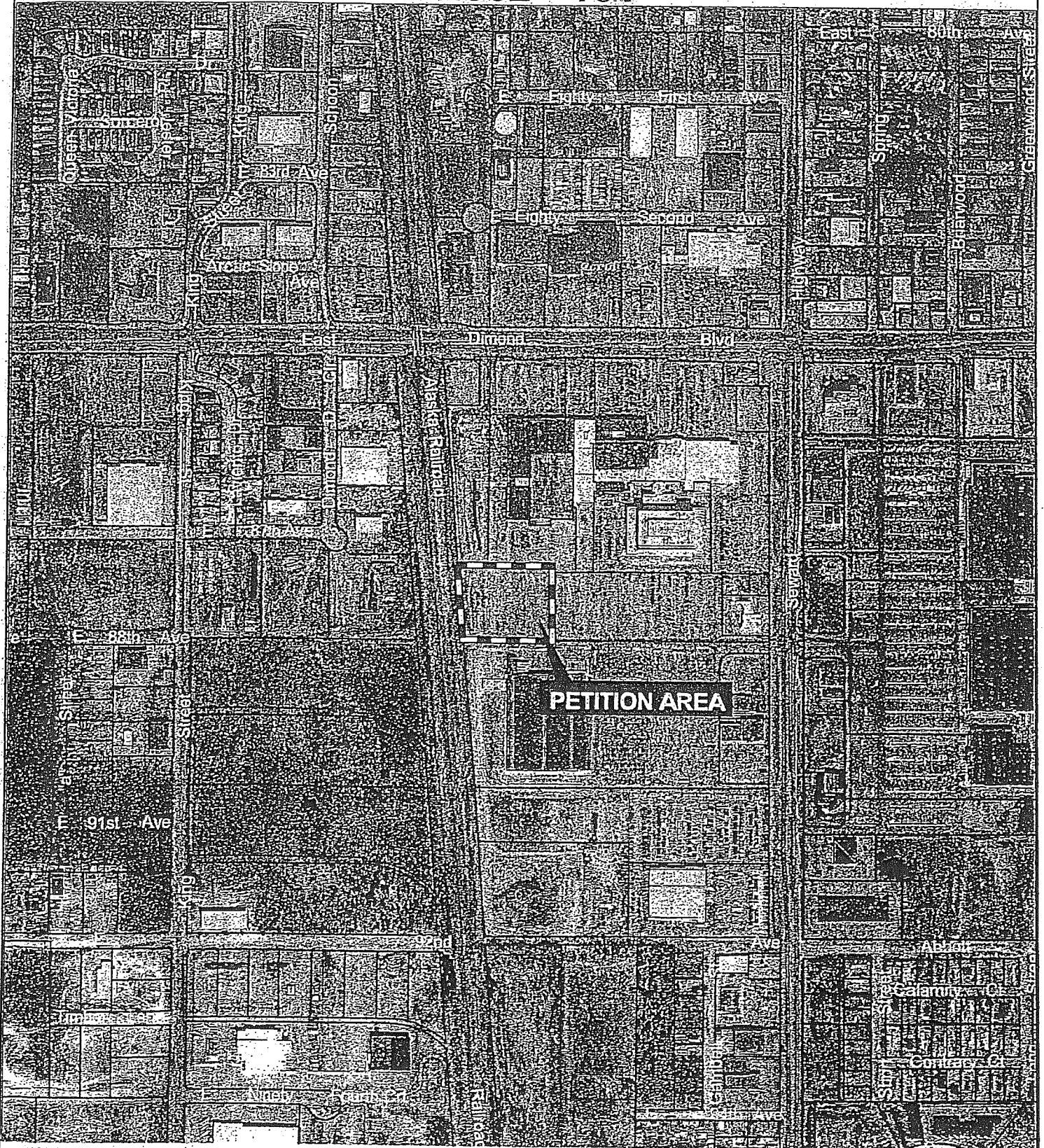
Case Number: 2002-161

Description: 3000 ft-liquor licenses

Parcel Business Name	Parcel Owner Name Applicant Name	Parcel Owner Address Business Address	City Lic. Number	State Lic. Zone	Zip Lic. Type
01231290000 Costco #10	COSTCO WHOLESAL CORP Costco Wholesale Corp	999 LAKE DRIVE 330 W. Dimond Blvd	ISSAQUAH 2020	WA 11	98027 Package Store
01305165000 Al's Alaskan Inn	CHOY ALLEN HENRY LLC Allen Henry Choy, LLC	7830 OLD SEWARD HWY 7830 Old Seward Hwy	ANCHORAGE 10	AK B3	99518 Beverage Dispensary Tour
01305176000 Asia Gardens/Brandy's	HARDING ROBERT Robert D. Harding	7828 OLD SEWARD HWY 7828 Old Seward Hwy	ANCHORAGE 83	AK R2M	99518 Beverage Dispensary
01307150000 La Mex - Dimond	KING STREET PROPERTIES LLC King Dimond, Inc.	PO BOX 92480 8330 King St.	ANCHORAGE 3807	AK 11	99509 Beverage Dispensary
01308154000 Pizza Hut #11	NATIONAL BANK OF ALASKA Kurani, Inc.	PO BOX 100600 729 E. Dimond Blvd	ANCHORAGE 2935	AK 11	99510 Restaurant/Eating Place
01308157000 Skippers Seafood #315	DIMOND SHOPPING CENTER LLC Skippers, Inc	711 GRAND AVENUE #100 601 E. Dimond Blvd	SAN RAFAEL 1762	CA 11	94901 Restaurant/Eating Place
01308217000 Genghiskhan Mongolian BBQ	MA SHAN AU & LIU SHIH & Han, Richard & Young Ok	2600 E TUDOR ROAD 301 E. Dimond Blvd	ANCHORAGE 3821	AK 11	99507 Restaurant/Eating Place
01308218000 Sawaddi Restauranti	R M INVESTMENTS Sawaddi Corp.	PO BOX 10149 219 E. Dimond Blvd	TRUCKEE 3432	CA 11	95737 Restaurant/Eating Place
01308236000 Red Robin Burger & Spirits #2	DIMOND DEVELOPMENT COMPANY Red Robin Alaska, Inc.	4450 CORDOVA STREET STE 200 401 E. Dimond Blvd	ANCHORAGE 3304	AK 11	99503 Beverage Dispensary
01309222000 Dimond Bowl	DIMOND CENTER LLC Jalasko Investments, Inc.	800 E DIMOND BLVD STE 3-500 800 E. Dimond #3-023	ANCHORAGE 2869	AK B3	99515 Recreational Site
01309222000 O'Brady's Burgers #1	DIMOND CENTER LLC Logan Enterprises	800 E DIMOND BLVD STE 3-500 800 E. Dimond Blvd #159	ANCHORAGE 1989	AK B3	99515 Restaurant/Eating Place
01309222000 Panda Express	DIMOND CENTER LLC Chung, Richie B.	800 E DIMOND BLVD STE 3-500 800 E. Dimond Blvd, #241	ANCHORAGE 3711	AK B3	99515 Restaurant/Eating Place

Parcel Business Name	Parcel Owner Name - Applicant Name	Parcel Owner Address Business Address	City Lic. Number	State Lic. Zone	Zip Lic. Type
01309222000 Round Table Pizza #4	DIMOND CENTER LLC Dimond Roundtable, LLC	800 E DIMOND BLVD STE 3-500 800 E. Dimond Blvd	ANCHORAGE 2606	AK B3	99515 Restaurant/Eating Place
01312210000 Brown Jug/Dimond & Old Seward	WD CORPORATION Brown Jug, Inc.	341 W TUDOR ROAD 8840 Old Seward, Unit F	ANCHORAGE 3886	AK I1	99503 Package Store
01420235000 Godfather's Pizza #2503	CUSATO DAVID & MARCY ANN SKH Services, Inc.	8201 OLD SEWARD HIGHWAY 8201 Old Seward Hwy	ANCHORAGE 1682	AK B3	99518 Restaurant/Eating Place
01420287000 Viking Hall	VIKING HALL INC Sons of Norway	8141 BRIARWOOD 8141 Briarwood St.	ANCHORAGE 1579	AK RO	99518 Club
01427119000 Gallo's Mexican Restaurant #2	GALLO LIMITED PARTNERSHIP Gallo's Mexican Restaurant	PO BOX 111846 8615 Old Seward Hwy	ANCHORAGE 3572	AK B3	99511 Beverage Dispensary
01427128000 Kmart Liquor #7569	TROY CMBS PROPERTY LLC Kmart Corporation	PO BOX 22799 8601 Old Seward Hwy	HOUSTON 3349	TX B3	77227 Package Store
01428106000 V.F.W. Post #9981	FIRST NATIONAL BANK V.F.W. Post #9981	PO BOX 100720 9191 Old Seward Hwy	ANCHORAGE 2706	AK B3	99510 Club
01428118000 Sam's Club #6601	SAMS REAL ESTATE/BUSINESS TRST Wal-Mart Stores, Inc.	1301 SE 10TH STREET 8801 Old Seward Hwy	BENTONVILLE 3303	AR B3	72716 Package Store

# CONDITIONAL USE - LIQUOR 2002 - 161



Municipality of Anchorage  
Planning Department



Date: JULY 2, 2002



0 500 1000 Feet

Date of Aerial Photography: 2001

# DEPARTMENTAL

# COMMENTS

# Reviewing Agency Comment Summary

## Case No.: 2002-161

Agency	Comments Included in Packet	No Comments and/or Objections	No Response
Air Pollution Control			X
Alaska DEC			X
Alaska Division of Parks			X
Alaska DOT/PR		X	
AWWU	X		
Development Services			X
Environmental			X
DHHS Social Services	X		
Fire Prevention	X		
ML&P		X	
Parks and Recreation			X
Physical Planning			X
School District			X
Traffic	X		
Transit		X	
Transportation Planning			X

FINANCE X

FIRE X

FILE COPY

Municipality Of Anchorage  
ANCHORAGE WATER & WASTEWATER UTILITY

RECEIVED

JUL 09 2002

MEMORANDUM

DATE: July 3, 2002  
TO: Zoning and Platting Division, CP&D  
FROM: Hallie Stewart, Engineering Technician *H Stewart*  
SUBJECT: Municipal Assembly Hearing of September 10, 2002  
AGENCY COMMENTS DUE August 13, 2002

AWWU has reviewed the case material received on July 2, 2002, and has the following comments.

02-161 Fragment Lot 14, Block 2, Lot 5A (conditional use) Grid 2331

1. AWWU water and sanitary sewer mains are available to the referenced lot.
2. AWWU has no objection to the conditional use to allow a hotel serving alcoholic beverages.

If you have any questions, please call me at 343-8009 or the AWWU Planning Section at 564-2739.



MUNICIPALITY OF ANCHORAGE  
Traffic Department



MEMORANDUM

RECEIVED

JUL 10 2002

MUNICIPALITY OF ANCHORAGE  
PLANNING DEPARTMENT

DATE: July 10, 2002  
TO: Jerry T. Weaver, Platting Supervisor, Planning Department  
THROUGH: Leland R. Coop, Acting Associate Traffic Engineer  
FROM: Mada Hansen, Traffic Engineering Technician  
SUBJECT: Comments, Assembly Hearing, September 10, 2002

02-161 Dimond industrial Block 2 Lot 5A Frag Lot 14; Conditional Use to permit alcohol; Grid 2331

- Provide all Title 21 required parking for hotel and lounge on Frag Lot.
- Hotel and Lounge should not cause over-flow parking into required parking for main mall.

Municipality of Anchorage  
Treasury Division  
Memorandum

JUL 23 2002

Date: July 19, 2002  
To: Rich Cartier, Planning Dept.  
From: Susan Aikins, Revenue Officer *SAE*  
Subject: Liquor License Conditional Use Comments

Dimond Center Hotel LLC. DBA Dimond Hotel. Liquor License Conditional Use Application Case # 2002-161.

Real Property Account #'s 013-092-27 Legal Description Dimond Industrial BLK 2 LT 5A Frag Lot 14/ Business Personal Property Tax account # 533811 Address: 800 E. Dimond Blvd.

No delinquent real property taxes owing, the 2002 taxes were paid on time. 2002 Business returns were filed on time. 2002 Business personal property taxes will be billed out on August 1<sup>st</sup>, 2002, the 1<sup>st</sup> ½ amount will be due on August 31, 2002.

Business license # 248073 417700 mailing address: 800 E. Dimond Blvd. Suite 3-615

---

ACCT: 013 092 27 00013 ROLL: 1 STATUS: ACTIVE  
 NAME: DIMOND CENTER HOTEL LLC TAX DIST: 018  
 LEGAL: DIMOND INDUSTRIAL  
 800 E DIMOND BLVD STE 3-500 BLK 2 LT 5A FRAG LOT 14  
 ANCHORAGE AK 99515-2028 UNIT:

---

SITE: 000700 E DIMOND BLVD

---

TAXABLE VALUE: 4,934,500  
 CURRENT TAX: 84,626.67 ORIGINAL TAX: 84,626.67  
 STATE CREDIT: 0.00

---

	PRINCIPAL	INTEREST	PENALTY	COST	TOTAL
ADVANCE:	0.00				0.00
CURR YEAR:	0.00	0.00	0.00	0.00	0.00
PRIOR YEAR:	0.00	0.00	0.00	0.00	0.00
BALANCE DUE:	0.00	0.00	0.00	0.00	0.00

---

=====

YR	DIST	PRINCIPAL	INTEREST	PENALTY	COST	TOTAL
BAL DUE		0.00	0.00	0.00	0.00	0.00





## License Detail

**LicNum:** 417700

**Business Name:** DIMOND HOTEL

**Address:** 800 East Dimond Blvd. S 3-615  
ANCHORAGE, AK 99515

**Original Issue:** 04/25/2001

**Current Issue:** 04/25/2001

**Expiration:** 12/31/2002

**Business Type:** Corporation

**Tobacco Sales:** No

**Export:** No

**Line Of Business:** Accommodation and Food Services

**Primary Activity:** Traveler Accommodation (hotels, motels, bed & breakfast, etc.)

**Secondary Activity:** Not Specified

**Owners:** Dimond Center Hotel, Llc



George P. Wuerch  
Mayor

**Municipality of Anchorage**  
**Department of Health and Human Services**

825 "L" Street  
P.O. Box 196650 Anchorage, Alaska 99519-6650  
<http://www.ci.anchorage.ak.us>



RECEIVED  
JUL 25 2002  
MUNICIPALITY OF ANCHORAGE

Date: July 8, 2002

To: Mark Lessard, Safe City Program, Alcohol Services Homeless Mrg.  
Mary Ann Mosely, Principal Enforcement Code Officer  
Karen DeWinter, Program Manager, Child and Adult Care

From: Joan Diamond, Community Health Promotion, Injury Prevention

Case No. 2002-161 Enclosed is a Conditional Use Permit application from Dimond Center LLC and Seldovia Native Association Inc. for a beverage dispensary license to sell alcohol at Camel Rock Lounge, Dimond Center Hotel, 800 E. Dimond Blvd. (Taku/Campbell Community council). **Policy #22 in Anchorage Comp 20/20** states that "locational standards and criteria for retail sales/service of alcoholic beverage will be provided" however at this time, no standards have been established. Reasonable standards can be applied to this application until Assembly action is taken. Please evaluate this application for compatibility with surrounding uses. DHHS evaluates for the public health and safety of a license location, as it regards sanitation, injury, childcare and family protection.

The Municipality approves the conditional use permits for the location of all alcohol outlets. Once approved, the CUP is independent of the liquor license and continues even if the establishment closes. Neighborhood crime and traffic crashes are known to increase as alcohol availability goes up. Research reports that communities that control for the number and location of alcohol outlets can mitigate the number of traffic crashes and neighborhood crime. The opportunity to approve new or continuing operations of an alcohol outlet in a specific location is an important feature of public health. This regulatory provision goes beyond economic considerations

**Evaluation:**

**Joan Diamond:** Since state law limits the number of beverage dispensary licenses by population, 1/3000, no new licenses are available in Anchorage. This policy is to control availability so that problems can be minimized. Historically, TakuCampbell has not approved any licenses that are transferred in from another community council. It was not noted in the application whether this license came from an existing establishment in the area. Though we do not have standards to evaluate alcohol sales, we do know that controlling access to alcohol, penalties for violations of liquor laws, stricter licensure requirements, and random sobriety checkpoints are four of the most important ways by which cities might be able to lower alcohol related problems.

**Karen deWinter:** Re Case No. 2002-161, Dimond Center Hotel LLC:

A brief review of the Conditional Use materials shows that our nearest licensed child care center is Morning Star Christian School, located at 8220 Briarwood, which is in the New Seward/Briarwood area. The impact is expected to be minimal.



George P. Wuerch  
Mayor

**Municipality of Anchorage**  
**Department of Health and Human Services**  
825 "L" Street  
P.O. Box 196650 Anchorage, Alaska 99519-6650  
<http://www.ci.anchorage.ak.us>



**Mary Ann Mosely,**

I do not see any reason to deny the CUP to Camel Rock Lounge or to Bernie's Bungalow Lounge. Both places appear to have complied with all environmental sanitation food codes and no public nuisance complaints exist in CETS.

**Mark Lessard,**

I have no concerns in regards to the Dimond Hotel.

**Please review this application and reply by July 22.**



MUNICIPALITY OF ANCHORAGE

Department of Health and Human Services



**Date:** August 12, 2002  
**To:** Rich Cartier, Planning Technician  
**From:** Jeffrey Urbanus, Environmental Specialist  
**Subject:** Environmental Services Division Comments Due 08/13, 08/15, 08/27/02

---

RECEIVED  
AUG 13 2002  
MUNICIPALITY OF ANCHORAGE  
PLANNING DIVISION

Due 08/13/02  
CASE NO 2002-161: No Comment

Due 08/12/02  
CASE NO 2002-149: No Comment  
CASE NO 2002-157: No Comment  
CASE NO 2002-163: No Comment  
CASE NO 2002-164: Withdrawn  
CASE NO 2002-165: No Comment  
CASE NO 2002-167: No Comment

Due 08/24/02  
CASE NO 2002-160: No Comment

RECEIVED

JUL 03 2002

MUNICIPALITY OF ANCHORAGE  
PLANNING & ZONING DIVISION

Pierce, Eileen A

**From:** Staff, Alton R.  
**Sent:** Wednesday, July 03, 2002 9:11 AM  
**To:** Ayres, Patty R.; Pierce, Eileen A  
**Cc:** Taylor, Gary A.  
**Subject:** Zoning Case Reviews

The Public Transportation Department has no comment on the following cases:

- 2002-108 ✓
- 2002-110 ✓
- 2002-112 ✓
- 2002-115 ✓
- 2002-117 ✓
- 2002-118 ✓
- 2002-126 ✓
- 2002-143 ✓
- 2002-125 ✓
- 2002-127 ✓
- 2002-128 ✓
- 2002-129 ✓
- 2002-130 ✓
- 2002-131 ✓
- 2002-133 ✓
- 2002-153 ✓
- 2002-156 ✓
- 2002-160 ✓
- 2002-161 ✓

Thank you for the opportunity to review.

