

**COMMUNITY DEVELOPMENT DEPARTMENT  
PLANNING STAFF ANALYSIS  
CONDITIONAL USE**

**DATE:** June 8, 2015

**CASE NUMBER:** 2015-0041

**APPLICANT:** Joshua Zellmer, owner

**REPRESENTATIVE:** Z Architects, Marco Zaccaro, AIA, NCARB

**REQUEST:** Conditional use to allow 14 dwelling units per acre in the gR-4 (Girdwood multiple-family residential) district

**LOCATION:** North Addition to Alyeska Subdivision, Unit Number 3, Block 6, Lot 5

**SITE ADDRESS:** 180 Taos Road

**COMMUNITY COUNCIL:** Girdwood Board of Supervisors

**APPLICABLE LAND USE CODE:** "Old" Code

**TAX NUMBER:** 076-015-40

**SITE:** ±12,500 SF

**CURRENT LAND USE:** Vacant

**UTILITIES:** Public water and sewer

**TOPO:** Approximately 15% slope downhill to the west

**VEGETATION:** Birch, spruce, and undergrowth

**COMPREHENSIVE PLAN**  
Classification: "Multi-family Residential" in the 1995 *Girdwood Area Plan* Land Use Plan Map

**SURROUNDING AREA**

	NORTH	EAST	SOUTH	WEST
Zoning:	gR-4	gRST-2	gR-4	gR-4
Land Use:	5 Unit Condominium	Vacant	6 Unit Condominium	Single-Family Residential

**PROPERTY HISTORY**

August 2, 1972	Plat 72-180	Plat of North Addition to Alyeska Subdivision, Unit Number 3
January 11, 1983	AO 82-162	Area-wide zoning to R-11
August 4, 2003	PZC Resolution 2003-62	Final conditional use approved for seven dwelling units per acre (two dwelling units). The approval expired.
November 1, 2005	Girdwood rezoning	gR-4, new Girdwood specific code
July 11, 2011	PZC Resolution 2011-023	Final conditional use approved for 14 dwelling units per acre (four dwelling units). The approval expired.

**SURROUNDING PROPERTY**

July 24, 2006	Nonconforming Determination	Documented nonconformity for 21 dwelling units per acre (six dwelling units) on the lot south of the petition site.
December 21, 1992	PZC Resolution 92-075	Final conditional use approved for 18 dwelling units per acre (five dwelling units) on the lot north of the petition site.

**APPLICABLE LAND USE REGULATIONS**

**gR-4 district, multiple-family residential district (AMC 21.09.040B.2.e.)**

(a) Location. The district consists of two already developed areas at the base of Mt. Alyeska, two small already-developed areas on the west side of Alyeska Highway, and an area south of Alyeska Highway, just east of Glacier Creek.

(b) Intent. The intent for the gR-4 district is to continue as multi-family development on sewers. Single-family and two-family development is allowed on existing lots of less than 20,000 square feet.

Table 21.09.050-1: Table of Allowed Uses, shows single-family detached dwellings as a permitted use. Multiple-family dwellings with four to eight dwelling units per acre require an administrative site plan review. Multiple-family dwellings with between eight and 20 dwelling units per acre require a conditional use approval.

<b>gR-4 district</b>	
Minimum lot area for multiple-family dwellings:	12,500 SF
Minimum width:	70 feet

Front setback:	20 feet
Side setback:	10 feet, but may be reduced by 5 feet on one side if 5 feet is added to other side
Rear setback:	10 feet, but may be reduced by 5 feet if 5 feet is added to front setback
Maximum height:	35 feet
Maximum lot coverage:	40%

## **REQUEST**

This is a request for a conditional use to allow 14 dwelling units per acre located at 180 Taos Road. The gR-4 district allows up to 20 dwelling unit per acre with a conditional use approval. The property contains 12,500 SF and the site plan shows a three-story building with four dwelling units. The owner's end-unit will have three bedrooms. The other end-unit will have one bedroom. The two middle units will both have two bedrooms. All of the units will have garages.

The Planning and Zoning Commission approved a conditional use for a similarly designed three-story building with four dwelling units on July 11, 2011 (Resolution 2011-023), but the approval expired and the new owner is proposing a different site plan.

## **AGENCY COMMENTS**

The reviewing agencies provided comments which are attached. The Right-of-Way Section requested that new trees and shrubs be removed from the utility easement and replaced with grass. Utilities companies have the right to disturb plantings within the utility easement; however, landscaping such as trees and shrubs is permitted within the easement. Staff recommends that trees be moved to the edge of the easement.

Building Safety commented with concerns about seismic stability of the building, but as the Municipality is unable to require a building code review, this comment must remain advisory. The petitioner has verbally stated that the building will be designed to withstand seismic activity.

## **PUBLIC COMMENTS**

Two-hundred and sixty-four public hearing notices were mailed on May 18, 2015. Three responses from the public were received. Two of the responses opposed the petitioner's request. One response stated that the number of dwelling units at this site should be limited to four. No comments were received from the Girdwood Board of Supervisors.

## **FINDINGS**

### **AMC 21.50.020 General conditional use standards.**

- A. Furthers the goals and policies of the Comprehensive Development Plan and conforms to the Comprehensive Development Plan in the manner required by Chapter 21.05.**

The petition site is located in an area identified as “Multiple-Family Residential” in the 1995 *Girdwood Area Plan Land Use Plan Map*. This classification is for areas substantially developed for multi-family purposes and are expected to remain so for the duration of the Plan, and for vacant areas best suited for multi-family residential use. The proposed residential density is 14 dwelling units per acre which requires a conditional use approval.

- B. Conforms to the standards for that use in this title and regulations promulgated under this title.**

Minimum lot size: The lot has the minimum lot size for multi-family residential which is 12,500 SF.

Yard setbacks: The site plan meets the required setbacks (20-foot front, 10-foot side, and 10-foot rear).

Maximum height: The gR-4 permits up to 35 feet in height. The structure is 25 feet in height to the midpoint of the roof.

Maximum lot coverage: The maximum lot coverage allowed is 40%, and the petition site shows 28%.

An analysis of compliance with AMC 21.09.070 *Site development and design standards* and AMC 21.09.080 *Building design standards* is on the next page.

- C. Will be compatible with existing and planned land uses in the surrounding neighborhood and with the intent of its use district.**

The proposed four-unit condominium building is compatible with the existing land uses and the intent of the gR-4 (Girdwood multiple family). The proposed site plan shows 14 dwelling units per acre and the gR-4 district allows up to 20 dwelling units per acre with a conditional use permit. The abutting lots on the north and south have more dwelling units than the proposed site plan (five-units to the north; six-units to the south). The lot to the east is vacant and the lot across Taos Road to the west is a single-family house. There is an 18 unit condominium building located south of the single-family house.

The intent of the gR-4 district is, “to continue as multi-family development on

sewers. Single-family and two-family development is allowed on existing lots of less than 20,000 square feet.”

**D. Will not have a permanent negative impact on the items listed below substantially greater than that anticipated from permitted development:**

**1. Pedestrian and vehicular traffic circulation and safety.**

The site plan provides walkways to individual parking spaces. There is a looping driveway that accesses Taos Drive at two locations. Taos Drive is a gravel road with no pedestrian facilities, which is adequate for a street with less than 300 average daily trips.

**2. The demand for and availability of public services and facilities.**

Public water and sewer are available and will be extended to the new building.

**3. Noise, air, water, or other forms of environmental pollution.**

The proposed four-unit condominium is not expected to create additional noise, air, water or other forms of environmental pollution.

**4. The maintenance of compatible and efficient development patterns and land use intensities.**

The height and bulk of the proposed building is similar to other buildings on Taos Drive. The number of dwelling units proposed at this site is less than the number of dwelling units on the properties to the north, south and west. The zoning is intended for this use, which is consistent with the established development pattern.

**AMC 21.09.070 Site development and design standards.**

**C. Hazard areas:** The property is not located in an avalanche zone.

**D. Grading and drainage:** A full drainage analysis will be required with a land use permit at the time of development.

**E. Landscaping, vegetation and tree retention:** Not applicable in the gR-4 district, except that all disturbed areas must be revegetated with plant materials of the landowner’s choice.

**F. Transportation and connectivity:** The driveway is subject to AMC 21.09.070N. *Driveway standards* below.

**G. Lighting:** The petitioner has stated that exterior lighting will be limited to individual unit entryways and all fixtures will be full cut-off, which directs light

downward.

- H. Pedestrian circulations:** The site plan shows walkways from entryways to individual parking spaces. The roof overhangs protect the entryways from falling snow.
- I. Fences and walls:** No fences or walls are proposed.
- J. Utilities and utility equipment standards:** Utilities will be placed underground.
- K. Snow management:** An area equal to 20% of plowed areas is required to be provided for snow storage. The site plan shows 34% snow storage located outside of landscaping.
- L. Off-street parking standards:** The parking requirement of nine spaces is met. The site plan shows no parking spaces located within the required setbacks. The driveway must be paved in accordance with AMC 21.09.070L.8.
- M. Signage:** No signs are proposed.
- N. Driveway standards:** The proposed one-way looping driveway meets the minimum width of 12 feet and the maximum width of 14 feet. The minimum driveway separation distance of 10 feet and maximum slope of 10% are also met.
- O. Trash management in the multi-family, commercial, industrial, and resort districts:** There will be no dumpster. The individual units will store their trash containers in garages until the trash pickup day.

**AMC 21.09.080 Building design standards.**

**E. Multiple-family and townhouse building design standards.**

**2. Building style, massing, and size.**

- a. *Building Style—General:*** Although no specific architectural style is required, it is intended the design of buildings take into consideration the Girdwood climate and physical setting. The Girdwood physical environment requires structures to be built for its special circumstances.

The building style is designed for Girdwood’s climate and alpine setting. There will be sun decks and large windows from living areas facing the east and west.

- b. *Mass:*** The mass of a single building or group of buildings shall be organized so it appears to be an arrangement of smaller-sized connected structures. Large roof forms shall step or be broken by dormers. Upper level residential floors may be incorporated into the roof form to reduce the apparent height and mass of buildings.

The massing of the single building is designed so that each of the four units is distinct. The building and the roofline is stepped at each individual dwelling unit, rather than having one continuous wall.

- c. **Scale and Size:** No wall shall be longer than 42 feet without a change or alteration in alignment of at least four feet in depth from the plane of the referenced wall. For building sides longer than 64 feet, the combined length of the segments not in plane with the primary wall plane of the building side shall equal at least one-third of the building side length. Curved walls that include a change in wall plane of at least four feet depth in 40 feet of wall length shall satisfy this requirement. Where two arms or elevations of a building are separated by a change in wall plane of six degrees or more, these shall be considered as separate building sides for the measurement purposes of this provision.

The front and rear wall planes are stepped at intervals of less than 42 feet and the depth of each step is greater than four feet. There is wall plane modulation over greater than four feet over more than one-third of the length of the building's sides.

- d. **Building Façades:** There shall be trim around openings and windows. Exterior corridors to room entrances are prohibited for buildings with more than eight dwelling units.

There is trim around the windows, doors, and garage doors.