Alton R. Staff, Operations Supervisor  
Public Transportation Department, People Mover  
3650-A E. Tudor Road  
Anchorage, 99507

# STATE OF ALASKA

DEPARTMENT OF TRANSPORTATION AND PUBLIC FACILITIES

CENTRAL REGION - PLANNING

TONY KNOWLES, GOVERNOR

4111 AVIATION AVENUE  
P.O. BOX 196900  
ANCHORAGE, ALASKA 99519-6900  
(TDD 269-0473)  
(907) 269-0520 (FAX-269-0521)

July 10, 2002

RE: MOA Zone Requests

JUL 11 2002

Mr. Jerry Weaver, Platting Officer  
Department of Development & Planning  
Municipality of Anchorage  
P.O. Box 196650  
Anchorage, Alaska 99519-6650

Dear Mr. Weaver:

The Department of Transportation and Public Facilities (ADOT&PF) has reviewed the following zoning cases and has no comment.

2002-160 Conditional Use: sale, dispense or serve alcoholic beverages

2002-161 Conditional Use: hotel serving alcohol

2002-162 Site Plan: Anchor Park United Methodist Church, Anchor Park Subdivision

Thank you for the opportunity to comment on these zoning cases. If you have any questions, please contact me at 269-0522.

Sincerely,



Sandra L. Cook  
Area Planner

/lm



# Municipal Light and Power

FILE COPY

ENGINEERING DIVISION

MEMORANDUM

RECEIVED

JUL 19 2002

MUNICIPAL LIGHT AND POWER  
ENGINEERING DIVISION

DATE: 17 July 2002  
TO: Richard Cartier, Planning Department  
FROM: Mio Johnson, Customer Engineering Supervisor  
RE: Cases 2002-160, 2002--161

Case #	Description	Comment
2002-160	Conditional Use to serve Alcoholic beverages, Bernie's Lounge	No Comment
2002-161	Dimond Center Hotel serving alcoholic beverages	No Comment

RETURN COMMENTS TO:

DEPARTMENT OF PLANNING  
Zoning and Platting Division  
P.O. Box 196650  
Anchorage, Alaska 99519-6650  
Phone 343-4215

Case No. 2002-161

343-4230  
Rich Carter

RECEIVED  
JUL 29 2002  
MUNICIPAL ASSEMBLY

A request concept/final approval of a conditional use to permit:

a hotel serving alcoholic beverages

in the B-3 General business district

COMMENTS AND MEETING SCHEDULE:

Municipal Assembly Public hearing

Assembly Hearing Date: Tuesday, September 10, 2002

Agency Comments Due: Tuesday, August 13, 2002

Council Comments Due: Friday, August 23, 2002

DISTRIBUTION: STANDARD DISTRIBUTION

Bayshore-Klatt Community Council

Fire No Objection

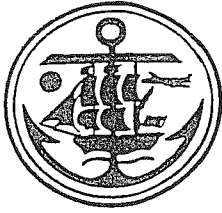
7.22.02

*[Signature]*

MUNICIPAL ASSEMBLY  
Assembly Hall, Z. J. Loussac Library  
3600 Denali Street, Anchorage, Alaska  
Monday, July 01, 2002 6:30 p.m.

3

# APPLICATION



Municipality of Anchorage  
 Department of Community Planning and Development  
 P.O. Box 196650  
 Anchorage, Alaska 99519-6650  
**CONDITIONAL USE APPLICATION**  
**ALCOHOLIC BEVERAGE SALES**

OFFICE USE	AB
REC'D By:	RC
Verify Own:	RC
Poster and Affidavit:	AB
Fee \$:	750
Hearing Date:	9/10/02

NEW license

Case Number: 2002-161

This application for a alcoholic beverage sales conditional use is for the following:

- |   |   |  |
|---|---|--|
| <input type="checkbox"/> Beverage Dispensary                    | <input type="checkbox"/> Private Club       | <input type="checkbox"/> Restaurant, exempt      |
| <input checked="" type="checkbox"/> Beverage Dispensary-Tourism | <input type="checkbox"/> Public Convenience | <input type="checkbox"/> Theater                 |
| <input type="checkbox"/> Brew Pub                               | <input type="checkbox"/> Recreational       | <input type="checkbox"/> Other (Please explain): |
| <input type="checkbox"/> Package Store                          | <input type="checkbox"/> Restaurant         |  |

A. Please fill in the information requested below. Print one letter or number per block.

1. Abbreviated legal description (T12N R2W SEC 2 LOT 45 or SHORT SUB BLK 3 LOT 34) Full legal on back page.

BLK 2 LT 5A FRAG LOT 14

2. Site address

800 E DIMOND BLVD ANCH AK 99515

3. Petitioner's Name (Last - First)

DIMOND CENTER HOTEL LLC

email: mbeal@tribalnet.org

Address: 800 E. DIMOND BLVD

City: ANCHORAGE State: AK

Phone Number: 907-222-5224 ext Zip: 99515

Number: 907-868-8006 DAY

4 Petitioner's representative

MICHAEL BEAL

Address: 800 E. Dimond Blvd

City: ANCHORAGE State: AK

Phone Number: 907-222-5224 ext Zip: 99515

Number: 907-868-8006 DAY

5 Property owner if petitioner is not property owner

N/A

Address:

City: State:

Phone Number: Zip:

6. Current Zoning:

B3

9. Principal Tax Number:

01309227

7. Petition Acreage:

1.3

10. No. of Tax Parcels:

ONE

8. Grid Number:

2331

131,396 sq. ft.

11. Community Council:

TAKU/Campbell Payshon-Klatt

B. I hereby certify that (I am)(I have been authorized to act for) owner of the property described above and that I desire conditional use approval in conformance with Title 21 of the Anchorage Municipal, Code of Ordinances. I understand that payment of the conditional use application fee is nonrefundable and is to cover the costs associated with processing this applications, and that it does not assure approval of the conditional use. I also understand that assigned hearing dates are tentative and may have to be postponed by Planning Staff or the Assembly due to administrative reasons.

Date: 6-28-02

Signature: [Signature]

\*Agents must provide written proof of authorization

C. Please check or fill in the following

1. Comprehensive Plan -- Land Use Classification

- |  |  |   |
|--|--|---|
| <input type="checkbox"/> Alpine/Slope Affected | <input type="checkbox"/> Marginal Land             | <input type="checkbox"/> Residential            |
| <input checked="" type="checkbox"/> Commercial | <input type="checkbox"/> Parks/Open Space          | <input type="checkbox"/> Special Study          |
| <input type="checkbox"/> Commercial/Industrial | <input type="checkbox"/> Public Lands Institutions | <input type="checkbox"/> Transportation Related |
| <input type="checkbox"/> Industrial            |  |   |

2. Comprehensive Plan Residential Land Use Intensity

- |  |  |  |
|--|--|--|
| <input type="checkbox"/> Dwelling units per acre | <input type="checkbox"/> Alpine/Slope Affected | <input type="checkbox"/> Special Study |
|--|--|--|

D. The full legal description for legal advertisement (use separate paper if necessary)

*Diamond Industrial, Bk K 2 L 5A FRAG. Lot 14*

**STANDARDS FOR CONDITIONAL USE APPROVAL**

The petitioner should respond to the best of his/her ability to the following general standards for a conditional use. (See AMC 21.50.020). The Assembly may approve the conditional use application only if it finds that the application:

A. Further the goals and policies of the Comprehensive Development Plan and conforms to the Comprehensive Development Plan in the manner required by Chapter 21.05.

*See ATTACHMENT*

B. Conforms to the standards for that use in this title and regulations promulgated under this title.

*See ATTACHMENT*

C. Will be compatible with existing and planned land uses in the surrounding neighborhood and with the intent of its use district.

*See ATTACHMENT*

- D. Will not have a permanent negative impact on the items listed below substantially greater than that anticipated from permitted development:
1. Pedestrian and vehicular traffic circulation and safety.

See ATTACHMENT

2. The demand for and availability of public services and facilities.

See ATTACHMENT

3. Noise, air, water, or other forms of environmental pollution.

See ATTACHMENT

4. The maintenance of compatible and efficient development patterns and land use intensities.

See ATTACHMENT

### STANDARDS CHAPTER 10.50 ALCOHOLIC BEVERAGES

In the exercise of its powers and under AS 04.11.480 and 15 AAC 104.145 to protest issue, renewal and transfer or alcoholic beverage licenses within the Municipality of Anchorage, the Assembly shall consider whether the proposed license meets each and every factor and standard set forth below

- A. **Concentration and land use.** Whether transfer of location or issue of the requested license will negatively impact the community through an increase in the concentration of uses involving the sale or service of alcoholic beverages within the area affected and will conform to the separate standards of AMC 21.50.020.

Within 1,000 feet of your site are how many active liquor licenses?

HOME

How would you rate this area's concentration on a scale of 1 to 5 with 5 = high

12345

In your opinion is this quantity of licenses a negative impact on the local community?

- B. **Training.** If application is made for issue, renewal or transfer of a beverage dispensary license, restaurant or eating place license, or package store license, whether the applicant can demonstrate prospective or continued compliance with a Liquor "Server Awareness Training Program approved by the State of Alaska alcoholic Beverage Control Board, such as or similar to the program for techniques in alcohol management (T.A.M.). Until such plan is approved, training by a licensee's employees in the T.A.M. shall constitute compliance with this ordinance.

How many employees in direct contact with alcohol will be trained in accordance with the Alcoholic Beverage Control Board's Liquor Server Awareness Training Program?

FIVE

C. **Operations procedures.** If application is made for issue, renewal or transfer of a license, whether the applicant can demonstrate prospective or continued compliance with operations procedures for licensed premises set forth in Section 10.50.035 of this code.

Happy hours?

Games or contests that include consumption of alcoholic beverages?

Patron access and assistance to public transportation?

Notice of penalties for driving while intoxicated posted or will be posted?

Non-alcoholic drinks available to patrons?

Solicitation or encouragement of alcoholic beverage consumption?

Yes	No
	X
	X
X	
X	
X	
	X

D. **Public safety.** When application is made for the renewal or transfer of location or transfer of ownership of a beverage dispensary license restaurant or eating place license, or package store license, the Assembly shall consider whether the operator can demonstrate the ability to maintain order and prevent unlawful conduct in a licensed premises. In determining the operator's demonstrated ability to maintain order and prevent unlawful conduct, the Assembly may consider police reports, testimony presented before the Assembly, written comments submitted prior to or during the public hearing, or other evidence deemed to be reliable and relevant to the purpose of this subsection. For purposes of this section and Section 10.50.035 "licensed premises" shall include any adjacent area under the control or management of the licensee.

*What are the proposed precautions to maintain order and prevent unlawful conduct at the licensed premises?*

*inside facility:*

*See enclosed*

*outside facility:*

*See enclosed*

E. **Payment of taxes and debts.** When application is made for renewal of a license the assembly shall consider, pursuant to AS 4.11.330, whether the applicant is delinquent in payment of taxes owed to the Municipality. When application is made for transfer of ownership of a license the Assembly shall consider, pursuant to AS 4.11.360, whether the municipality has received either payment or adequate security, for the payment of any debts or taxes, including any estimated taxes for the current year, arising from the conduct of the licensed business. Adequate security for the payment of debts and taxes may be in the form of: 1) escrowed funds sufficient to pay the debts and taxes claimed and any escrow fees; 2) actual payment of debts and taxes claimed; or, 3) a guarantee agreement in accordance AMC 10.50.030. Any guarantee agreement shall be in writing, signed by the transferor, transferee and Municipality

*Are real estate and business taxes current?*

*Are there any other debts owed to the Municipality of Anchorage?*

Yes	No
X	
	X

F. **Public health.** If application is made for the renewal or transfer of location or transfer of ownership of a license, the Assembly shall consider whether the operator has engaged in a pattern of practices injurious to public health or safety, such as providing alcohol to minors or intoxicated persons, committing serious violations of State law relevant to public health or safety, or other actions within the knowledge and control of the operator which place the public health or safety at risk. In determining if a pattern of practices injurious to public health or safety exists, the Assembly may consider criminal convictions, credible proof of illegal activity even if not prosecuted, police reports, testimony presented before the Assembly, written comments submitted prior to or during the public hearing, or other evidence deemed to be reliable and relevant to the purpose of this subsection.

As the applicant and operator can you comply? If no explain

Yes	No
X	

### FACILITY OPERATIONAL INFORMATION

1. What is the proposed or existing business name:  
*Diamond Center Hotel LLC*  
*Diamond Center Hotel / Camel Rock Lounge*

2. The facility occupant capacity? *Hotel* *74,223*

<i>Lounge</i> Gross leaseable floor space in square feet:	1,129
Number of fixed seats(booth and non movable seats):	0
Number non-fixed seats(movable chairs, stools, etc.):	54

3. What will be the hours of operation?

*Lounge* Normal business hours will be from: 5PM to: 11PM  
 Alcoholic beverages will be available from: 5PM to: 11PM

4. An estimated ratio of food sales to alcohol beverage sales.

Alcoholic beverage sales in percentage	5 %
Food sales in percentage	0 %
Other	95 %

5. Type of entertainment proposed:

	Check all that apply
Recorded music	<input type="checkbox"/>
Live music	<input type="checkbox"/>
Floor shows	<input type="checkbox"/>
Patron dancing	<input type="checkbox"/>
Sporting events	<input type="checkbox"/>
<i>T.V</i> Other	<input checked="" type="checkbox"/>
None	<input type="checkbox"/>

6. Does the operator propose entertainment or environmental conditions in the facility that will meet the definition of "indecent material" or "adult entertainment" as set forth by AMC 8.05.420 Minors-Disseminating indecent material or AMC 10.40.050 Adult oriented establishment?

Yes	No
	X

7. If the application is for a package store, the projected percentage of alcoholic product inventory of the store where the retail unit price is:

	Percentage
less than \$5.00	%
\$5.00 to \$10.00	%
\$10.00 to \$25.00	%
greater than \$25.00	%

8. Site plans and other drawings depicting the following:  
(single copy if copy is 8½x11 or 8½x14 of each, otherwise 21 copies of each)

- site plan with building footprint, parking space layout and vehicle access points drawn to scale
- location of conditional use area if less than whole building
- identification of alcoholic beverage sales or service areas
- building elevations( photograph is acceptable)
- building floor plans drawn to scale

X
X
X
X
X

**PROPERTY OWNER AUTHORIZATION  
and  
ACKNOWLEDGMENT of APPLICATION**

(I)(WE) hereby grant permission to and acknowledge that Diamond Center Hotel LLC - Diamond Center Hotel is applying for a conditional use permit for the retail sales of alcoholic beverages on a property under (MY)(OUR) ownership and that as part of the conditional use permit process the Assembly may apply conditions which will be the responsibility of the property owner to satisfy.

(I)(WE) hereby assign Michael Beal to act as (MY)(OUR) agent in this conditional use permit application. *(See enclosed)*

(I)(WE) will represent (MYSELF)(OURSELVES).

Signed this 21 of June 1992002

Signature *Michael Beal*

Title C.E.O.

**Supplemental Form: ADDITIONAL PETITIONERS**

**ADDITIONAL PETITIONERS:**

Applicants for an entitlement involving more than one property description and owned by more than one individual are required to provide the name, legal description of property owned, and signature of each petitioner. Persons signatory to this application supplement are deemed to be petitioners (use additional paper if necessary)

We, the undersigned, hereby apply for: \_\_\_\_\_

Signature	Name (printed or typed)	Legal description of property owned within petition area
1.		
2.		
3.		
4.		
5.		
6.		
7.		
8.		
9.		
10.		
11.		
12.		
13.		
14.		
15.		
16.		
17.		
18.		
19.		
20.		

**Attach this sheet to your application form**

Accepted by	Date	Application for	Case Number
-------------	------	-----------------	-------------

Supplemental Form: OWNERSHIP AND BENEFICIAL INTEREST DISCLOSURE

**PETITIONER: CORPORATE OFFICERS OR PARTNERS**

Applicants for an entitlement that will be in possession and the responsibility of more than one individual, such as a co-owner, joint venture, partnerships, corporations, company, or other similar form of ownership, are required to disclose a full and complete list of the name and address of each principal. (use additional paper if necessary)

Name	Title or Office (if any)	Address
Seldovia Native Association Inc.		P.O. Drawer 4 Seldovia, AK 6630252
Diamond Center LLC		800 E. Diamond Blvd. Suite 3-500 ANCHORAGE, AK 99515

**PROPERTY OWNER: CORPORATE OFFICERS OR PARTNERS**

The petitioner of a property owned by more than one individual that will benefit from an entitlement is required to disclose a full and complete list of the name and address of each partner, officer, or co-owner. The other owner interest to be reported is co-owner, joint venture, partnership, corporation, company, or other similar form of ownership. (use additional paper if necessary)

Name	Title or Office (if any)	Address
Seldovia Native Association Inc.		P.O. Drawer 4, Seldovia AK 6630252
Diamond Center LLC		800 E. Diamond Blvd. Suite 3-500 ANCHORAGE AK 99515

Attach this sheet to your application form

STANDARDS FOR CONDITIONAL USE APPROVAL  
BEVERAGE DISPENSARY LIQUOR LICENSE FOR DIMOND CENTER HOTEL-CAMEL ROCK LOUNGE

LOCATION AND DESCRIPTION OF PLANNED USE

Dimond Center Hotel-Camel Rock Lounge's application is for a conditional use allowing "on premises" alcohol sales for Dimond Center Hotel-Camel Rock Lounge to be located just west of the intersection of Dimond Blvd. and Old Seward Hwy. in Anchorage, Alaska. The physical address of the proposed facility is 800 E. Dimond Blvd. The use of this location for a hotel with a beverage dispensary license is consistent with the Anchorage 2020 Comprehensive Plan for this area as set out in the policies discussed below.

**The Petitioner should respond to the best of its ability to the following general standards for a conditional use (See AMC 21.50.020). The Assembly may approve the conditional use application only if it finds that the application:**

- A. Further the goals and policies of the Anchorage 2020 Comprehensive Plan and conforms to the Comprehensive Development Plan in the manner required by Chapter 21.05**

Initially, it must be noted that the Anchorage 2020 plan in Policy #21 provides that "locational standards and criteria for retail sales/services of alcoholic beverages" are to be in place. To date, no such standards have been adopted. Therefore, consideration must be given to the more generalized policies and statements of the 2020 Plan for guidance as to this conditional use application.

GENERAL POLICIES OF THE 2020 PLAN

The Anchorage 2020 Comprehensive Plan contains 97 policies which provide direction on land-use issues to public officials and the general public until such time as all implementation strategies of the plan are completed.

Policy #21, dealing with "all new commercial development" directly relates to the application for Dimond Center Hotel conditional use for cocktail lounge with a beverage dispensary license at 800 E. Dimond Blvd. This policy provides that "All new commercial development shall be located

and designed to contribute to improving Anchorage's overall land use efficiency and compatibility, traffic flow, transit use, pedestrian access, and appearance."

Further, Policy #21 requires that all new commercial development shall adhere to the following principles which are applicable to this development:

- a) Commercial development shall occur primarily within Major Employment Centers, Redevelopment/Mixed Use Areas, Town Centers, & Neighborhood Commercial Centers.**

-This location is within the boundaries of a Commercial Center. Thus, commercial development of a family hotel is consistent with this policy.