### 3. Roof Form

- a. **Shed or Pitched Roofs:** Sloping roof forms are encouraged.

The building has an angled shed roof.

- b. **Flat Roofs:** Flat-roofed buildings shall be permitted only if the roof areas are divided into separate segments, each no more than 3,000 square feet in area, and separated from adjoining segments by at least four feet in vertical elevation.

The roofs are all sloping.

- c. **Cornices:** Flat portions of roofs shall have distinctive cornice features.

The roofs are all sloping.

- d. **Roof Overhangs:** Roof overhangs shall be sufficient to provide weather protection for building walls. Overhangs on the gable end shall be a minimum of 12 inches. Overhangs on the eave ends shall be a minimum of 24 inches, except an upper eave end of a shed roof is not required to have an overhang. Flat-roofed structures shall provide an appropriate means of managing runoff to protect exterior walls. Solariums are exempt from this subsection.

The roof has a minimum of 24 inches of overhang from the exterior wall.

- e. **Snow and Rain Protection:** Roof structures shall be designed to protect doorways, exterior stairs, emergency exits, balconies, vehicle service bays, and garage entrances from snow, ice and rain. Balconies shall be designed to avoid drainage onto other balconies or pedestrian spaces below.

The roof is designed to protect entryways and garage entrances. The roof is designed to avoid draining onto balconies and pedestrian spaces below.

- f. **Roofing Materials:** Roofing materials may be asphalt shingle, metal, slate, or built-up materials on flat sections. Brightly colored enameled, reflective metal, and wood shakes are prohibited roofing materials.

The roof material will be asphalt shingle.

- g. **Projections from Roofs:**  
i. **Location on the Roof:** Chimneys, flues, vents and antennae shall penetrate the roof near the ridge or only where protected from snow movement off the roof. Vent pipes and flues shall be consolidated into orderly clusters or incorporated into chimney structures.

The application states that "all projections from the roof are designed to mitigate damage from sliding snow." Their location is not shown.

- ii. **Cladding Material:** Chimneys and metal flue pipes shall be clad in wood, stone, or stone veneer.

The applicant stated verbally that there will not be any chimneys or metal flue pipes on the building.

**4. Porches and Entrances**

- a. ***Landing Height:*** Where landings are used, they shall be a minimum of six inches higher than adjacent walkways or streets.

The landings at entryways are six inches in height.

- b. ***Entrances:*** Common building entryways shall be a minimum of 12 feet in width or 20 percent of the width of the building wall, whichever is greater. Fire exits are not considered building entrances for the purpose of this section. The entrance shall be weather protected and well lit.

No common building entryways are proposed.

- c. ***Porte Cocheres:*** Porte cocheres and porticoes may extend outward from the building entrance over driveways or drop-off areas to provide weather protection. Exterior materials and design shall be consistent or compatible with the building.

No porte cochere is proposed.

**5. Building Materials**

- a. ***Durability:*** Durable, weatherproof materials shall be used for foundations and the lower sections of building facades subject to the affects of snow accumulations and rain splashback.

The building elevations show cedar siding on the lower sections of the building. The petitioner has stated verbally that they will revise the plans to show concrete board or concrete masonry unit in the areas that are affected by snow accumulation and rain splashback.

- b. ***Alternative Façade Materials:*** On multistory buildings, façade materials may include pre-cast concrete or plaster surfaces, if such surfaces are heavily ribbed, textured, or brush hammered, and colored to fit the overall building design and mountain setting. No more than 35 percent of any building façade shall consist of textured or treated concrete.

The primary exterior building material will be made of cedar or a similar wood.

- c. ***Remodels:*** The architectural design and the materials used in an addition to an existing structure, or accessory structure, shall be compatible with the architectural style and building materials used in the existing structure, unless an entire facade is to be remodeled in a uniform architectural style.

This is a new building, not a remodel.

- d. ***Restricted Materials:*** No more than 20 percent of any given building façade may be composed of aluminum, untextured vinyl or plastic siding, T-111 siding, or brick. Up to 35 percent of any given building façade may be composed of stucco, treated or textured CMU, or simulated stone veneer. No more than five percent of any given building facade may be painted brick.

The building's exterior will be made of cedar or a similar wood.

- e. ***Prohibited Materials:*** The following exterior materials are prohibited:
- i. Shiny, reflective metal surfaces anywhere on the building;
  - ii. Highly reflective or mirrored glass;
  - iii. Untreated or untextured concrete or masonry;
  - iv. Unstained or untreated wood, except for cedar or redwood; all other wood elements shall be treated with oil, stain, or other weathering agent, or painted to resist weathering and discoloration from water;
  - v. Plywood siding without board and batten; and
  - vi. White roof gravels.

None of the prohibited materials will be used.

6. **Building Colors**

- a. ***Principal Colors:*** Principal colors on buildings shall generally be natural color tones, such as browns, tans, wood colors, green, rust, barn red and gray. White or cream shades of color are permitted on not more than 35 percent of each facade. Bright, primary colors are permitted on not more than 15 percent of each facade.

Principal exterior building colors will be neutral tones with some brighter colors, not exceeding 15% of the façade, for trim and highlighting details.

- b. ***Trim Colors:*** Brighter colors than principal building colors are permitted for trim and highlight details, such as cornices, window frames, handrails, and entrance doors.

Trim colors will be brighter than the main building color.

7. **Accessory Elements**

- a. ***Detached Parking, Garages, and Carports:*** Detached garages, carports and parking garages shall be designed with

**architectural elements and materials related to the principal residential building or buildings, and shall be screened from view from public roads and primary common areas with landscaping and/or berming.**

The garages are not detached.

- b. Resident Storage and Other Accessory Buildings: A multiple-family project shall provide a minimum of 40 square feet per dwelling unit of covered, enclosed, and secure storage areas for bikes and other belongings typically cannot be accommodated within individual dwelling units. This storage area may be provided as part of a garage. Storage and other accessory buildings shall be designed with materials and/or architectural elements related to the principal buildings.**

Greater than 40 square feet of storage space is provided inside each garage. The first 20 feet of the garage is a parking space and the remaining 18 feet is dedicated to storage space.

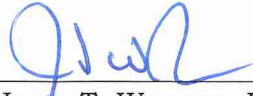
#### **DEPARTMENT RECOMMENDATION**

The Department recommends APPROVAL of a final conditional use for 14 dwelling units per acre in the gR-4 district, subject to the following conditions:

1. This approval is subject to the petitioner's application, narrative, and the following plans on file at the Planning Division, except as modified by these conditions of approval:  
  
180 Taos Road; Sheet C1.0 Site Grading and Drainage Plan, prepared by Enterprise Engineering; Sheets A0.1 Site Plan – One Way Drive, A0.2 Location in Girdwood, A0.3 Rendering from Southwest, A0.4 Rendering from West, A0.5 Rendering – Overhead from Southwest, A1.1 First Floor Plan, A1.2 Second Floor Plan, A1.3 Third Floor Plan, A2.1 West Elevation, A2.2 East Elevation, A2.3, North and South Elevations, A3.1 East-West Building Section at 3 Story Units, A3.2 East-West Building Section at 2 Story Unit, prepared by Z Architects.
2. A notice of zoning action and a final approved site plan shall be filed with the State Recorder's Office. Proof of such shall be submitted to the Planning Division.
3. Revise the site plan to show a paved driveway, in accordance with AMC 21.09.070L.8.
4. Revise the building elevations to show concrete board or CMU in the areas that are affected by snow accumulation and rain splashback.

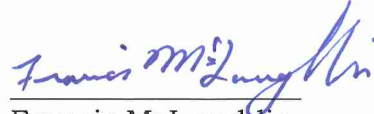
5. Advisory Note: The Building Safety Section recommends that the building be designed by a licensed structural or civil engineer with expertise in seismic structural design.

Reviewed by:



Jerry T. Weaver, Jr.  
Director

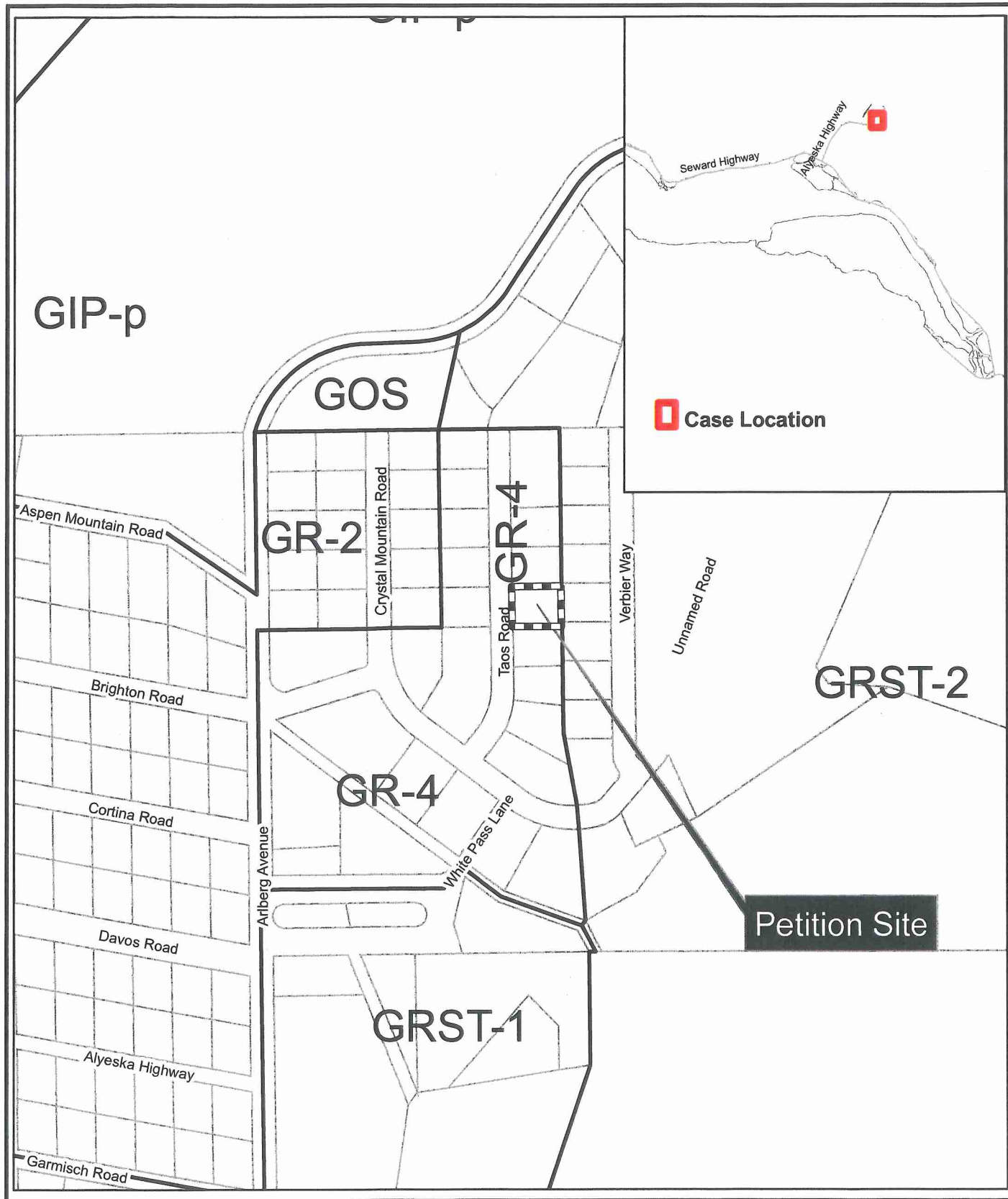
Prepared by:



Francis McLaughlin  
Senior Planner

(Case 2015-0041; Parcel ID No. 076-015-40)

# 2015-0041



2015-0041



# Departmental and Public Comments

# MUNICIPALITY OF ANCHORAGE



Community Development Department  
Development Services Division

Private Development Section

*Mayor Dan Sullivan*

## MEMORANDUM

### Comments to Planning and Zoning Commission Applications/Petitions

**DATE:** May 13, 2015  
**TO:** Erika McConnell, Current Planning Section Supervisor  
**FROM:** Brandon Telford, Plan Review Engineer  
**SUBJECT:** Comments for Planning and Zoning Commission  
Public Hearing date: June 8, 2015

**Case 2015-0040** – Conditional Use per AMC 21.50.020 and AMC 21.50.280 for a 120 foot Type I Monopole Telecommunications Tower.

#### Department Recommendations:

The Private Development Section has no comment on the Conditional Use.

**Case 2015-0041** – Conditional Use to exceed permitted density in the gR-4 District per AMC 21.09.0402.e to allow a multifamily development consisting of four (4) dwelling units in one building.

#### Drainage:

The petitioner is alerted to the pending requirement to provide project specific full drainage analysis and calculations to Private Development under land use and/or building permit processes. An analysis will be required to address storm runoff as a result of the proposed changes to infrastructure and to permeable / impermeable surface treatments. Final plans with appropriate details will be required prior to approval of building plans. The analysis and plans shall present and illustrate respectively how drainage from this facility is being managed in relation to peripheral properties and right of way; demonstrate that post development drainage will not adversely impact adjacent properties or rights of way; and, measures to be taken in the event that excavation associated with the build-out of the property exposes subsurface flows. Drainage analysis and design shall conform to the Municipality of Anchorage Design Criteria Manual (DCM) and the Drainage Design Guidelines (DDG).

#### Comments:

Taos Road appears to be either strip paved or RAP surfaced with a width of less than 20-feet and no pedestrian facilities. This level of development does not meet municipal standards.

Increasing the density of the lots along Taos Road will increase the traffic volumes along the sub-standard road resulting in potentially unsafe traffic conditions. Development along Taos Road should be managed to prevent average daily trips along Taos Road from exceeding 300 ADT or improvements should be made to Taos Road to accommodate the additional traffic volumes. Development of this four unit building will not cause the ADT along Taos Road to exceed 300 trips. Expected ADT for Taos Road after development of this four unit building is 238 trips.

**Department Recommendations:**

Please see above for the Private Development Section's comments on the Conditional Use.



# Municipality of Anchorage

*Maintenance and Operations*

Street Maintenance Section

## MEMORANDUM

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MAY 11 2015

MUNICIPALITY OF ANCHORAGE  
PLATTING DIVISION

**DATE:** May 7, 2015

**TO:** Municipality of Anchorage Planning Division

**THRU:** Paul VanLandingham, Street Maintenance Section Manager

**FROM:** Steve Hughes, Street and Storm Maintenance Review

**SUBJECT:** 180 Taos Road, Girdwood. North Addition Alyeska Unit No. 3, Block 6, Lot 5.  
Case No. 2015-0041.

Street Maintenance offers no objection to this application.

Thank you for the opportunity to comment. If there are any questions regarding this comment, please contact Steve Hughes at 343-8161 or Paul VanLandingham at 343-8372.

# MUNICIPALITY OF ANCHORAGE



Planning & Development Services Dept.  
Development Services Division

RECEIVED Building Safety

MAY 11 2015

## MEMORANDUM

MUNICIPALITY OF ANCHORAGE  
ZONING DIVISION

### Comments to Miscellaneous Planning and Zoning Applications

**DATE:** May 11, 2015  
**TO:** Erika McConnell, Manager, Zoning and Platting  
**FROM:** Ron Wilde, P.E.  
Building Safety  
**SUBJECT:** Comments for Case 2015-0041  
Zellmer Townhouse-Style Multifamily Residential building

This building needs to be designed by a structural or civil engineer with expertise in seismic structural design.

This building has both horizontal and vertical roof offsets and essentially no shear walls along the front. This building will be dangerous for seismic forces unless it is tied together with adequate, detailed connections.

Because this building is outside the Building Safety Service Area there is no legal requirement that this building even be plan reviewed or inspected.

Because of the extreme offsets and structural irregularities I strongly recommend that this building at least be designed by a licensed structural or civil engineer with expertise in seismic structural design.

I would be happy to discuss this matter further.

Ron Wilde, PE  
Structural Plan Reviewer  
Building Safety  
Municipality of Anchorage  
907-343-8371



THE STATE  
of **ALASKA**  
GOVERNOR BILL WALKER

Department of Transportation and  
Public Facilities

CENTRAL REGION  
Planning & Administrative Services

4111 Aviation Avenue  
P.O. Box 196900  
Anchorage, Alaska 99519-6900  
Main Phone: (907)269-0520  
Fax: (907)269-0521  
Web site: dot.state.ak.us

May 01, 2015

Erika McConnell, Planning Section Manager  
MOA, Community Development Department  
Planning Division  
P.O. Box 196650  
Anchorage, Alaska 99519-6650

RE: MOA Zoning Review

Dear Ms. McConnell:

The Alaska Department of Transportation and Public Facilities, ADOT&PF, Central Region  
Planning section has no comment on the following zoning application:

2015-0041; North Addition to Alyeska Unity No. 3, Block 6, Lot 5

Sincerely,

A handwritten signature in black ink, appearing to read "Aaron Jongenelen".