- b) In order to use existing commercial land more efficiently, redevelopment, conversion, and reuse of under-used commercial areas shall be encouraged.**

-This site was previously a parking lot. It will now house a fine hotel. Because the Dimond Center Hotel's location was previously a parking lot this development results in the more efficient use of commercial property meeting the standards in sub-paragraph b of Policy #21.

- d) Architectural and site design standards shall improve the function, and land use efficiency of new commercial development.**

-Dimond Center Hotel has worked with the Taku/Campbell Community to develop a design, which meets the concerns of the community. Specifically, Dimond Center Hotel has, engineered the physical layout of the facility on the lot to accommodate parking.

-See the detailed site plan and renderings attached to this application.

-The design of the building will most certainly reflect the Anchorage 2020 policy of enhanced visual appearance and design scrutiny. This meets the criteria of sub-paragraph d of Policy #21 dealing with architectural standards.

-Finally, this is not a “strip commercial development” in any sense of that term. Thus, the concerns outlined in sub-paragraph e of this Policy are not present in this Development.

### POLICIES OF THE 2020 PLAN

The Anchorage 2020 plan emphasizes the need for commercial development in projects that will function as the focus of community activity for smaller sub areas of Anchorage. They are intended to include a mix of retail shopping and services, public facilities, and medium-to high-density residential uses.

These commercial development projects are to be easily accessible to other neighborhood developments and to public transportation while at the same time providing a retail mix for consumers.

Dimond Center Hotel is within the Dimond Shopping Mall.

Providing a range of commercial retail/services.

-The Taku/Campbell Community Council supported this development, in part because Dimond Center Hotel will provide a facility, which is otherwise absent from this area of town.

The hotel will be located along a main transportation corridor with established bus routes and accessible by sidewalk.

In short, this hotel is directly aligned with the Anchorage 2020 land-use efficiency philosophy.

## ECONOMIC CONSIDERATIONS

The Anchorage 2020 Comprehensive Plan also contains land-use driven economic goals. One of the five major components of the Community Vision statement on page 40 of the 2020 Plan is “[a] thriving, sustainable, broad-based economy....”

There is also discussion throughout the plan of such concepts as a “wide variety of job opportunities” and a “diverse and stable economy”. The 2020 Plan seeks to encourage and support, through responsible land development, a thriving, sustainable, and broad-based economy. This broad-based economy is fueled by the creation and maintenance of jobs for Anchorage residents. These jobs should provide a good salary and employee benefits for Anchorage workers.

The hotel employs over 35 Anchorage residents. These are new jobs, which did not exist prior to the development of this hotel. The jobs range from entry-level jobs to senior management jobs.

In conclusion, it is apparent that this new facility clearly furthers numerous goals and policies of the 2020 Comprehensive Plan. Further, this development is absolutely appropriate.

### **B. Conform to the standards for that use in this title and regulations**

The property is zoned B3 which is intended for general commercial use in area exposed to heavy automobile traffic.

### **C. Compatible with existing and planned land uses**

The Anchorage Bowl 2020 Comprehensive Plan is rooted in the idea of having a wide mix of retail shops serve the needs of the surrounding residents from the medium to high-density housing areas in close proximity to the centers. The other uses in the area range from a large shopping center with general merchandise stores, a bank, fast food locations, convenience stores, office buildings and several existing strip developments containing multiple tenants.

The Dimond Center Hotel at this location is compatible with the other uses. This area is now and will likely remain for the foreseeable future as a commercial area. Thus, the use of this location for this purpose is consistent with both existing and future uses in this area.

The beverage dispensary license, which Dimond Center Hotel is applying for is a new application and is being filed contemporaneously with this conditional use application. Upon approval of this new license and the conditional use, the operation of this license will have sales ratios of 5% alcohol and 95% accommodations. The Taku/Campbell Community Council supported the issuance of this new license.

There are no other beverage dispensary license that is trade related to tourism licenses in the area. There is one package liquor store at Carrs on Dimond and Old Seward Hwy which is located well over 1000 feet of the proposed location. There are several restaurant eating place licenses in the area none of which are within 1,000 feet. There are several beverage dispensary licenses in the area, the closest of which is the license located at O'Brady's in the Dimond Mall which is well over 1,000 feet from the proposed hotel location. There are numerous other bars and restaurants with either beverage dispensary or restaurant/eating place (beer and wine) liquor licenses. However, all are more than 1,000 feet from this proposed location.

As required under Alaska law, there are no church buildings or school grounds within 200 feet of the proposed hotel. There is Taku elementary school which is more than 3 miles away.

There closest church is Grace Baptist Church which is located over 2.5 miles from the proposed Dimond Center Hotel location.

**D. Will not have a permanent negative impact on the items listed below substantially greater than that anticipated from permitted development.**

**1. Pedestrian and Vehicular Traffic**

Pedestrian and vehicular traffic will be easily accommodated at this location, which is readily accessible, by automobile, bus, foot, or bicycle.

Dimond Center Hotel has submitted extensive building and site plans to the Municipality. The plans accommodate vehicular and pedestrian traffic circulation and safety. The site plan provides for adequate entrances and exits for vehicles to and from adjacent streets and roadways, as well as adequate and well-lit vehicle parking facilities. The plans also incorporate pedestrian sidewalks along the streets and roadways adjacent to the parking lot entrances, pedestrian walkway buffers between hotel entrances and exits and the parking lot traffic, as well as handicapped parking. Commercial traffic flow has been restricted to reduce congestion and accident incidence. Public transportation and pedestrian and bicycle access enhance the efficiency and overall convenience of this location.

**2. Demand For and Availability of Public Services and Facilities.**

The following public services are already available at the Dimond Blvd. and Old Seward Hwy. location:

1. Public utilities (sewer and water, waste collection, electricity, natural gas); and
2. Police and Fire protection as provide by the Municipality of Anchorage; and
3. People Mover bus service access.

There are no additional infrastructure requirements for any public services or facilities. Further, at this time, there is no co-located public facility or public service agency on this site.

**3. Noise, air, water, or other pollution.**

Dimond Center Hotel is committed to the operation of its facilities in an environmentally responsible way. There will be no pollution other than the normal storage and removal of trash. The central location of the facility should reduce air pollution as guests of the Dimond Center Hotel have fewer miles to travel to shop and eat out.

**4. Maintenance of compatible and efficient development patters and land use intensities.**

The Anchorage 2020 plan's concept envisions a mix of medium to high-density housing with a wide variety of retail shops serving the needs of

residents in close proximity. The hotel and its associated beverage dispensary license is consistent with the 2020 Plan's goal of land use efficiency.

**STANDARDS: CHAPTER 10.50 ALCOHOL BEVERAGES**  
SOME OF THESE QUESTIONS ARE ALSO ANSWERED ON THE FORM

**A. Concentration and Land Use**

**Licenses w/in 1000 feet:**

None

**Concentration level:**

2 (low concentration)

**Impact on the local community:**

The beverage dispensary license, which Dimond Center Hotel is applying for, in the applicant's opinion, will be no negative impacts on the local community.

In addition, Dimond Hotel will operate its business to the highest standard. The sale of alcoholic beverages themselves is neither negative nor positive. It is the use to which those alcoholic beverages are put by those that consume them that determines if there is a negative impact.

**B. Training**

All employees involved in the dispensing of alcoholic beverages, all managers and assistant managers and the owners of the hotel will be training in a State of Alaska approved training program and will hold the appropriate certifications.

**State # of employees, managers, owners, etc who will be trained.**

Approximately 5 of the total 35 of employees will be trained as required by state law.

**C. Operations Procedures**

Answer in application form

**D. Public Safety**

Inside and Outside Facility

The requirement of demonstrating meeting public safety is based upon the provisions of local ordinance. Dimond Center Hotel is located on a major thoroughfare, is well lighted and is fully staffed with trained employees. No pattern of practices injurious to the public health or safety will occur at the proposed location. The interior of the licensed premises will be well lighted.

**E. Payment of Taxes and Debts:**

Answer in application form

**F. Public Health**

This hotel is a new business at this location. The Management and employees of Dimond Center Hotel will be trained and experienced in the operation of a cocktail lounge, which sells alcoholic beverages as part of its service. Because this is a hotel and because of the training, Dimond Center Hotel does not believe that it's operation will, in any fashion, be injurious to the public health or safety.

**FACILITY OPERATIONAL INFORMATION**

SOME OF THESE QUESTIONS ARE ALSO ANSWERED ON THE FORM

**1. What is the proposed or existing business name**

Answer: Dimond Center Hotel, Camel Rock Lounge

**2. The Facility**

Answer in application form

**3. Hours of Operations**

Answer in application form

**4. An estimated ratio of accommodation sales to alcohol beverage sales.**

Answer in application form

This ratio was established by the applicant to insure that this facility is operated as a hotel, not as a bar.

**5. Type of Entertainment.**

Answer in application form

**6. Adult Entertainment**

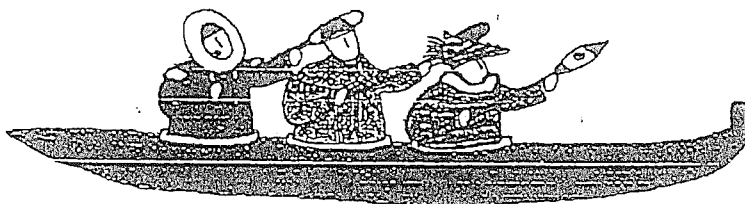
None

**7. If the application is for a package store, ...**

Not applicable

**8. Site plans**

See attached



Seldovia Native Association Inc.  
 800 E Dimond Blvd. 3-653, Anchorage, AK 99515  
 907.868.8006 Main 907.868.8042 Fax

**Property Owner Authorization  
 And  
 Acknowledgement of Application**

We hereby grant permission to and acknowledge that the Dimond Center Hotel is applying for a conditional use permit for the retail sales of alcoholic beverages on a property under our ownership and that as part of the conditional use permit process the Assembly may apply conditions which will be the responsibility of the property owner to satisfy.

We hereby assign Michael Beal to act as our agent in this conditional use permit application.

Signed this 24<sup>th</sup> of April 2002.

John Crawford  
 Signature

Vice President  
 Title



# Seldovia Native Association, Inc.

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## RESOLUTION 2001-2

***A RESOLUTION TO APPROVE THE BUDGET TO CONSTRUCT THE DIMOND CENTER HOTEL, TO FINANCE THE DIMOND CENTER HOTEL AND TO ENTER INTO A LIMITED LIABILITY CORPORATION AS THE MAJORITY OWNER AND MANAGER WITH THE DIMOND CENTER LLC, AS THE MINORITY OWNER OF THE NEW DIMOND CENTER HOTEL LLC.***

WHEREAS, the Board of Directors have determined to construct, manage, and finance the project known as the Dimond Center Hotel, with a cash investment of \$3.8 million dollars.

WHEREAS, it is desired to create a Limited Liability Corporation with SNA the majority owner and the manager and accept as a minority partner the Dimond Center LLC that will strengthen the partnership and limit the risk, who will invest \$200,000 in cash and approximately \$1.3 million dollars in land, and

WHEREAS, it is necessary to approve a construction budget of \$12,800,000 which includes the payment for loan origination fees and points from the construction financing costs, loan costs, and contingency costs of the budget, and which includes working capital to begin operations and all construction costs, and

WHEREAS, it is necessary to approve the financing of the Dimond Center Hotel, which is based upon a B.I.A. guarantee which includes loans totaling \$8.8 million dollars from National Bank of Alaska and the Alaska Industrial Development and Export Authority for the long term portion of the loan and a construction loan from National Bank of Alaska,

NOW, THEREFORE, BE IT RESOLVED by the Board of Directors of Seldovia Native Association, Inc. that CEO, Michael Beal, is hereby authorized to:

1. Finalize negotiations with the Dimond Center LLC as SNA the majority owner and the manager to form a new LLC called the Dimond Center Hotel LLC.
2. Fund \$3.8 million dollars to invest into the new LLC for the purpose of constructing the Dimond Center Hotel, which funds will be used partially to reimburse SNA for all Dimond Center Hotel costs expended.
3. Approve the construction budget of \$12,800,000 to construct the Dimond Center Hotel.
4. Approve the borrowing of funds of \$8.8 million dollars from National Bank of Alaska and the Alaska Industrial Development and Export Authority, with a B.I.A. guarantee, for the long term loan on the Dimond Center Hotel.
5. Approve a construction loan with National Bank of Alaska for the Dimond Center Hotel.

PASSED AND APPROVED THIS 24 DAY OF MARCH, 2001.

ATTEST:

Fred H. Eksewar  
President

Crystal Collier  
Corporate Secretary

(SEAL)

STATE OF ALASKA  
ALCOHOL BEVERAGE CONTROL BOARD  
Licensed Premises Diagram

alcohol serving  
area approx  
1,129 sq. ft.

INSTRUCTIONS: Draw a detailed floor plan of your present or proposed licensed premises on the graph below:  
show all entrances and exits, and all fixtures such as tables, booths, counters, bars, coolers, stages, etc.

DBA: Diamond Center Hotel

PREMISES LOCATION: DIMOND CENTER HOTEL

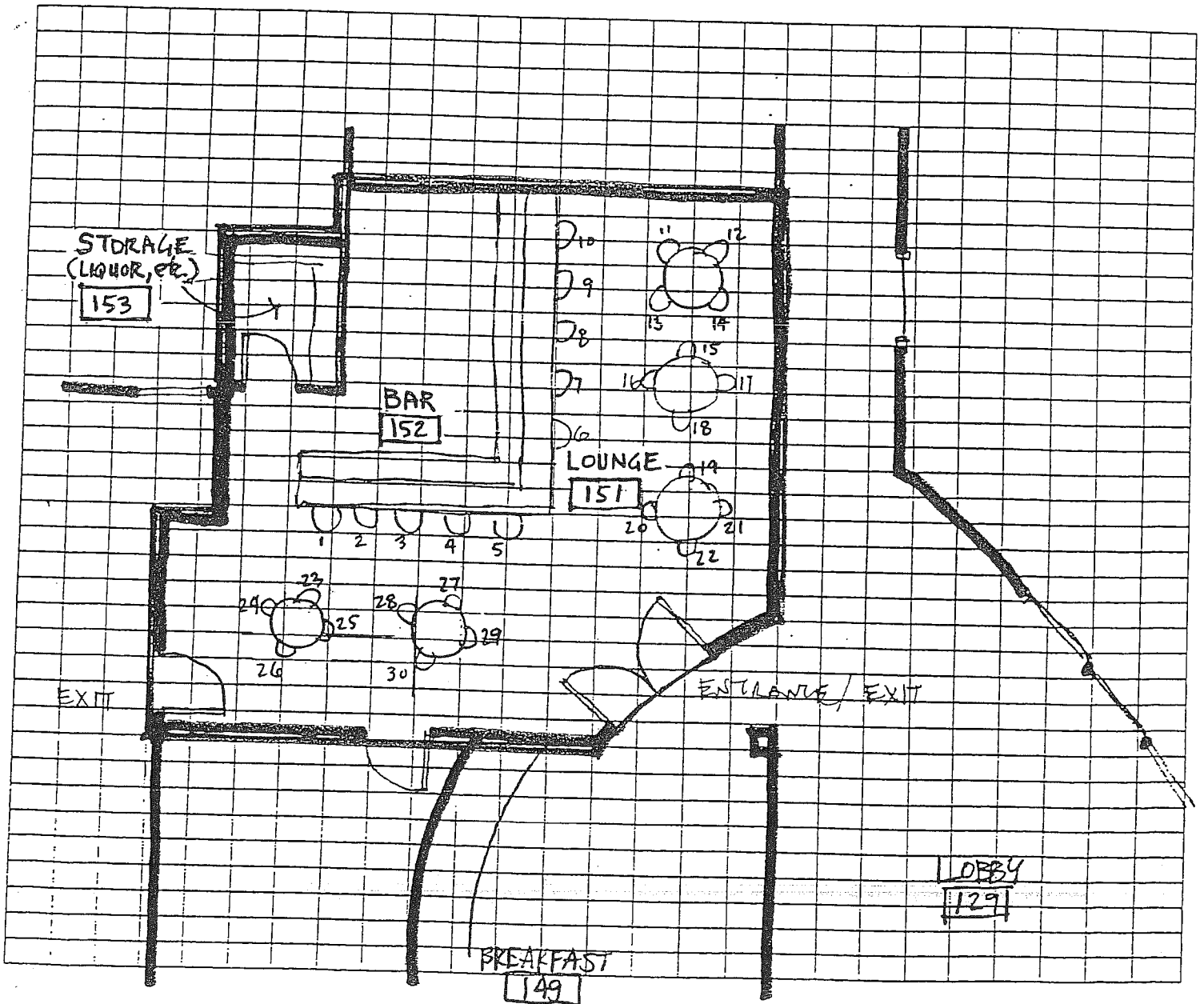
Indicate scale by x after appropriate statement or show length and width of premises. 1 SQ. = 4 FT.

SCALE A: 1 SQ. = 1 FT.

~~X~~ SCALE B: 1/8" = 1'-0"

Length and width of premises in feet:

Outline the area to be designated for sale, service, storage, and consumption of alcoholic beverages in red.  
**DO NOT USE BLUE INK OR PENCIL ON THIS DIAGRAM.**

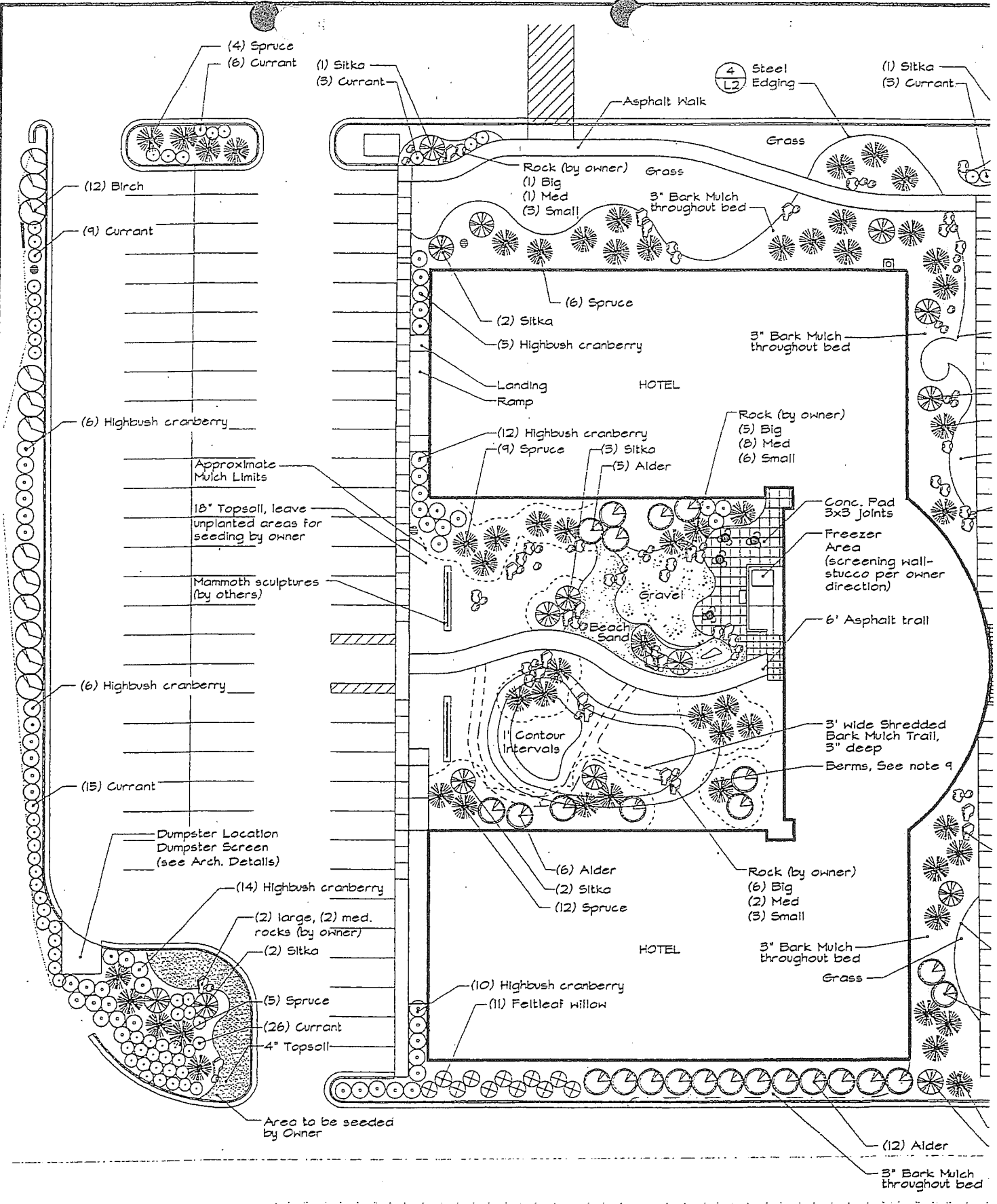


DOML FILE No.