Aaron Jongenelen  
Anchorage Area Planner

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MAY 08 2015

MUNICIPALITY OF ANCHORAGE  
PLATTING DIVISION

Municipality Of Anchorage  
ANCHORAGE WATER & WASTEWATER UTILITY

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MEMORANDUM

MAY 05 2015

MUNICIPALITY OF ANCHORAGE  
ZONING DIVISION

**DATE:** May 5, 2015  
**TO:** Erika McConnell, Supervisor, Planning Section, Planning Division  
**FROM:** Paul Hatcher, Engineering Technician III, AWWU Planning  
**SUBJECT:** **Zoning Case Comments**  
Hearing Date: June 8, 2015  
Agency Comments Due: May 11, 2015

AWWU has reviewed the materials and has the following comments.

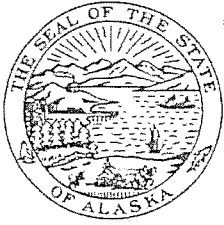
**15-0040 NORTH WOODS TR A, Conditional Use per AMC 21.50.020 and AMC 21.50.280 for a 120 foot Type I Monopole Telecommunications Tower, Grid NW1459**

1. AWWU water is available to this parcel, sanitary sewer is not.
2. AWWU has no objection to this conditional use.

**15-0041 ALYESKA NORTH #3 BLK 6 LT 5, Conditional Use to exceed permitted density in the gR-4 District per AMC 21.09.0402.e to allow a multifamily development consisting of four (4) dwelling units in one building, Grid SE4817**

1. AWWU water and sanitary sewer are available to this parcel.
2. AWWU has no objection to this conditional use.

If you have any questions pertinent to public water and sanitary sewer, you may call me at 564-2721 or the AWWU planning section at 564-2739, or e-mail [paul.hatcher@awwu.biz](mailto:paul.hatcher@awwu.biz)



THE STATE  
of **ALASKA**  
GOVERNOR BILL WALKER

Department of Transportation and  
Public Facilities

CENTRAL REGION  
Planning & Administrative Services

4111 Aviation Avenue  
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Fax: (907)269-0521  
Web site: dot.state.ak.us

May 01, 2015

Erika McConnell, Planning Section Manager  
MOA, Community Development Department  
Planning Division  
P.O. Box 196650  
Anchorage, Alaska 99519-6650

RE: MOA Zoning Review

Dear Ms. McConnell:

The Alaska Department of Transportation and Public Facilities, ADOT&PF, Central Region Planning section has no comment on the following zoning application:

- 2015-0041; North Addition to Alyeska Unity No. 3, Block 6, Lot 5

Sincerely,

A handwritten signature in cursive script, appearing to read "Aaron Jongenelen".

Aaron Jongenelen  
Anchorage Area Planner

**RECEIVED**

MAY 02 2015

MUNICIPALITY OF ANCHORAGE  
ZONING DIVISION



Municipality of Anchorage  
Development Services Department  
Building Safety Division



MEMORANDUM

DATE: April 29, 2015  
TO: Erika McConnell, Manager, Current Planning Section  
FROM: Deb Wockenfuss, Civil Engineer, On-Site Water and Wastewater Program  
SUBJECT: Comments on Cases due May 11, 2015

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APR 29 2015

MUNICIPALITY OF ANCHORAGE  
ZONING DIVISION

The On-Site Water & Wastewater Program has reviewed the following cases and has these comments:

2015-0040      Conditional Use for Monopole Telecommunications Tower

No objection

2015-0041      Conditional Use, North Addition to Alyeska Unit No 3 B6 L5

No objection

\_\_\_\_\_

\_\_\_\_\_

**Kimmel, Corliss A.**

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**From:** Wilson, Karleen K.  
**Sent:** Wednesday, April 29, 2015 2:54 PM  
**To:** Blake, Lori A.; Johnson, Sandra L; Kimmel, Corliss A.; Whitfield, David R.  
**Subject:** Case No. 2015-0041

**RECEIVED**

APR 29 2015

Case No. 2015-0041, Conditional Use for Condos in Girdwood

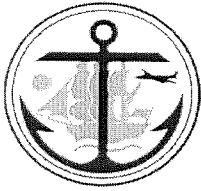
**MUNICIPALITY OF ANCHORAGE  
ZONING DIVISION**

We assigned 4 individual/unique addresses for EACH building when they originally applied for a permit in 2012. This still stands. They are required to post EACH individual address on each unit. Each unit has isn't own private entrance, therefore are required to have their own unique site addresses.

Thanks,

**Karleen Wilson**

Addressing Official  
Municipality of Anchorage  
Address Data Management, GIS  
907.343.8168 (my desk)  
907.343.8222 (option #3)



# MUNICIPALITY OF ANCHORAGE

Development Services Division

Right of Way Section

Phone: (907) 343-8240 Fax: (907) 343-8250

---

**DATE:** April 22, 2015  
**TO:** Planning Division, Current Planning Section  
**THRU:** Jack L. Frost, Jr., Right of Way Supervisor  
**FROM:** Frank Kelly, Acting Right of Way Plan Reviewer  
**SUBJ:** Comments on Planning and Zoning Commission case for June 18, 2015.

Right of Way Section has reviewed the following case due May 11, 2015.