PLOTTED: APR 13 2001 16:00:29 (W5772)

DRAWING NAME: D50NHO-01-15.DWG SCRIPT FILE FOR THIS SHEET

PROJECTS

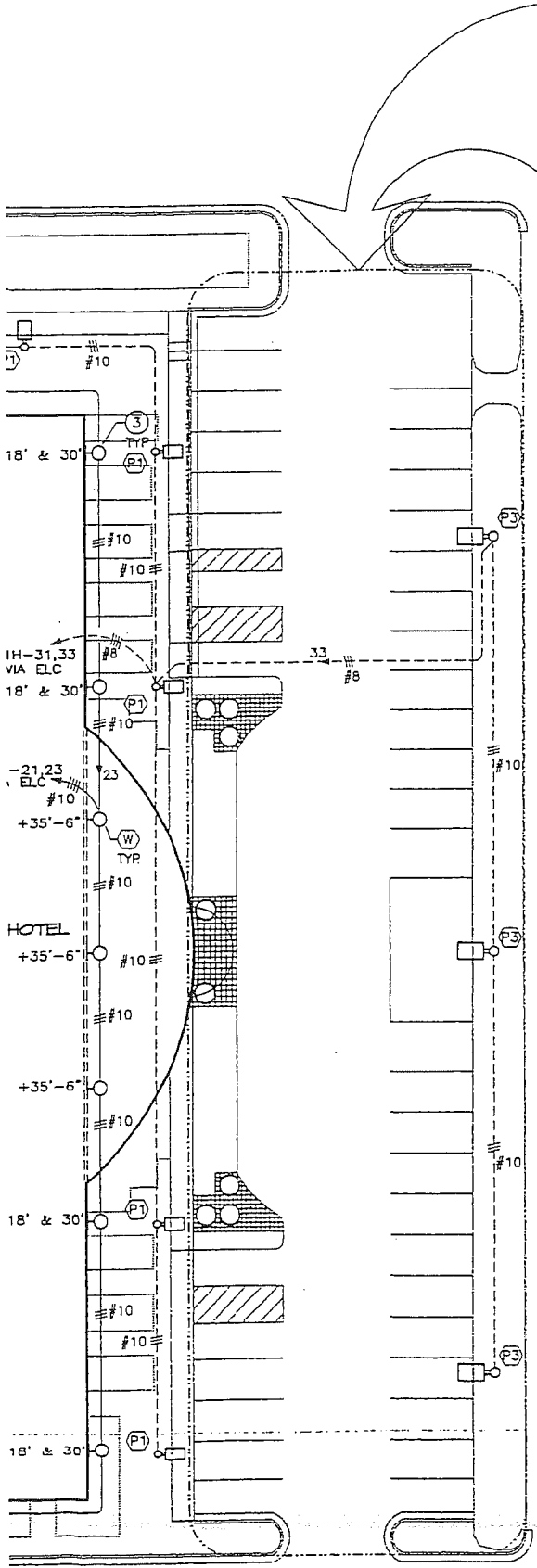


# Landscape Plan



WEST PARKING AREA ILLUMINATION SUMMARY	
CLASSIFICATION: MEDIUM ACTIVITY	
RECOMMENDED ILLUMINATION LEVEL (IES HANDBOOK FIGURE 24-23)	
MINIMUM PAVEMENT ILLUMINATION	0.6 fc
UNIFORMITY RATION (AVE:MIN)	4:1
DESIGNED ILLUMINATION LEVELS	
MINIMUM PAVEMENT ILLUMINATION	3.2 fc
UNIFORMITY RATION (AVE:MIN)	3.5:1

PARKING AREA ILLUMINATION DESIGN COMPLIES WITH THE STANDARDS OUTLINED IN MOA TITLE 21, AND IN ADDITION IS DESIGNED TO MINIMIZE GLARE TO MOTORISTS ON PUBLIC STREETS AND TO RESIDENTS OF ADJACENT PROPERTIES.



**kumin associates, inc.**  
 architects • planners • interior designers  
 800 E street, suite 200 • anchorage, alaska 99501 • (907) 272-9833

**HAZELIG ASSOCIATES, LLP**  
 1115 W. 11th Ave., Suite 100  
 Anchorage, Alaska 99501 • (907) 562-1193

SELDOVIA NATIVE ASSOCIATION  
**DIMOND CENTER HOTEL**  
 ANCHORAGE, ALASKA

**SHEET NOTES**

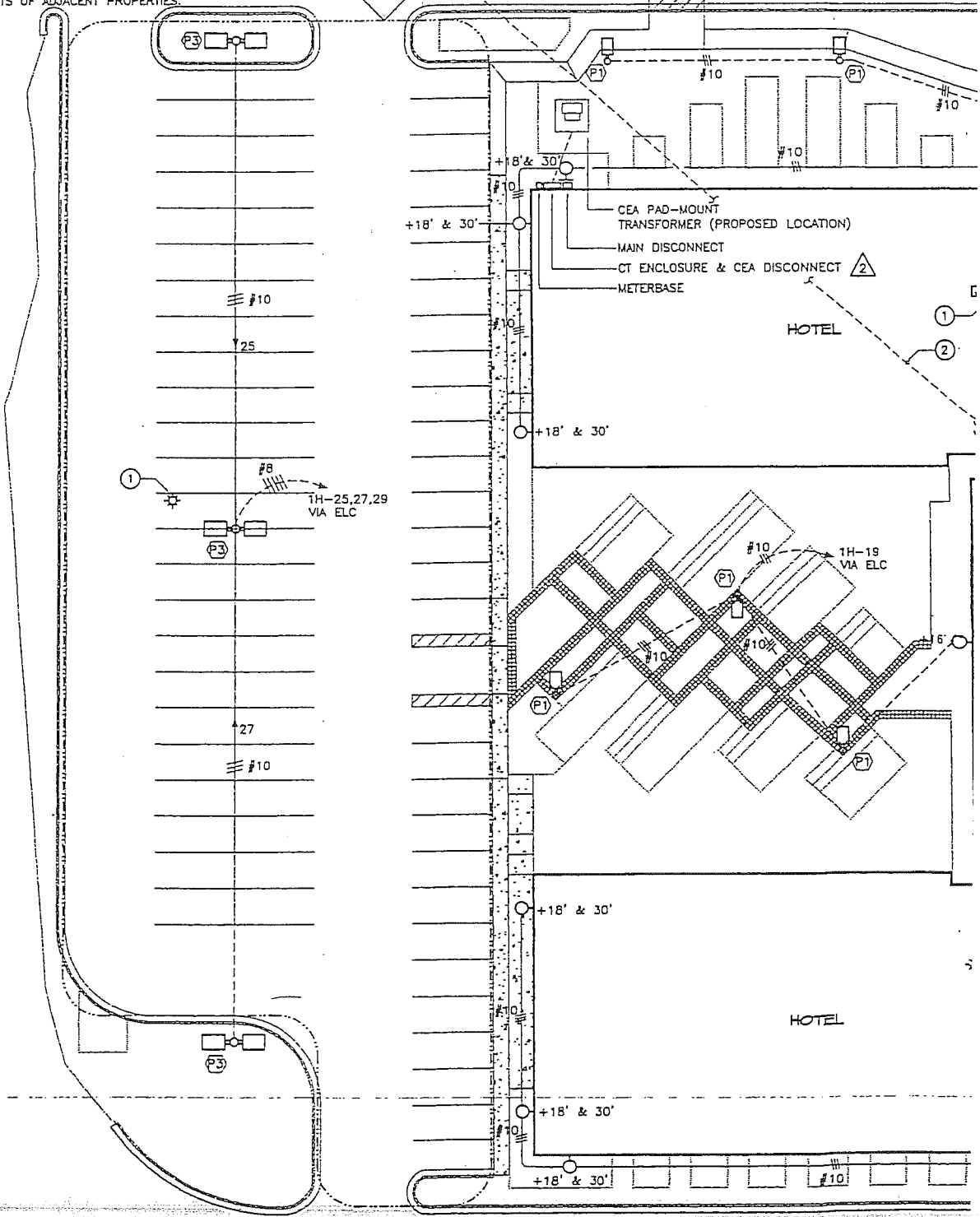
- ① EXISTING POLE AND FIXTURES TO BE REMOVED.
- ② 2" C.O. TO CABLE TELEVISION UTILITY 2 ea. 4" C.O. TO TELEPHONE UTILITY.
- ③ SEE ARCHITECTURAL ELEVATIONS FOR EXACT MOUNTING LOCATIONS FOR TYPE W FIXTURES. MOUNTING HEIGHTS INDICATED ARE APPROXIMATE AS GRADE VARIES. NOTE: WHERE TWO ELEVATIONS ARE INDICATED, TWO TYPE W FIXTURES ARE REQUIRED, ONE AT EACH ELEVATION.

drawn	AMH
checked	11/17
date	10-28-01
revisions	
	17-20-01
	18-01-01
	18-20-01
	18-31-01
	10-15-01
proj no	200101587
dwg title	ELECTRICAL SITE PLAN
sheet no	



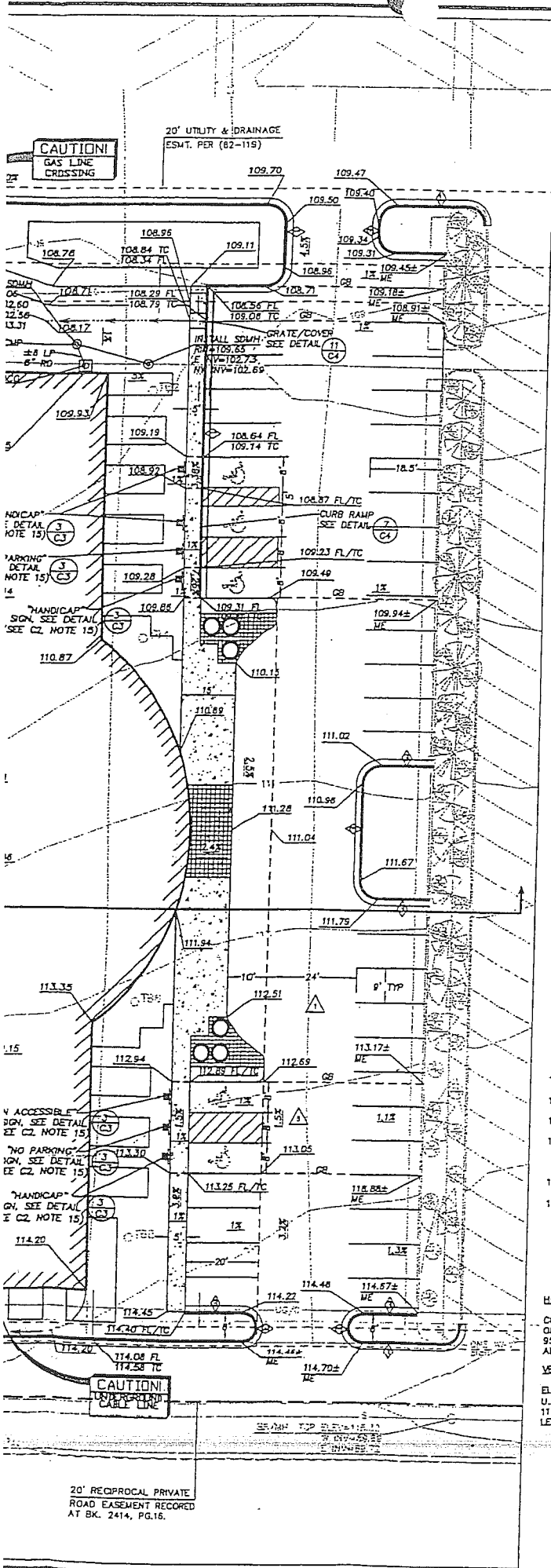
EAST PARKING AREA ILLUMINATION SUMMARY	
CLASSIFICATION: MEDIUM ACTIVITY	
RECOMMENDED ILLUMINATION LEVEL (IES HANDBOOK FIGURE 24-23)	
MINIMUM PAVEMENT ILLUMINATION	0.6 fc
UNIFORMITY RATION (AVE:MIN)	4:1
DESIGNED ILLUMINATION LEVELS	
MINIMUM PAVEMENT ILLUMINATION	3.4 fc
UNIFORMITY RATION (AVE:MIN)	3.1:1

PARKING AREA ILLUMINATION DESIGN COMPLIES WITH THE STANDARDS OUTLINED IN MOA TITLE 21, AND IN ADDITION IS DESIGNED TO MINIMIZE GLARE TO MOTORISTS ON PUBLIC STREETS AND TO RESIDENTS OF ADJACENT PROPERTIES.



1 ELECTRICAL SITE PLAN  
Et.1 SCALE: 1" = 20'





**LEGEND**

PROPOSED	EXISTING	DESCRIPTION
---	---	PROPERTY LINE
---	---	CENTERLINE
---	---	EASEMENT LINE
⊕	⊕	SURVEY MONUMENT
---	---	REBAR
W	W	WATER LINE & VALVE
⊕	⊕	FIRE HYDRANT
⊕	⊕	VALVE
⊕	⊕	CAP
S	S	SEWER LINE
⊕	⊕	SANITARY SEWER MANHOLE
⊕	⊕	CLEANOUT
⊕	⊕	STORM DRAIN LINE
⊕	⊕	STORM DRAIN MANHOLE
⊕	⊕	CATCH BASIN MANHOLE
⊕	⊕	ELECTRIC LINE (UG)
⊕	⊕	ELECTRIC LINE (OH)
⊕	⊕	UTILITY POLE
⊕	⊕	LIGHT POLE
⊕	⊕	LUMINAIRE
⊕	⊕	POWER METER
⊕	⊕	POWER PEDESTAL
⊕	⊕	JUNCTION BOX
⊕	⊕	POWER VAULT
⊕	⊕	TELEPHONE LINE (UG)
⊕	⊕	TELEPHONE LINE (OH)
⊕	⊕	TELEPHONE PEDESTAL
⊕	⊕	NATURAL GAS LINE
⊕	⊕	CABLE TELEVISION LINE
⊕	⊕	OVAL WITH ATTRIBUTE
⊕	⊕	BIRCH TREE
⊕	⊕	GROUND CONTOUR
⊕	⊕	SGN
⊕	⊕	SWALE

**SITE PLAN NOTES**

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 1994 MUNICIPALITY OF ANCHORAGE (M.C.A.) STANDARD SPECIFICATIONS AS CURRENTLY AMENDED.
2. EXISTING GROUND CONTOURS BASED ON DOWL ENGINEERS TOPOGRAPHIC SURVEY PERFORMED IN JULY 2000. CONTRACTOR SHALL VERIFY SITE CONDITIONS.
3. SOILS INFORMATION IS DERIVED FROM SOILS INVESTIGATIONS PERFORMED BY DOWL ENGINEERS. SEE GEOTECHNICAL REPORT DATED AUGUST 2000, AND TITLED: SUBSURFACE INVESTIGATION, DIAMOND CENTER HOTEL, ANCHORAGE, AK. THE SOIL LOGS IN THE REPORT REFLECT THE SOIL CONDITIONS AT THOSE LOCATIONS.
4. LOCATIONS OF EXISTING UTILITIES WERE OBTAINED FROM AS-BUILT DRAWINGS, WERE NOT FIELD LOCATED AND ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL VERIFY EXACT LOCATIONS BY OBTAINING UTILITY LOCATES PRIOR TO BEGINNING OF CONSTRUCTION AND EXERCISE CAUTION DURING EXCAVATION.
5. VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF ALL UTILITIES ENCOUNTERED DURING CONSTRUCTION. RECORD LOCATIONS AND CHANGES TO UTILITIES IN SURVEY NOTES AND ON AS-BUILT DRAWINGS.
6. DEPTH AND LIMITS OF EXCAVATION BELOW BUILDING SHALL BE APPROVED BY SOILS ENGINEER AT THE TIME OF EXCAVATION.
7. ELEVATIONS SHOWN ARE TO FLOW LINE OR FINISH PAVEMENT SURFACE UNLESS NOTED OTHERWISE.
8. DIMENSIONS ON THE SITE GRADING PLAN ARE TO CONTROL LINE, GRADE BREAK, FACE OF BUILDING FOUNDATION, EDGE OF PAVEMENT, EDGE OF CONCRETE, BACK OF CURB, OR FACE OF SIDEWALK UNLESS NOTED OTHERWISE.
9. RESTORE ALL DISTURBED PROPERTY OUTSIDE OF WORK LIMITS TO ORIGINAL CONDITIONS.
10. ALL CURB RADI ARE 5 FEET UNLESS NOTED OTHERWISE. ALL RADI ARE MEASURED AT THE BACK OF CURB.
11. DEWATERING WILL BE REQUIRED FOR ALL EXCAVATIONS THAT PENETRATE THE GROUND WATER SURFACE.
12. THE CONTRACTOR SHALL FOLLOW ALL MUNICIPALITY OF ANCHORAGE REGULATIONS FOR NOISE, HOURS OF OPERATIONS AND DUST CONTROL.
13. THE CONTRACTOR SHALL PROVIDE CONTROLS TO LIMIT SEDIMENT DISCHARGE FROM THE SITE DURING CONSTRUCTION DUE TO SOIL EROSION. THESE CONTROLS SHALL INCLUDE GRASS LINED DITCHES AND SILTATION FENCES AS SHOWN ON THE SITE PLAN. ADDITIONAL CONTROLS MAY BE REQUIRED IF THE MEASURES SHOWN PROVE INADEQUATE.
14. INVERT ELEVATIONS ARE ASSUMED ELEVATIONS. ADJUST INVERT ELEVATIONS AS NEEDED DURING CONSTRUCTION.
15. "HANDICAP" AND "NO PARKING" SIGNS SHOULD BE LOCATED 6" FROM BACK OF SIDEWALK TO CENTERLINE OF SIGN.

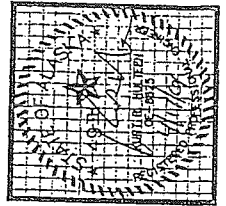
**SURVEY CONTROL**

**HORIZONTAL CONTROL**

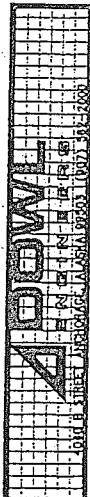
COORDINATES ARE BASED ON AN ASSUMED DATUM IN U.S. FEET. BEARINGS ARE BASED ON THE PLAT OF LOT 5A, BLOCK 2, DIAMOND INDUSTRIAL SUBDIVISION, FILED AS PLAT 95-78 IN THE ANCHORAGE RECORDING DISTRICT, THIRD JUDICIAL DISTRICT, STATE OF ALASKA.

**VERTICAL CONTROL**

ELEVATIONS ARE BASED ON THE MUNICIPALITY OF ANCHORAGE CONTROL NETWORK IN U.S. FEET. THE BASIS OF ELEVATION IS BENCHMARK "MGA-4" HAVING A VALUE OF 114.58 FEET ABOVE MEAN SEA LEVEL. THE DATUM IS NGS 1972 ADJUST, MEAN SEA LEVEL = 0.00.



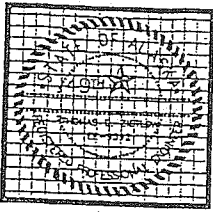
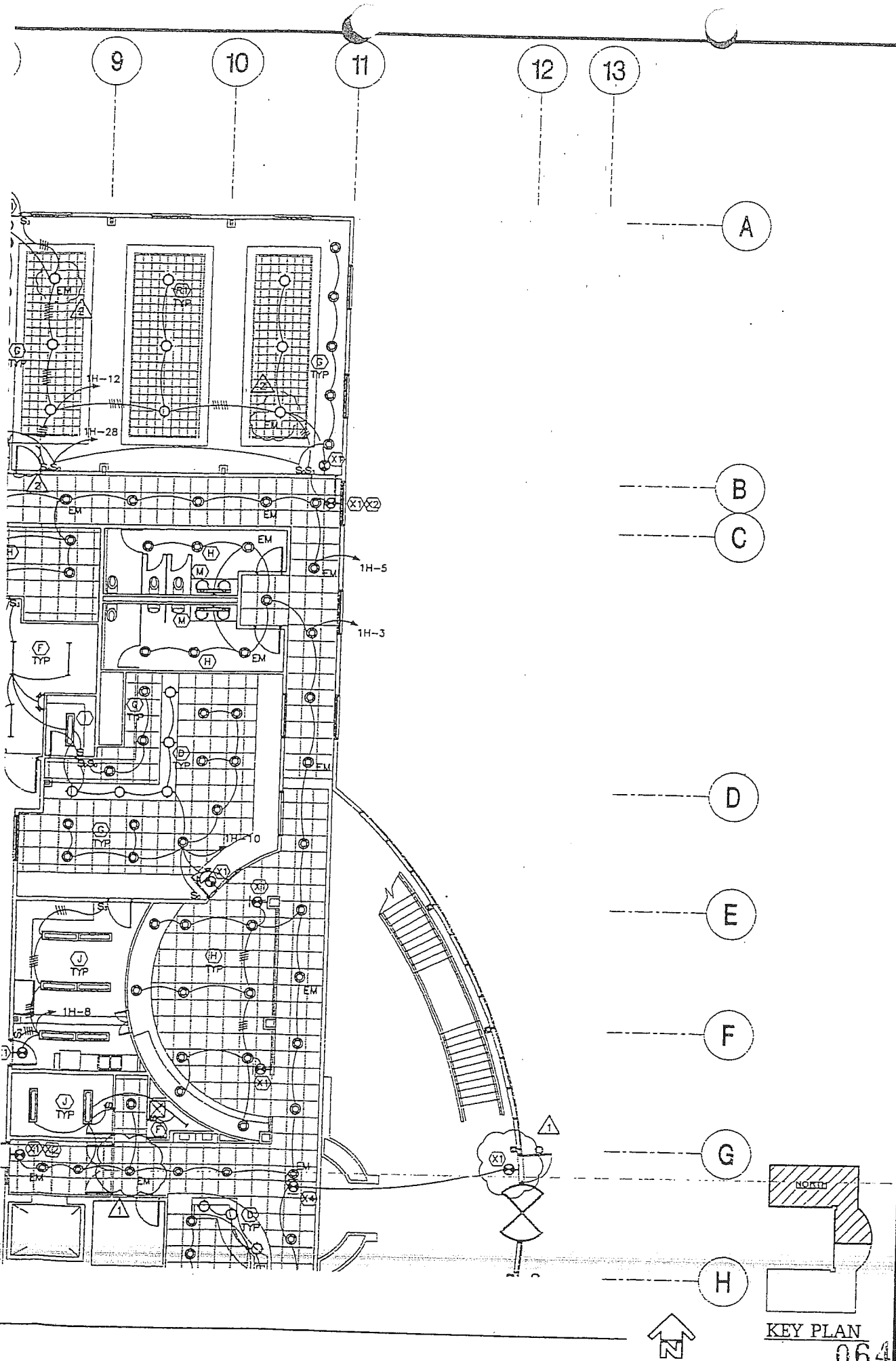
**kumin associates, inc.**  
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 505 E Street, Suite 200 • Anchorage, Alaska 99501 • (907) 272-8533



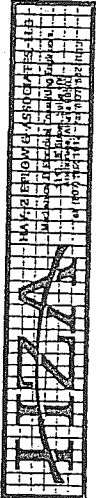
**SELDOVIA NATIVE ASSOCIATION**  
**DIMOND CENTER HOTEL**  
 ANCHORAGE, ALASKA

Drawn	DR
Checked	KH
Date	10-17-10
Revisions	
▲ 4/30/2001	SITE PLAN
REVISIONS	
▲ 5/28/2001	ADDRESS; XYMM
COMMENTS	
▲ 5/31/2001	SITE PLAN
MODIFICATIONS	
▲ 5/15/2001	SITE PLAN
MODIFICATIONS	
REVISED	2011/4
DATE	
PROJECT NO.	
	<b>C2</b>



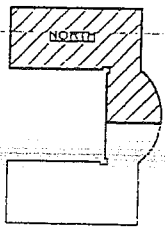


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**SELDOWIA NATIVE ASSOCIATION**  
**DIMOND CENTER HOTEL**  
 ANCHORAGE, ALASKA

drawn	AMF
checked	UDZ
date	05-25-11
revisions	
	07-20-11
	08-01-11
	08-20-11
	08-31-11
	10-15-11
job no.	20041587
dwg. title	FLOOR PLAN
	LIGHTING PLAN
	NOCTP
sheet no.	06/4



KEY PLAN

06/4

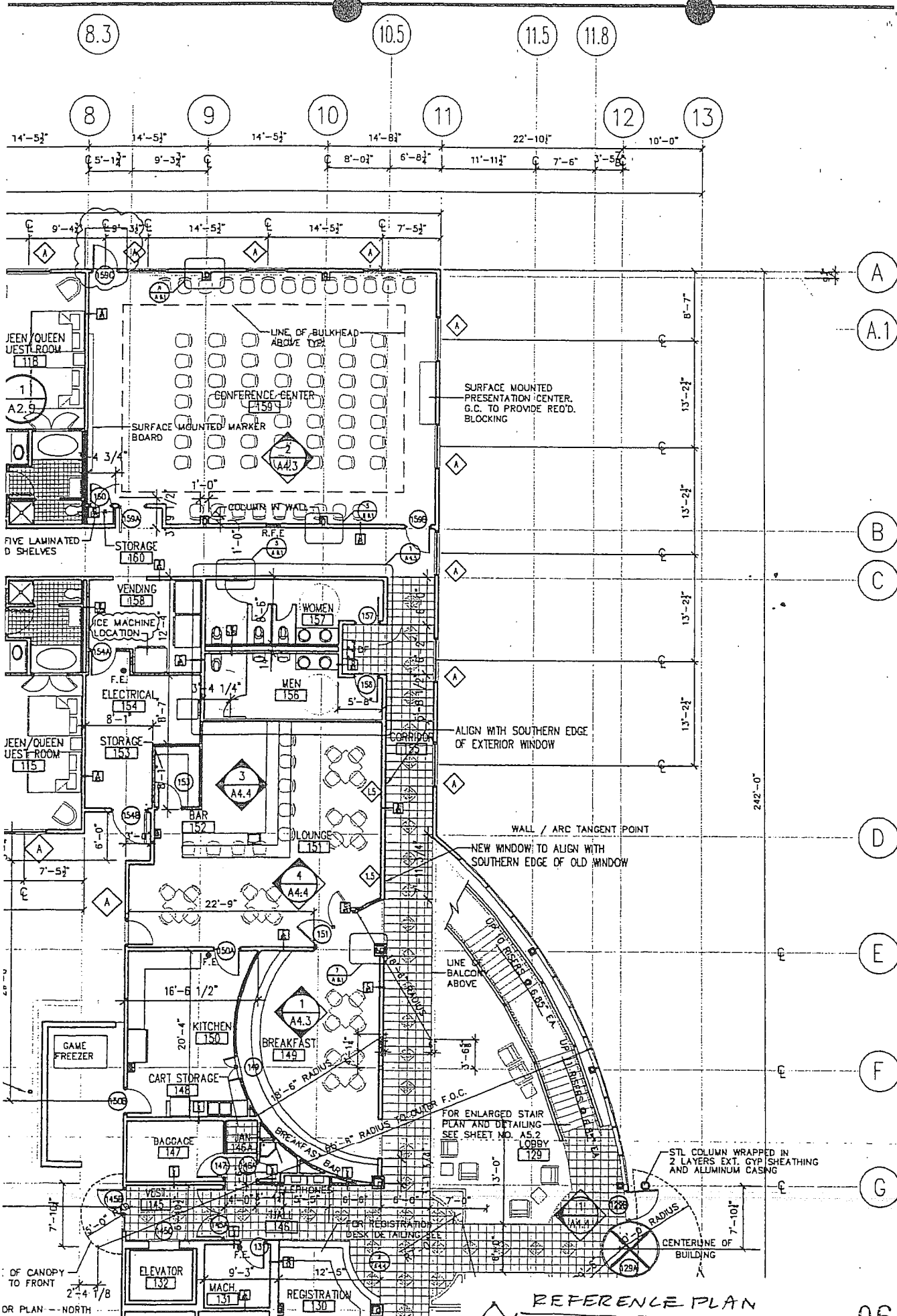
E-21



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SEIDOVIA NATIVE ASSOCIATION  
 DIAMOND CENTER HOTEL  
 ANCHORAGE, ALASKA

drawn W.L.W.  
 checked S.A.J.  
 date 06-28-01  
 revisions 07-20-01  
 09-10-01  
 job no. 20014  
 dwg. title  
 ENLARGED  
 FIRST FLOOR  
 PLAN - NORTH  
 sheet no.



A  
 A.1  
 B  
 C  
 D  
 E  
 F  
 G

REFERENCE PLAN

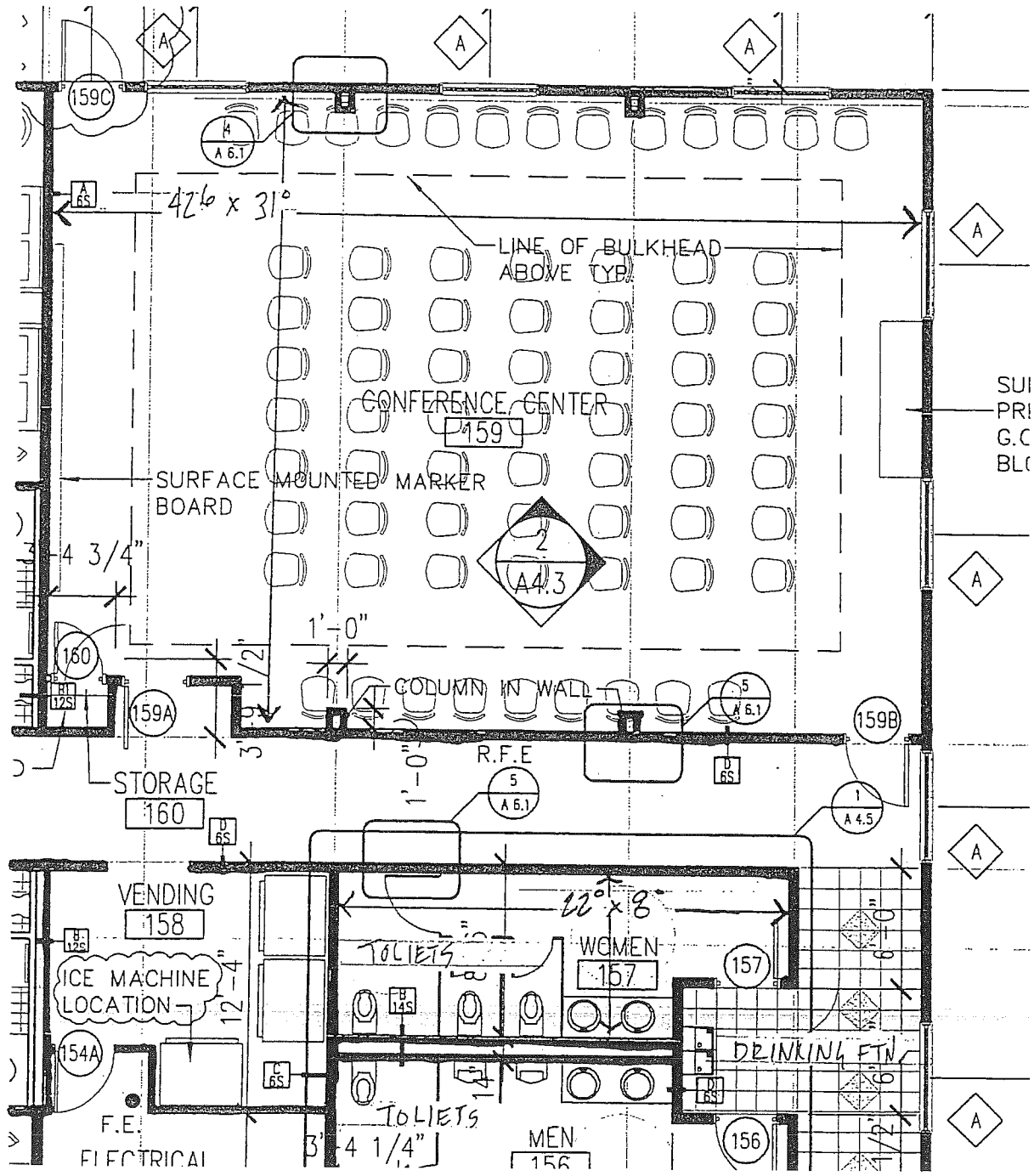
065 A 0 1



- CONFERENCE CENTER 1310 SF 88 PER. (MAX. OCCUPANCY)
- PUBLIC RESTROOMS 164 SF (EA)

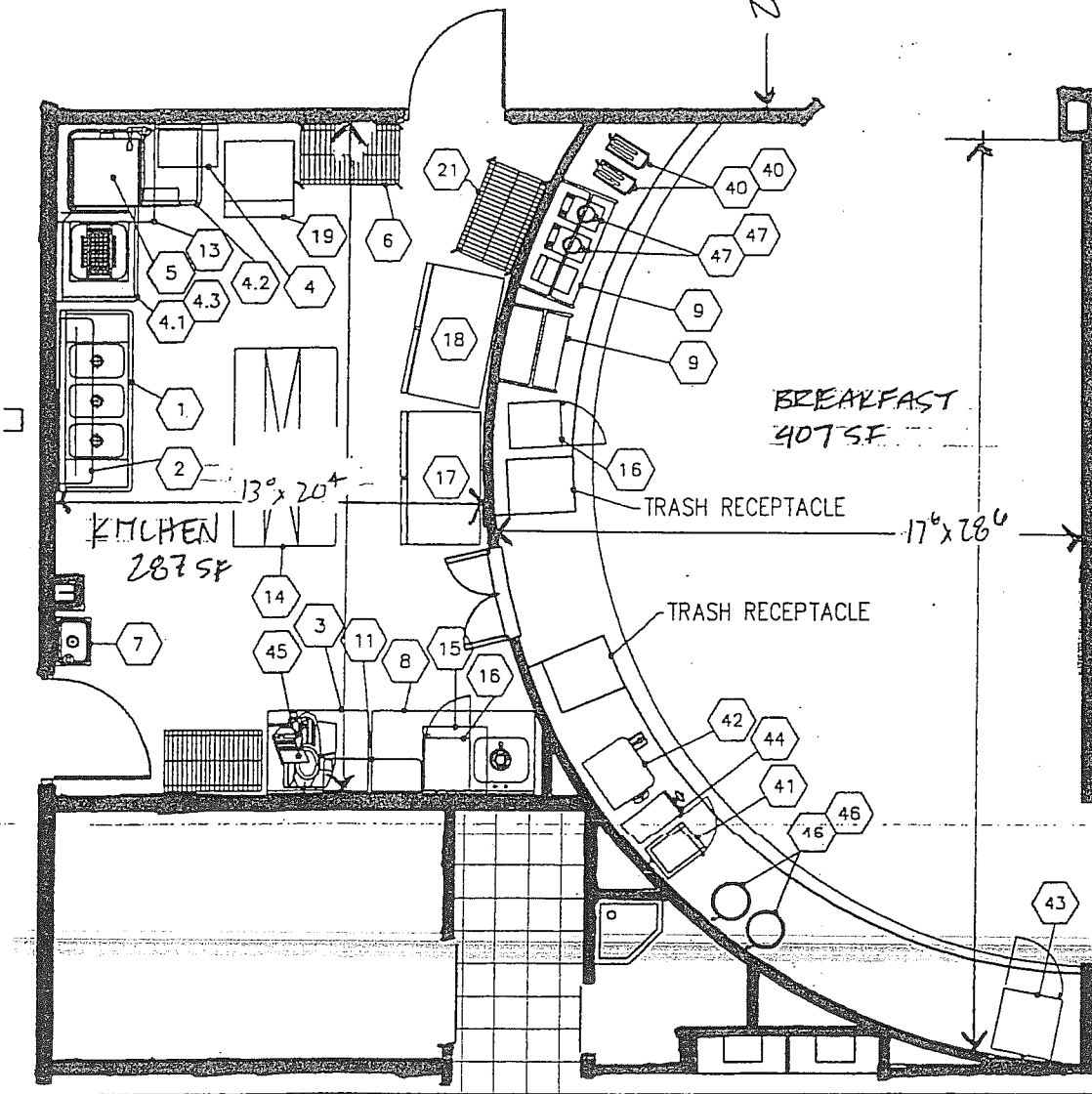
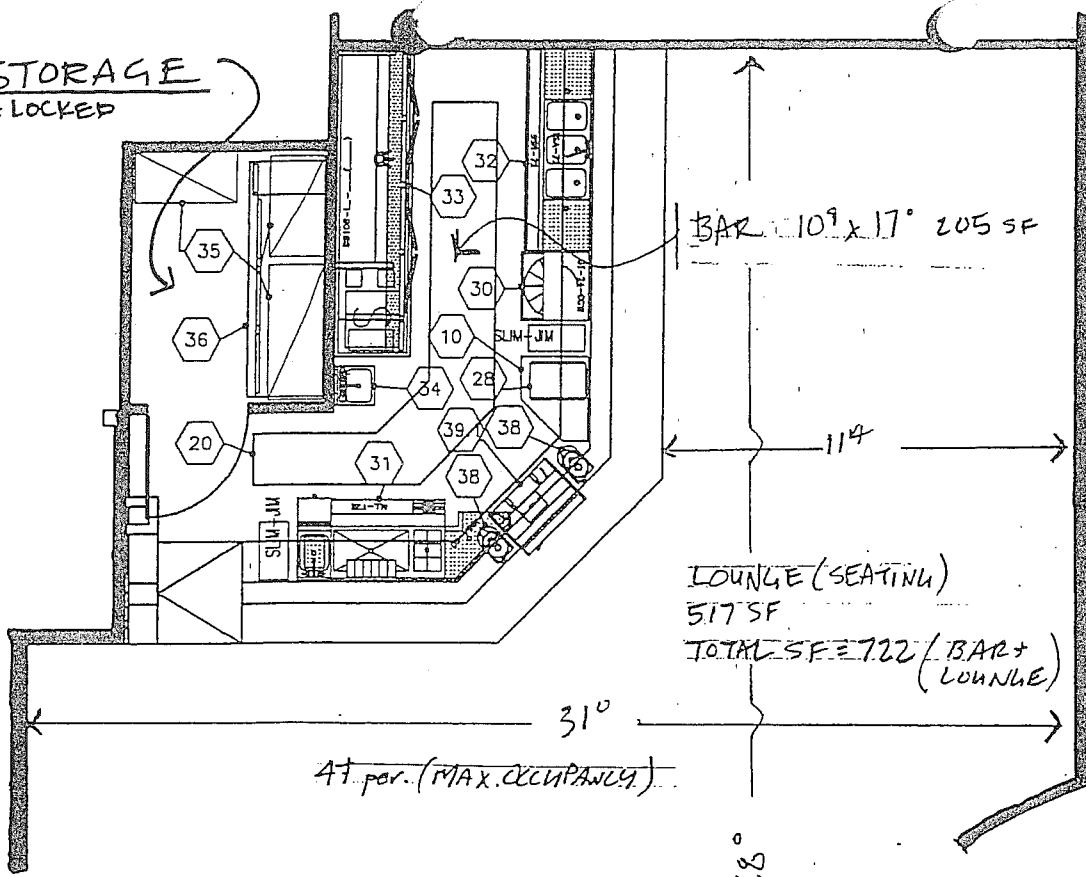
SAJ ARCHITECTURE  
 SCOTT A. JONES  
 610 C. STREET, SUITE 6B  
 ANCHORAGE, AK 99501