**2015-0041 Conditional Use development in the gR-4 District per AMC 21.09.0402.e at North Addition to Alyeska Unit No. 3, Block 6, Lot 5**

Landscaping in the 10 foot Utility Easement shall not include the new placement of trees and shrubs. Topsoil and grass seed only in this area.

One-way driveways, if constructed, shall limit the radii (0 to 5 feet) along with any improved surface attachment to adjacent street unless Traffic Department requires.

Review time 60 minutes.

**WMS WATERCOURSE MAPPING SUMMARY**

Per the requirements for watercourse verification outlined in Project Management and Engineering Operating Policy and Procedure #8 and Planning Department Operating Policy and Procedure #1 (effective June 18, 2007), MOA Watershed Management Services has inspected the following location for the presence or absence of stream channels or other watercourses, as defined in Anchorage Municipal Code (21.35).

- Project Case Number or Subdivision Name: Alyeska North Sub L15 B1K6
- Project Location, Tax ID, or Legal Description: 076-015-40-000
- Project Area (if different from the entire parcel or subdivision): \_\_\_\_\_

In accordance with the requirements and methods identified, WMS verifies that this parcel, project area, or application:

\_\_\_\_\_ **DOES NOT** contain stream channels and/or drainageways, as identified in WMS field or archival mapping information.\*

X **DOES** contain ~~stream channels~~ and/or ~~drainageways~~ **AND** these are located and identified on submittal documents in general congruence with WMS field and archival mapping information.  
*New or additional mapping **IS NOT REQUIRED**.\**

\_\_\_\_\_ Contains stream channels and/or drainageways **BUT** one or more streams or other watercourses:  

- are **NOT** shown on submittal documents, or
- are **NOT** depicted adequately on submittal documents for verification, or
- are **NOT** located or identified on submittal documents in general congruence with WMS field and archival mapping information.

*New or additional mapping **IS REQUIRED** and must be re-submitted for further review and verification.\**

\_\_\_\_\_ Presence of stream channels and/or drainageways is unknown **AND** field verification is not possible at this time. WMS will verify as soon as conditions and prioritized resources allow.

\* Streams omitted in error by WMS or others remain subject to MOA Code and must be shown in new mapping upon identification of the error.

**ADDITIONAL INFORMATION:**

- |  |  |                                      |                                |
|--|--|--------------------------------------|--------------------------------|
| <input type="checkbox"/> Y <input checked="" type="checkbox"/> N | WMS written drainage recommendations are available.      | <input type="checkbox"/> Preliminary | <input type="checkbox"/> Final |
| <input type="checkbox"/> Y <input checked="" type="checkbox"/> N | WMS written field inspection report or map is available. | <input type="checkbox"/> Preliminary | <input type="checkbox"/> Final |
| <input type="checkbox"/> Y <input checked="" type="checkbox"/> N | Field flagging and/or map-grade GPS data is available.   |                                      |                                |

Inspection Certified By:

Date:

Kyle Cunningham  
Kyle Cunningham

4/14/11

Municipality of Anchorage  
P. O. Box 196650  
Anchorage, Alaska 99519-6650  
(907) 343-7943

U.S. POSTAGE PITNEY BOWES  
FIRST CLASS MAIL ZIP 99501 \$ 000.48<sup>0</sup>  
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0001394691 MAY 07 2015

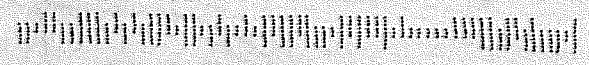
07601537004  
PREVOST MICHELE & BENEDETTI GARY  
PO BOX 709  
ANTIGO, WI, 54409-0709

**RECEIVED**  
MAY 20 2015  
MUNICIPALITY OF ANCHORAGE  
ZONING DIVISION

**NOTICE OF PUBLIC HEARING: Monday, June 8, 2015**

The Municipality of Anchorage Planning and Zoning Commission will consider the following:

CASE: 2015-0041 5440930709 B008



PETITIONER: Jordan Zellmer  
REQUEST: Conditional Use to exceed permitted density in the gR-4 District per AMC Table 21.09.050-1: Table of Allowed Uses to allow a multifamily development consisting of four (4) dwelling units in one building.  
TOTAL AREA: 0.29 acres  
SITE ADDRESS:  
LOCATION: Generally located east of Taos Road, north of Crystal Mountain Road, and west of Verbier Way.  
CURRENT ZONE: gR-4 Multiple-Family Residential District  
COM COUNCIL(S): Girdwood Board of Supervisors  
LEGAL DESCR: North Addition to Alyeska Unit No. 3, Block 6, Lot 5

The Planning and Zoning Commission will hold a public hearing on the above matter at 6:30PM, Monday, June 8, 2015 in the Leupold Library Assembly Chambers, 3600 Denali Street, Anchorage, Alaska.

**RECEIVED**

The zoning ordinance requires that you be sent notice because your property, residence, or business is within the vicinity of the petition area. This will be the only public hearing before the commission regarding this case and you are invited to attend and present testimony, if you so desire.

If you would like to comment on the petition, this form may be used for your convenience. Mailing Address: Municipality of Anchorage, Department of Community Development, Planning Division, P.O. Box 196650, Anchorage, Alaska 99519-6650. For more information call 343-7943; FAX 343-7944; or visit our website at www.muni.org. Information may be viewed at www.muni.org by selecting Department / Community Development / Planning / Current Planning and then click on the hyperlink 'View active cases and maps'.

Name: GARY BENEDETTI AND MICHELE PREVOST  
Address: PO BOX 709, ANTIGO WI 54409

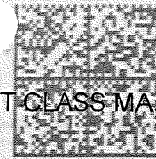
Legal Description:

Comments: WE OWN PROPERTY ON TAOS ROAD; WE OPPOSE ANY DEVELOPMENT IN EXCESS OF THE CURRENT ZONING RESTRICTION.