1ST FLOOR PLAN (SEATING/CONFERENCE)  
 1/8" = 1'-0"  
 (PUBLIC RESTROOMS)



AAJ 30 APRIL 02

STORAGE  
\* LOCKED



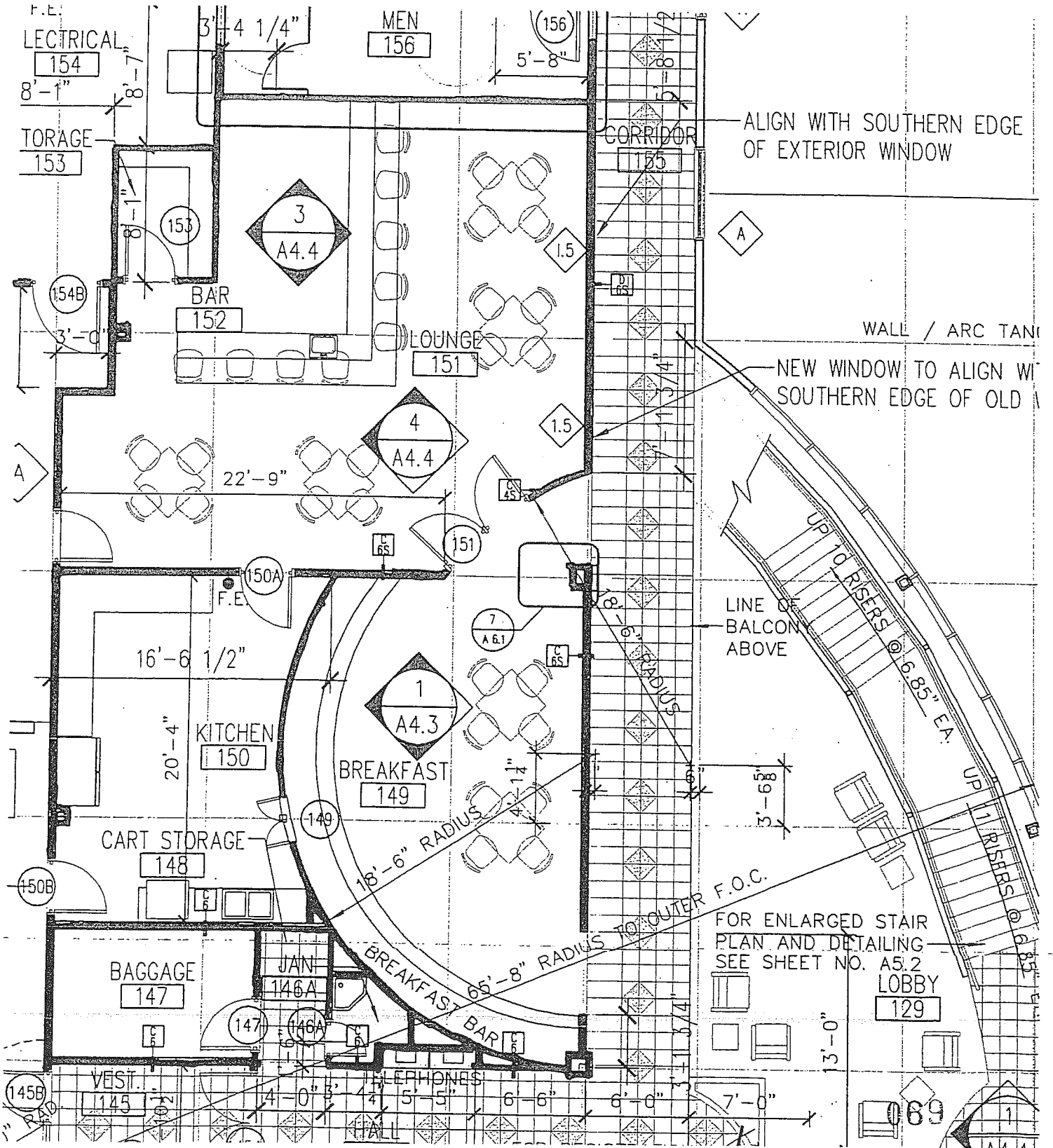
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SCOTT A. JONES  
610 C. STREET, SUITE 6B  
ANCHORAGE AK 99501

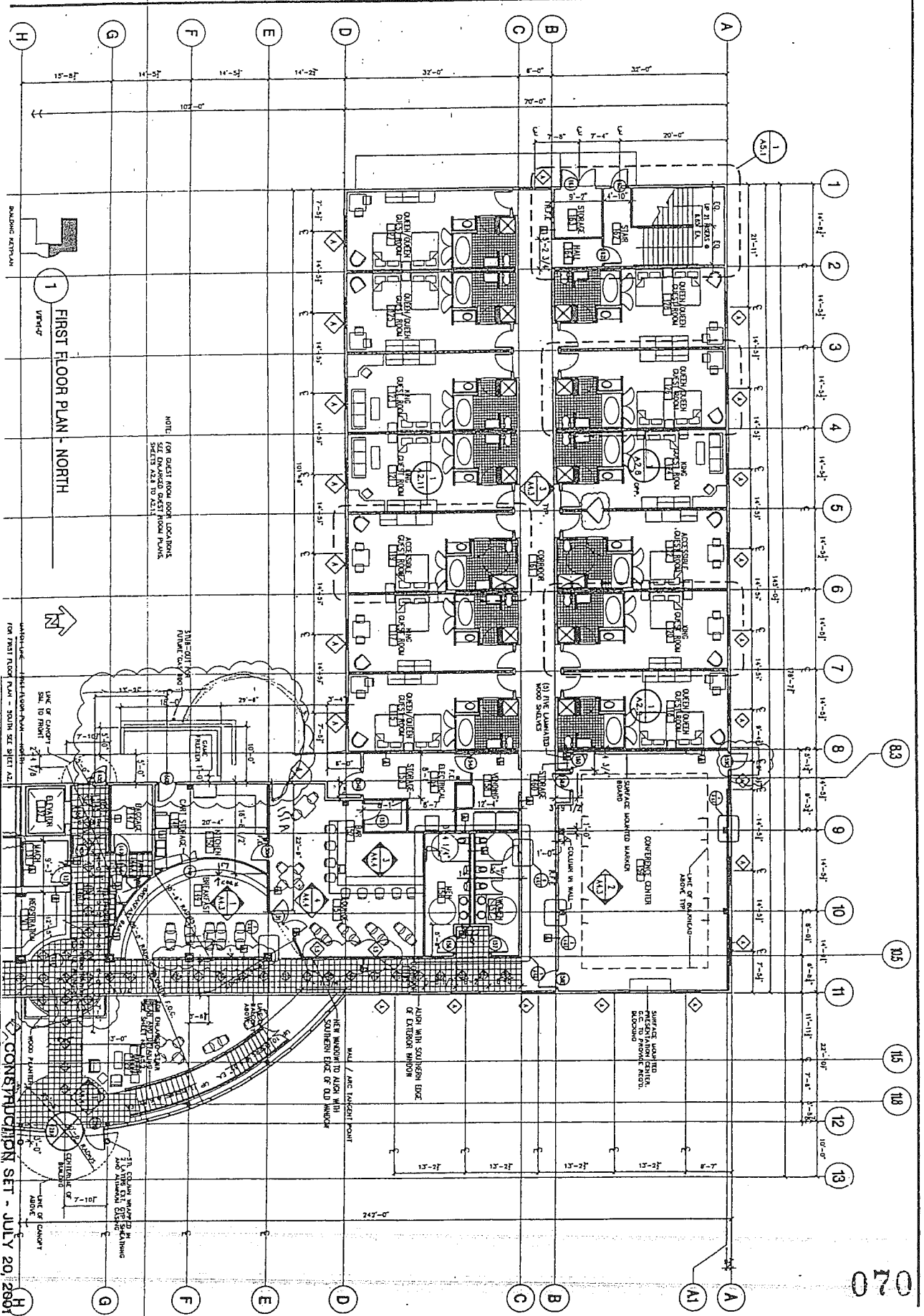
SARJ 30 APRIL 02

SAJ ARCHITECTURE  
 SCOTT A. JONES  
 610 C. STREET, SUITE 6B  
 ANCHORAGE, AK 99501

AAJ *Jan* 30 APRIL 02  
 # 440-6606

1ST FLOOR PLAN (SEATING LAYOUT)  
 1/8" = 1'-0"





FIRST FLOOR PLAN - NORTH

BUILDING MATERIAL

WALL / ACE TANGENT POINT

CONSTRUCTION SET - JULY 20 1961

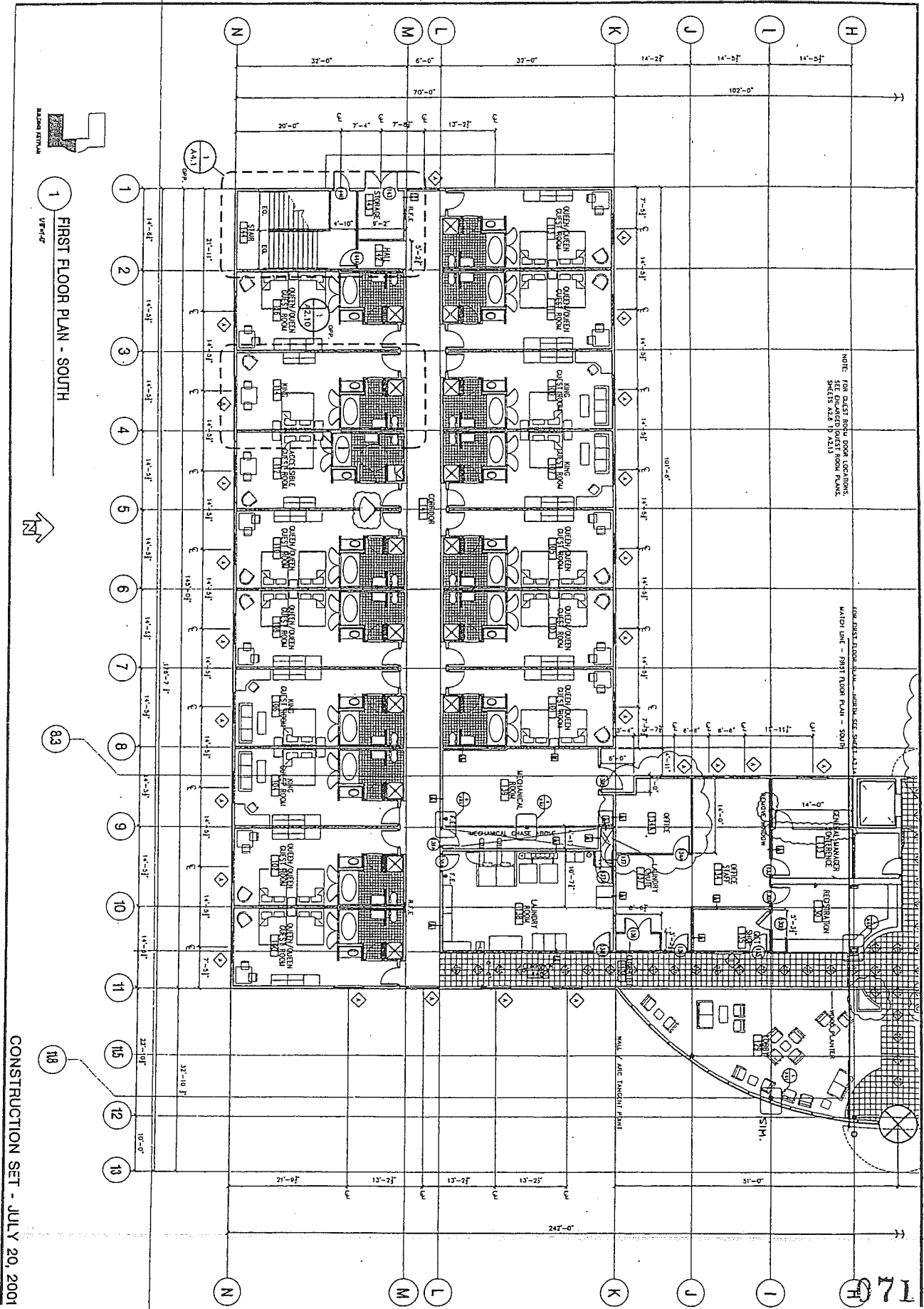
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3	WOOD	100	CU YD
4	GLASS	100	SQ FT
5	STEEL	100	LB
6	PAINT	100	GA
7	CEMENT	100	BA
8	ROOFING	100	SQ FT
9	MECHANICAL	100	LB
10	ELECTRICAL	100	LB
11	PLUMBING	100	LB
12	INSULATION	100	CU YD
13	FINISH	100	SQ FT

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070



NOTE: FOR EXACT ROOM LOCATIONS, SEE EXISTING FLOOR PLAN, SHEET 101-1.11.

FOR EXACT ROOM LOCATIONS, SEE EXISTING FLOOR PLAN, SHEET 101-1.11.

1 FIRST FLOOR PLAN - SOUTH

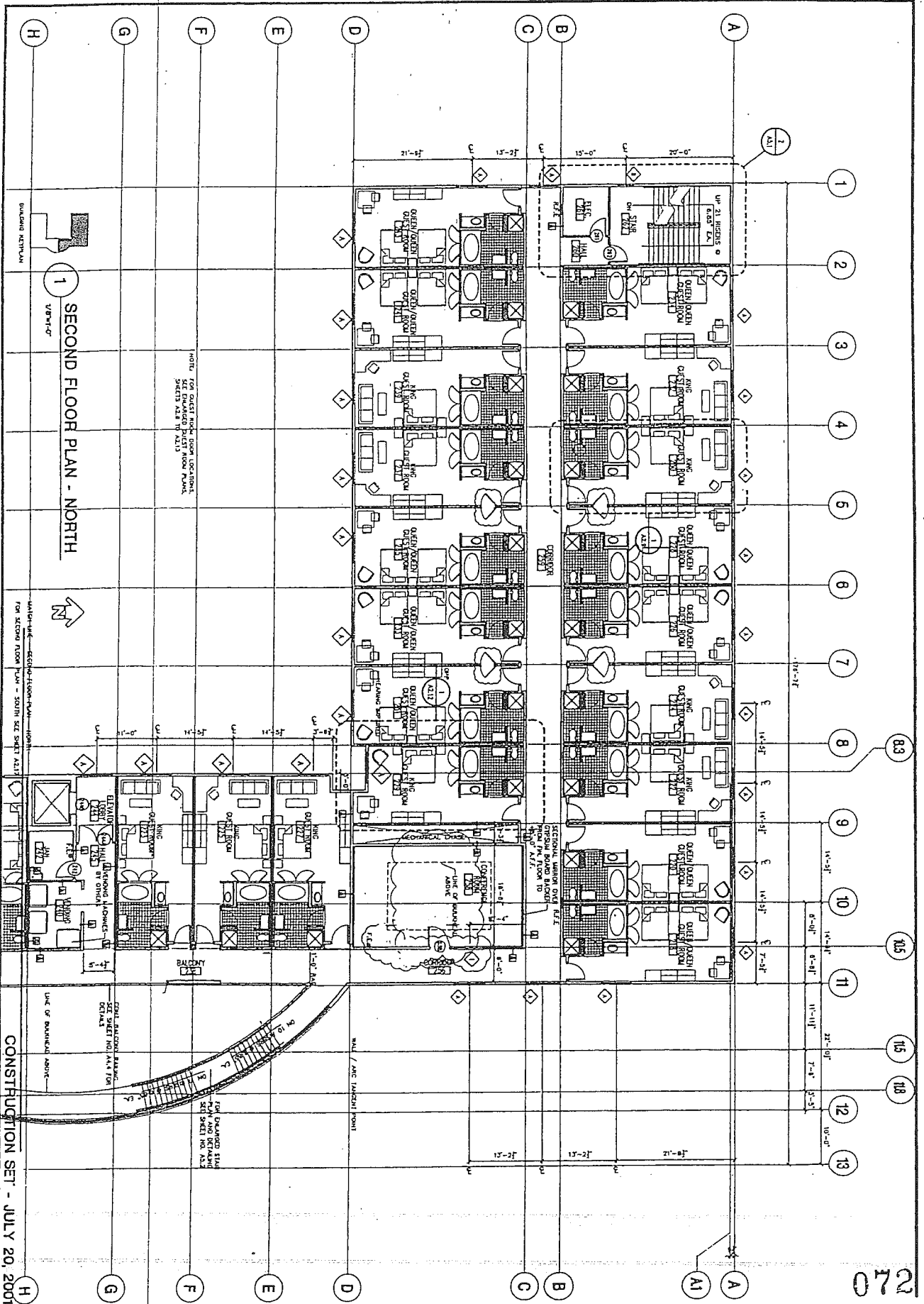
CONSTRUCTION SET - JULY 20, 2001

101-1.11	FIRST FLOOR PLAN - SOUTH
101-1.12	FIRST FLOOR PLAN - NORTH
101-1.13	SECOND FLOOR PLAN
101-1.14	THIRD FLOOR PLAN
101-1.15	FOURTH FLOOR PLAN
101-1.16	FIFTH FLOOR PLAN
101-1.17	SIXTH FLOOR PLAN
101-1.18	SEVENTH FLOOR PLAN
101-1.19	EIGHTH FLOOR PLAN
101-1.20	NINTH FLOOR PLAN
101-1.21	TENTH FLOOR PLAN
101-1.22	ELEVENTH FLOOR PLAN
101-1.23	TWELFTH FLOOR PLAN
101-1.24	THIRTEENTH FLOOR PLAN
101-1.25	FOURTEENTH FLOOR PLAN
101-1.26	FIFTEENTH FLOOR PLAN
101-1.27	SIXTEENTH FLOOR PLAN
101-1.28	SEVENTEENTH FLOOR PLAN
101-1.29	EIGHTEENTH FLOOR PLAN
101-1.30	NINETEENTH FLOOR PLAN
101-1.31	TWENTIETH FLOOR PLAN
101-1.32	STAIRS AND ELEVATORS
101-1.33	MECHANICAL ROOMS
101-1.34	ELECTRICAL ROOMS
101-1.35	PLUMBING ROOMS
101-1.36	PAINTING AND FINISHES
101-1.37	LANDSCAPE ARCHITECTURE
101-1.38	EXTERIOR ARCHITECTURE
101-1.39	SECTION ARCHITECTURE
101-1.40	DETAIL ARCHITECTURE

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SECOND FLOOR PLAN - NORTH

Water-tight - design-typical - shown  
for kitchen floor - 2001 SEE SHEET A111

NOTE: FOR GUEST ROOM ROOM LOCATIONS  
SEE ENLARGED GUEST ROOM PLAN  
SHEET NO. A111

CONSTRUCTION SET - JULY 20, 2001

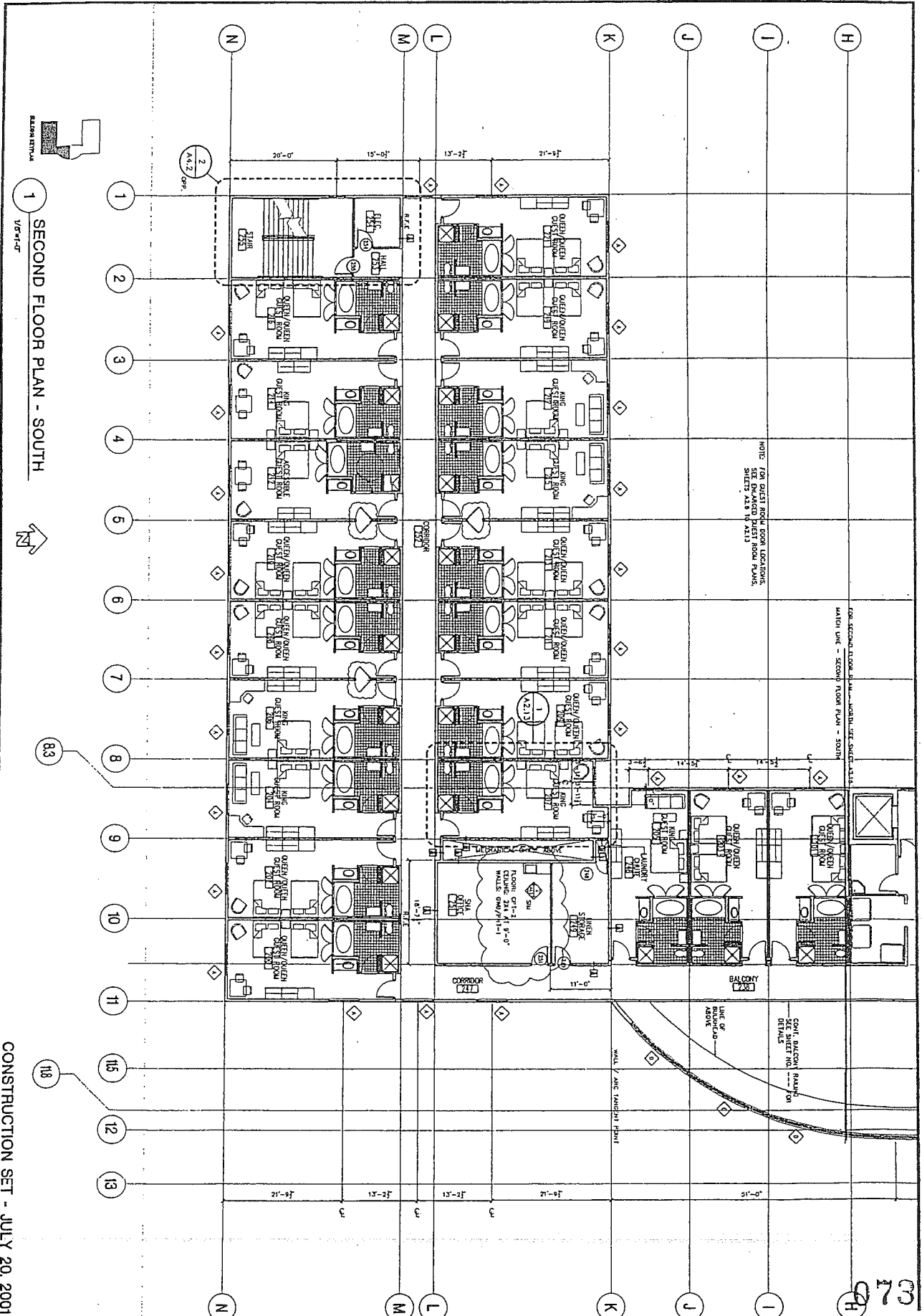
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NO.	DESCRIPTION	DATE
1	AS SHOWN	

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1 SECOND FLOOR PLAN - SOUTH  
1/8" = 1'-0"

CONSTRUCTION SET - JULY 20, 2001

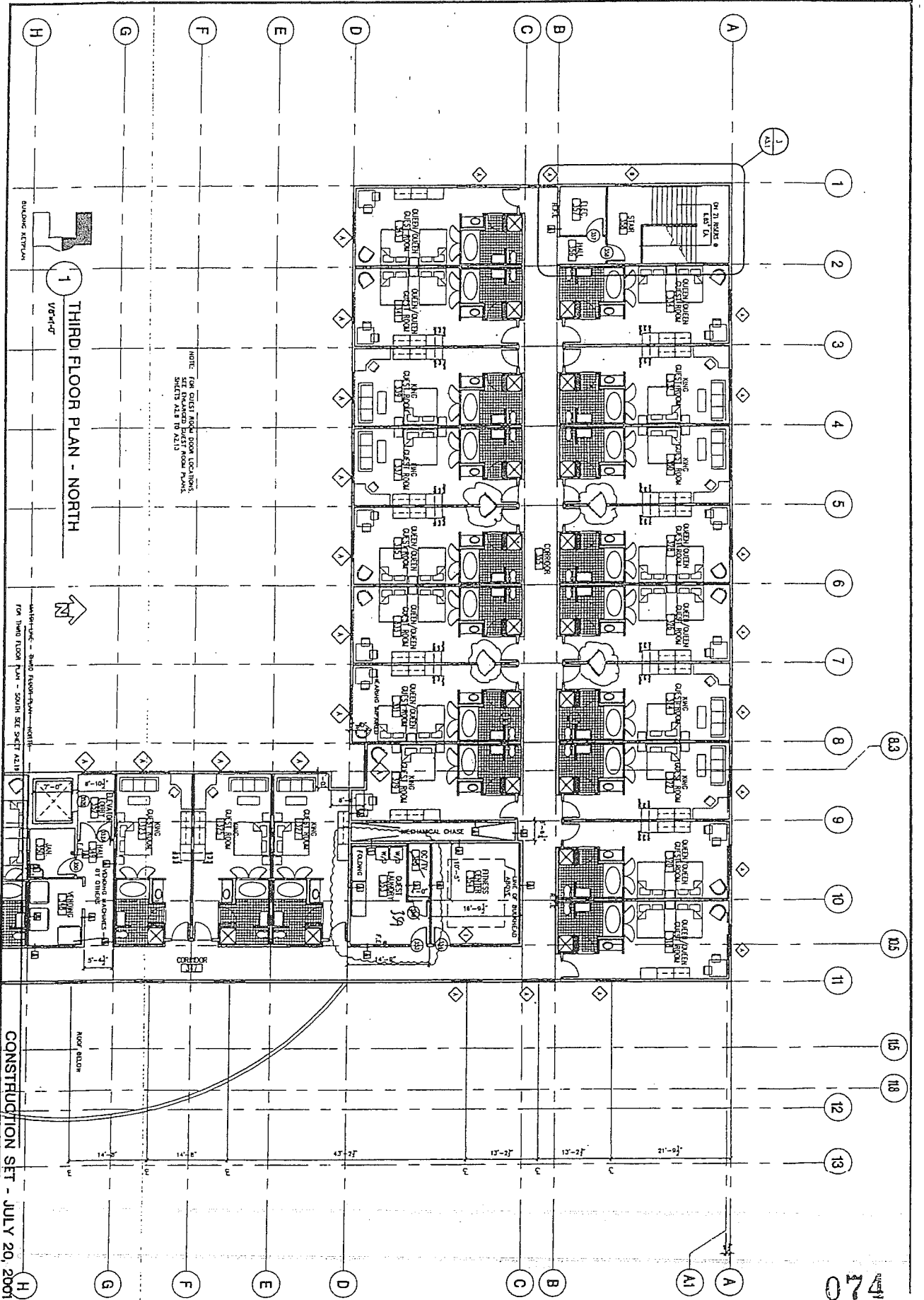
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073

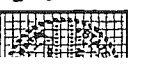


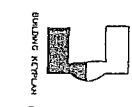
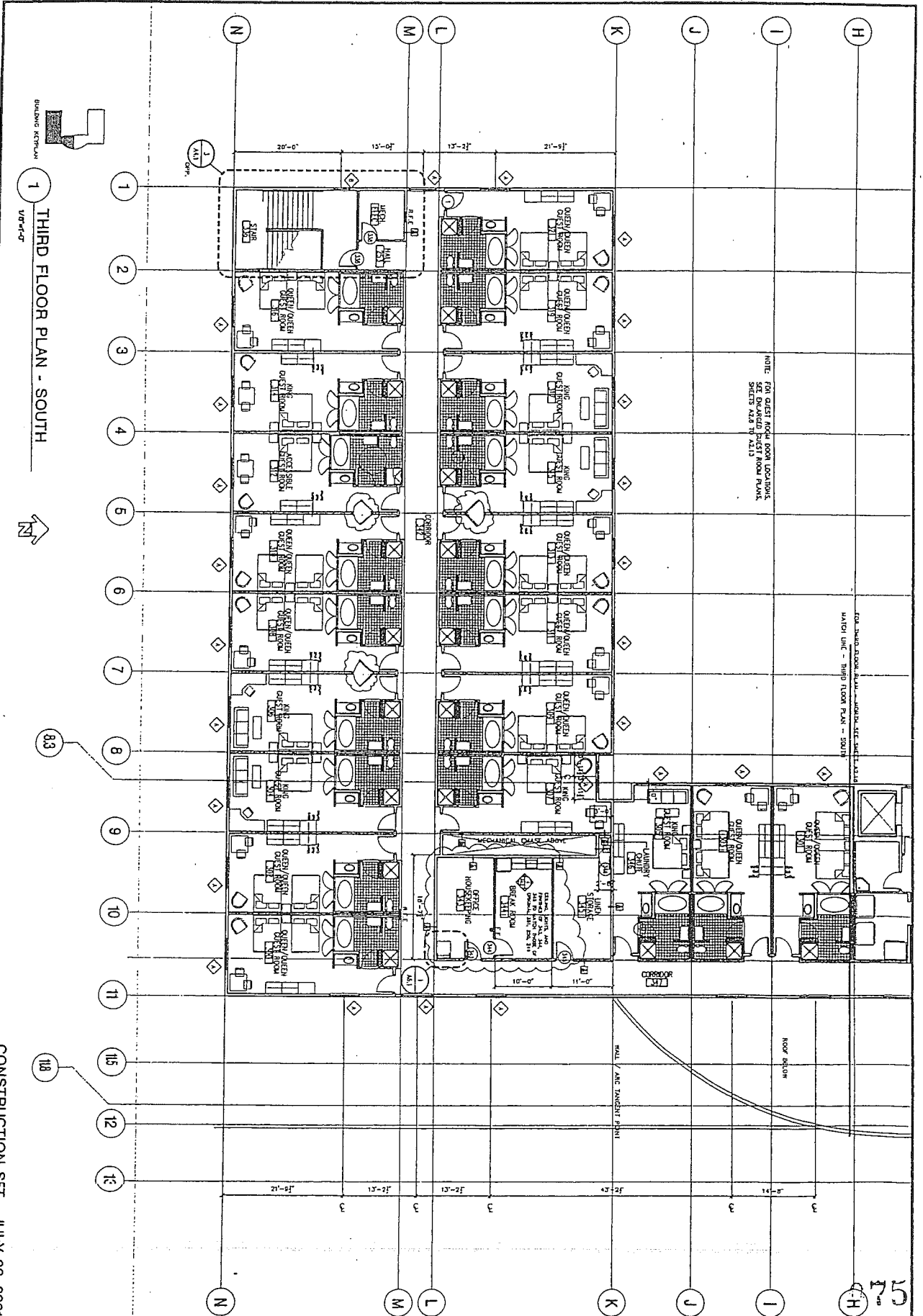
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29	REVISED	7/20/01
30	REVISED	7/20/01

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THIRD FLOOR PLAN - SOUTH



CONSTRUCTION SET - JULY 20, 2001

NOTE: FOR GUEST ROOM ROOM LOCATIONS,  
SEE EXHIBIT B GUEST ROOM PLAN,  
SHEETS 423 TO 425.

FOR THIRD FLOOR ROOM PLAN - 3000  
ARCHD LINE - THIRD FLOOR PLAN - 3000

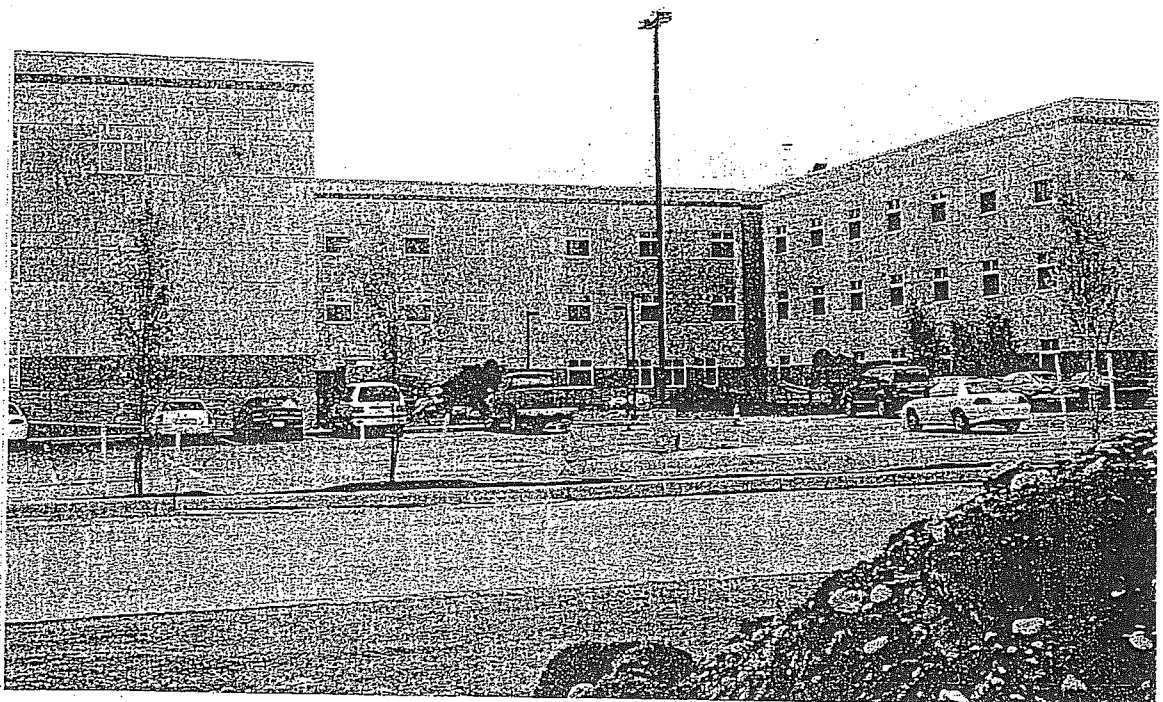
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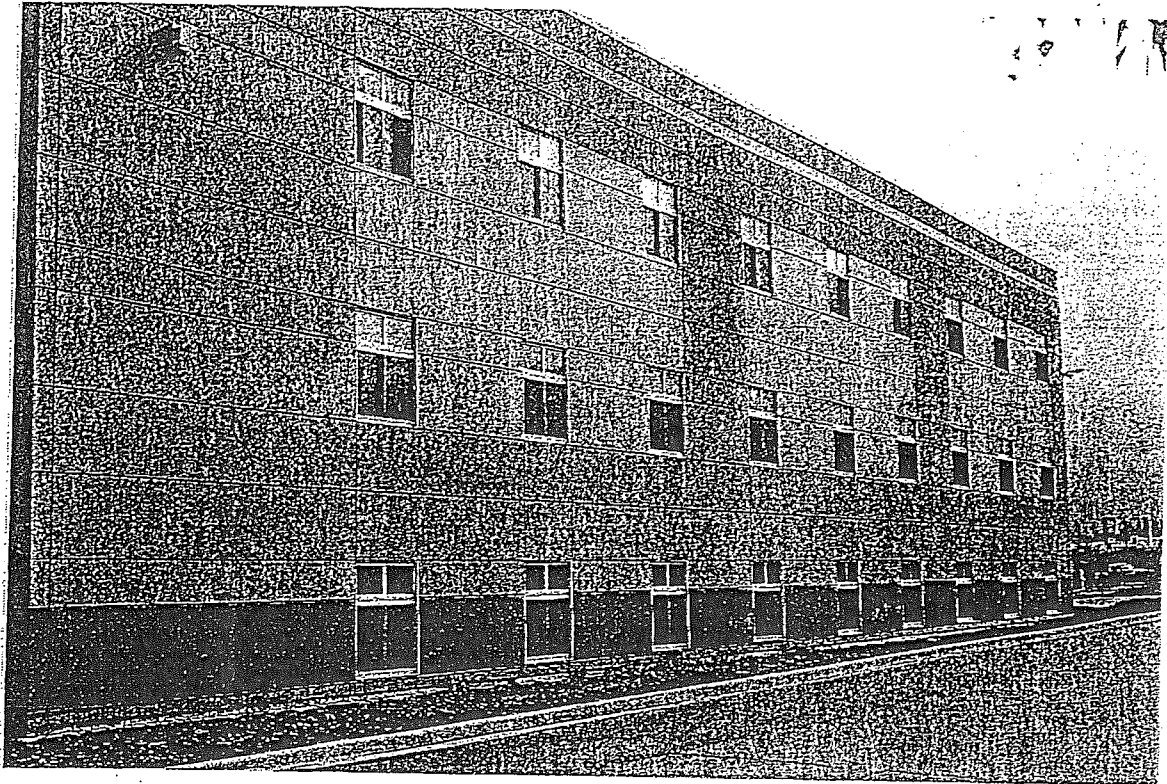
SELDOVIA NATIVE ASSOCIATION  
DIAMOND CENTER HOTEL

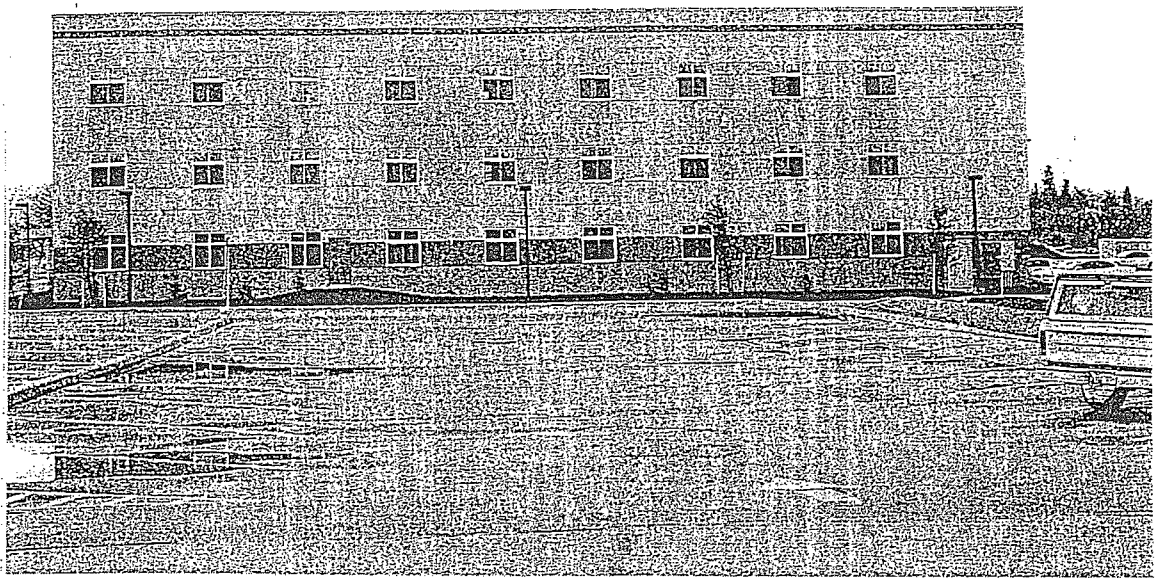
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Liquor License Application  
 Limited Liability Organization Information

[AS 04.21.080(b)]  
 NEW

Limited liability organizations must be registered with the Alaska Department of Community and Economic Development.

Name of LLC or LLP <b>Diamond Center Hotel LLC</b>		Telephone Number <b>907-868 8006</b>	Fax Number <b>907-868 8042</b>
LLC/LLP Mailing Address: <b>800 E. Diamond Blvd</b>		City <b>ANCH</b>	State <b>AK</b>
Name: Mailing Address, Telephone Number of Registered Agent <b>MICHAEL Beal 800 E Diamond Blvd. ANCH. AK. 99515</b>		Date of LLC Organization OR Date of Registration as a Foreign LLC: <b>MARCH 23, 2001</b>	Zip Code <b>99515</b>
Is the limited liability organization in compliance with the reporting requirements of Title 10 of the Alaska Statutes? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If no, attach written explanation		Date of LLP Registration: <b>MARCH 23, 2001</b>	State of LLP Formation: <b>AK.</b>

Limited Liability Company Members and Managers OR Limited Liability Partnership Partners. Attach additional sheets if necessary.

Full Name <b>Seldovia Native Association, Inc.</b>			Full Name <b>Diamond Center LLC</b>		
Mailing Address <b>P.O. DRAWER L</b>			Mailing Address <b>800 E. Diamond Blvd Suite 3-500</b>		
City, State, Zip Code <b>Seldovia, AK. 663 0250</b>			City, State, Zip Code <b>ANCH. AK. 99515</b>		
Date of Birth <b>N/A</b>	Home Telephone No. <b>N/A</b>	Work Telephone No. <b>907-234 7825</b>	Date of Birth <b>N/A</b>	Home Telephone No. <b>N/A</b>	Work Telephone No. <b>344 2581</b>
Title <b>OWNER</b>		% of Ownership <b>71.7 %</b>	Title <b>OWNER</b>		% of Ownership <b>28.3 %</b>

Full Name <b>MICHAEL Beal</b>			Full Name <b>MICHAEL O. Berry</b>		
Mailing Address <b>800 E. Diamond</b>			Mailing Address <b>800 E. Diamond Blvd Suite 3-500</b>		
City, State, Zip Code <b>ANCH. AK. 99515</b>			City, State, Zip Code <b>ANCHORAGE. AK. 99515</b>		
Date of Birth <b>11/24/48</b>	Home Telephone No. <b>222 5224</b>	Work Telephone No. <b>868- 8006</b>	Date of Birth <b>3/9/41</b>	Home Telephone No. <b>243-4039</b>	Work Telephone No. <b>344 2581</b>
Title <b>C.E.O</b>		% of Ownership <b>0</b>	Title <b>MANAGER</b>		% of Ownership <b>0</b>

Note: On a separate sheet provide information on ownership of corporations, limited liability organizations and/or partnerships that are members or partners of the licensee. *See enclosed*

Declaration

- I declare under penalty of perjury that I have examined this application, including the accompanying schedules and statements, and to the best of my knowledge and belief it is true, correct and complete, and this application is not in violation of any security interest or other contracted obligations.
- The undersigned certifies on behalf of the limited liability organization, it is understood that a misrepresentation of fact is cause for rejection of this application or revocation of any licensed issued.
- I further certify that I have read and am familiar with Title 4 of the Alaska statutes and its regulations, and that in accordance with AS 04.11.450, no person other than the licensee(s) has any direct or indirect financial interest in the licensed business.
- I agree to provide all information required by the Alcoholic Beverage Control Board in support of this application.

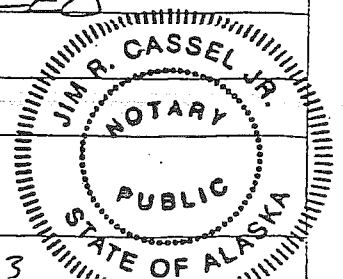
SIGNATURE OF LICENSEE(S)

Signature	Signature
Name & Title (Please Print) <b>MICHAEL Beal, C.E.O.</b>	Name & Title (Please Print) <b>MICHAEL BEAL, CEO</b>
Signature	Signature
Name & Title (Please Print)	Name & Title (Please Print)

Subscribed and sworn to before me this 19th day of June, 2002.

*Jim R. Cassel*  
 Notary Public in and for the State of Alaska

My commission expires: 01/26/03



4

POSTING

AFFIDAVIT

5

**HISTORICAL  
INFORMATION**

**COMMERCIAL INVENTORY**

**APPRAISAL INFORMATION**

Legal DIMOND INDUSTRIAL  
BLK 2 LT 5A FRAG LOT 14

Parcel 013-092-27-000 # 01 of 01

Owner DIMOND CENTER HOTEL LLC

# 01

Site Addr 700 E DIMOND BLVD  
Prop Info # HOTEL/MOTEL LOW RISE

800 E DIMOND BLVD STE 3-500  
ANCHORAGE AK 99515

**BUILDING INFORMATION**

Structure Type HOTEL/MOTEL LOW RISE  
Building SQFT 74,691  
Year Built 0000  
Grade B

Effective Year Built 2000

Property Information # 01  
Building Number 01  
Identical Units 01  
Number of Units 109

**INTERIOR DATA**

Floor	Level	Partitions	Heat System	Air Conditioner	Plumbing	Physical Condition	Functional
01	01	NORMAL	HOT AIR	CENTRAL	ADEQUATE	NORMAL	NORMAL
01	01	NORMAL	HOT AIR	CENTRAL	ADEQUATE	NORMAL	NORMAL
02	03	NORMAL	HOT AIR	CENTRAL	ADEQUATE	NORMAL	NORMAL

**EXTERIOR DATA**

Floor	Level	Size	Perim	Use Type	Hgt	Wall Type	Const Type
01	01	24,278	884	HOTEL	09	STUCCO	WOOD JOIST(WD & STL)
01	01	1,857	118	HOTEL	13	SOLAR GLASS/STEEL	WOOD JOIST(WD & STL)
02	03	24,278	884	HOTEL	09	STUCCO	WOOD JOIST(WD & STL)

**BUILDING OTHER FEATURES - ATTACHED IMPROVEMENTS**

Type	Qty	Size1	Size2
SPRINKLER WET	01	74,691	1

**OTHER BUILDINGS AND YARD IMPROVEMENTS**

Type	Size/Amt	Units	Yr/Built	Condition	Funct/Utility
AVING ASPHALT PK	35,000	01	2000	NORMAL	NORMAL
AVING CONCRETE-AV	10,800	01	2000	NORMAL	NORMAL

**BUILDING PERMIT INFORMATION**

**APPRAISAL INFORMATION**

Legal DIMOND INDUSTRIAL  
BLK 2 LT 5A FRAG LOT 14

Parcel 013-092-27-000 # 01 of 01

# 01

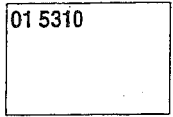
Owner DIMOND CENTER HOTEL LLC

Prop Info # HOTEL/MOTEL LOW RISE  
Site Addr 700 E DIMOND BLVD

800 E DIMOND BLVD STE 3-500  
ANCHORAGE AK 99515

**BUILDING PERMITS**

Permit # 01 5310



Class Type C

Class Use FILL/GRADING/EXCAVATION

Date Apr 17, 2001

Address BACK OF DIMOND CTR PARKING L

Cond Occ/Occ 00000000 || 00000000

Certification

Contract Type OWNER

Name DIMOND CENTER LTD

E-mail

Phone ( ) -

Fax

Address 800 E DIMOND BLVD STE 3-500

City/State/Zip ANCHORAGE AK 99515-2028

Project

Sewer / Water PUBLIC || PUBLIC

Work Type FILL/GRADING/EXCAVATION

Work 31,000 cy excavation 5-14-01 Bond waived by R.

Description Thompson (James Gray wai ved bond 5/15/01) RD/MW

**CASES**

2002-161



Case Number 2002-161

# of Parcels 1

Hearing Date Monday, July 01, 2002

**PERMIT COMMENT**

**OWNER HISTORY**

**APPRAISAL INFORMATION**

Legal DIMOND INDUSTRIAL  
BLK 2 LT 5A FRAG LOT 14

Parcel 013-092-27-000 # 01 of 01

# 01

Property Info # Descr HOTEL/MOTEL LOW RISE

Site Adress 700 E DIMOND BLVD

<p><b>Current</b>      05/22/01 DIMOND CENTER HOTEL LLC  800 E DIMOND BLVD STE 3-500 ANCHORAGE                      AK   99515   2028</p>	<p><b>3rd</b> 2990    0000778   10/25/96 DIMOND CENTER LTD ASHLOCK JOE C &amp; PATTY  800 E DIMOND BLVD STE 3-500 ANCHORAGE                      AK   99515</p>
<p><b>Prev</b> 3844    0000902   05/22/01 DIMOND CENTER LLC  800 E DIMOND BLVD STE 3-500 ANCHORAGE                      AK   99515</p>	<p><b>4th</b> 0000    0000000   //</p>
<p><b>2nd</b> 3844    0000901   05/22/01 DIMOND CENTER LLC ASHLOCK JOE C &amp; PATTY  800 E DIMOND BLVD STE 3-500 ANCHORAGE                      AK   99515</p>	<p><b>5th</b> 0000    0000000   //</p>

**PARCEL SUMMARY**

**APPRAISAL INFORMATION**

Legal DIMOND INDUSTRIAL  
BLK 2LT 5A FRAG LOT 14

Parcel 013-092-27-000  
Owner DIMOND CENTER HOTEL LLC

# Descr HOTEL/MOTEL LOW RISE  
Site Addr 700 E DIMOND BLVD

800 E DIMOND BLVD STE 3-500  
ANCHORAGE AK 99515 2028

**REZONE**

2002-161

Case Number 2002-161 # of Parcels 1 Hearing Date 07/01/2002  
Case Type Assembly conditional use for a hotel serving alcoholic beverages  
Legal An Alcoholic Beverage Conditional Use Permit for a Beverage Dispensary-Tourism License, Dimond Center Hotel. Dimond Industrial Subdivision, Block 2, Lot 5A, Frag Lot 14. Located at 800 E Dimond Blvd.

**PLAT CASES**

Case Number	Grid	Proposed Lots 0	Existing Lots
Action Type		Action Date	
Legal			

**PERMITS**

01 5310

Permit # 01 5310 Project  
Work Desc 31,000 cy excavation 5-14-01 Bond waived by R. Thompson (James Gray waived bond 5/15/01) RD/MW  
Use FILL/GRADING/EXCAVATION

**BZAP**

Action No.	Status
Action Date	Type
Resolution	

**ALCOHOL LICENSE**

Business Address	Applicants Name
License Type	Conditions
Status	

**PARCEL INFORMATION**

**OWNER**  
 DIMOND CENTER HOTEL LLC  
 800 E DIMOND BLVD STE 3-500  
 ANCHORAGE AK 99515 2028  
 Deed 3844 0000910  
 CHANGES: Deed Date Mar 22, 2001  
 Name Date Sep 17, 2001  
 Address Date Sep 17, 2001

**PARCEL**  
 Parcel ID 013-092-27-000  
 Status # 01  
 Renumbr ID 013-092-21-000-1  
 Site Addr 700 E DIMOND BLVD  
 Comm Concl  
 Comments REF 013-092-21 ROADWAY ACCESS  
 ESMT 11250 PRVT RD ESMT 5000SF

**TAX INFO**  
 2002 Tax 84,626.60 Balance 0.00 District 018

**LEGAL**  
 DIMOND INDUSTRIAL  
 BLK 2 LT 5A FRAG LOT 14  
 Unit SQFT 131,396  
 Plat 000141  
 Zone B3 Grid SW2331

**HISTORY**

	Year	Building	Land	Total
Assmt Final	2000	0	0	0
Assmt Final	2001	0	978,700	978,700
Assmt Final	2002	3,955,800	978,700	4,934,500
Exemptions				0
State Credit				0
Tax Final				4,934,500

**PROPERTY INFO**

#	Type	Land Use
01	COMMERCIAL	HOTEL/MOTEL LOW RISE

**SALES DATA**

Mon	Year	Price	Source	Type

LAND & COMMON PARCEL INFORMATION

APPRAISAL INFORMATION

Parcel 013-092-27-000 # 01 of 01

Legal DIMOND INDUSTRIAL  
BLK 2 LT 5A FRAG LOT 14

Owner DIMOND CENTER HOTEL LLC

Site Addr 700 E DIMOND BLVD

800 E DIMOND BLVD STE 3-500  
ANCHORAGE AK 99515

LAND INFORMATION

Land Use HOTEL/MOTEL LOW RISE

Class COMMERCIAL

Living Units 109

Community Council

Entry: Year/Quality 01 1980 0  
11 2001 EXTERIOR

Access Quality GOOD

Access Type

Leasehold (Y=Leasehold)

Drainage GOOD

Front Traffic HIGH

Street PAVED CURB & GUTTER

Topography EVEN LEVEL

Utilities PUBLIC WATER PUBLIC SEWER

Wellsite N

Wet Land DEVELOPMENT

CONDOMINIUM INFORMATION

Common Area 0

Undivided Interest 0.00

Municipality of Anchorage  
MUNICIPAL CLERKS OFFICE  
Agenda Document Control Sheet

*Am 2002 - 281*

1	SUBJECT OF AGENDA DOCUMENT  Dimond Center Hotel Conditional Use for an Alcoholic Beverage Conditional Use in the B-3 District for a Beverage Dispensary - Tourism Use per AMC 21.40.180D.8; located on Fragment Lot 14 of Commercial Tract Fragment Lot Site Plan as recorded by Plat 2000-141 for Lot 5A, Block 2, Dimond Industrial Subdivision.  (Taku Campbell Community Council) (Case 2002-161)	DATE PREPARED 08/13/02	
		INDICATE DOCUMENTS ATTACHED <input type="checkbox"/> AO <input checked="" type="checkbox"/> AR <input checked="" type="checkbox"/> AM <input type="checkbox"/> AIM	
2	DEPARTMENT NAME Planning Department	DIRECTOR'S NAME Susan R. Fison, Director	
3	THE PERSON THE DOCUMENT WAS ACTUALLY PREPARED BY Jerry Weaver	HIS/HER PHONE NUMBER 343-4215	
4	COORDINATED WITH AND REVIEWED BY	INITIALS	DATE
5	Mayor		
	Heritage Land Bank		
	Merrill Field Airport		
	Municipal Light & Power		
	Port of Anchorage		
	Solid Waste Services		
	Water & Wastewater Utility		
4	Municipal Manager	<i>MM</i>	<i>8/27</i>
	Cultural & Recreational Services		
	Employee Relations		
	Finance, Chief Fiscal Officer		
	Fire		
	Health & Human Services		
	Office of Management and Budget		
	Management Information Services		
	Police		
2	Office of Planning, Development, & Public Works	<i>J. Heron</i>	<i>8-14-02</i>
	Development Services		
	Facility Management		
1	Planning	<i>SN</i>	<i>8-14-02</i>
	Project Management & Engineering		
	Street Maintenance		
	Traffic		
	Public Transportation Department		
	Purchasing		
3	Municipal Attorney <i>1357A</i>	<i>Da</i>	<i>8-16-02</i>
	Municipal Clerk		
5	SPECIAL INSTRUCTIONS/COMMENT  Pre-advertised for 09/10/02 Assembly Meeting  <div style="text-align: center;"><i>14. New Public Hearing</i></div>		
6	ASSEMBLY MEETING DATE REQUESTED	7	PUBLIC HEARING DATE REQUESTED 09/10/02

2002 AUG 28 PM 1:46  
 M.M.A.  
 CLERK'S OFFICE

# Diamond CWR

Original App @ approved

- Resubmission of approved
- Conditional use
- Letter
- Expanding

Fees: \$ 1,080<sup>00</sup>

# 2017-0005