NOTE THAT THIS STREET ALREADY HAS PROBLEMS WITH LIMITED/NO ON STREET PARKING, SNOW REMOVAL, TRAFFIC,

Municipality of Anchorage  
P. O. Box 196650  
Anchorage, Alaska 99519-6650  
(907) 343-7943

Presort  
First Class Mail  
Compass Price



U.S. POSTAGE >>> PITNEY BOWES



ZIP 99501 \$ 000.46<sup>0</sup>  
02 1W  
0001394691 MAY 07 2015

07601537001  
JAMES LYNDA RAE  
1634 W 13TH AVE  
ANCHORAGE, AK, 99501-4217

RECEIVED

MAY 14 2015

MUNICIPALITY OF ANCHORAGE  
ZONING DIVISION

### NOTICE OF PUBLIC HEARING: Monday, June 8, 2015

The Municipality of Anchorage Planning and Zoning Commission will consider the following:

CASE: 2015-0041

PETITIONER: Joshua Zellmer

REQUEST: Conditional Use to exceed permitted density in the gR-4 District per AMC Table 21.09.050-1: Table of Allowed Uses to allow a multifamily development consisting of four (4) dwelling units in one building.

TOTAL AREA: 0.29 acres

SITE ADDRESS:

LOCATION: Generally located east of Taos Road, north of Crystal Mountain Road, and west of Verbier Way.

CURRENT ZONE: gR-4 Multiple-Family Residential District

COM COUNCIL(S): Girdwood Board of Supervisors

LEGAL DESCR: North Addition to Alyeska Unit No. 3, Block 6, Lot 5

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Name:

*Linda James*

Address:

*130 Taos Road A.1  
Girdwood AK 99587*

Legal Description:

*ALYESKA NORTH #3 BLK 6 LT 8 SIVERTOP Phase 1*

Comments:

*opposed to increasing the number  
of units.*

RECEIVED

MAY 14 2015

MUNICIPALITY OF ANCHORAGE  
PLATTING DIVISION

Municipality of Anchorage  
P. O. Box 196650  
Anchorage, Alaska 99519-6650  
(907) 343-7943



07601538000  
HENDERSON B WAYNE & DENISE C  
1711 BANNISTER DR  
ANCHORAGE, AK, 99508-4020

RECEIVED

MAY 28 2015

MUNICIPALITY OF ANCHORAGE  
ZONING DIVISION

## NOTICE OF PUBLIC HEARING: Monday, June 8, 2015

The Municipality of Anchorage Planning and Zoning Commission will consider the following:

CASE: 2015-0041

PETITIONER: Joshua Zellmer

REQUEST: Conditional Use to exceed permitted density in the gR-4 District per AMC Table 21.09.050-1: Table of Allowed Uses to allow a multifamily development consisting of four (4) dwelling units in one building.

TOTAL AREA: 0.29 acres

SITE ADDRESS:

LOCATION: Generally located east of Taos Road, north of Crystal Mountain Road, and west of Verbiere Way.

CURRENT ZONE: gR-4 Multiple-Family Residential District

COM COUNCIL(S): Girdwood Board of Supervisors

LEGAL DESCR: North Addition to Alyeska Unit No. 3, Block 6, Lot 5

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If you would like to comment on the petition, this form may be used for your convenience. Mailing Address: Municipality of Anchorage, Department of Community Development, Planning Division, P.O. Box 196650, Anchorage, Alaska 99519-6650. For more information call 343-7943; FAX 343-7927. Case information may be viewed at [www.muni.org](http://www.muni.org) by selecting Department / Community Development / Planning / Current Planning and then click on the hyperlink 'View active cases and maps'.

Name: Denise Henderson

Address: 150 TAOS RD #4, GIRDWOOD  
(1711 Rogers Park Ct, ANCH 99508)

Legal Description:

Comments: As a resident of a condo on TAOS, I feel strongly  
that the number of units on this lot be  
limited to 4 (Four). The traffic on ~~the~~ TAOS  
is already very busy. Denise Henderson  
The lot is narrow and long with an uphill  
grade to the back of the lot.

# Affidavit of Posting and Historical Information



# AFFIDAVIT OF POSTING

Case Number: 2014-0041

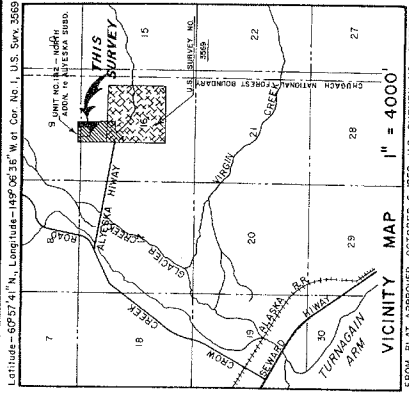
I, MARCO ZACCARO, hereby certify that I have posted a **Notice of Public Hearing** as prescribed by Anchorage Municipal Code 21.15.005 on the property that I have petitioned for CONDITIONAL USE PERMIT. The notice was posted on 4/28/15 which is at least 21 days prior to the public hearing on this petition. I acknowledge this Notice(s) must be posted in plain sight and displayed until all public hearings have been completed.

Affirmed and signed this 28<sup>th</sup> day of APRIL, 2015.

[Signature]  
Signature

## LEGAL DESCRIPTION

Tract or Lot 5  
Block 6  
Subdivision ALYESKA NORTH #3



FROM PLAT APPROVED OCTOBER 6, 1960 U.S. SURVEY NO. 3603

**CERTIFICATE OF OWNERSHIP & DEDICATION:**  
 We hereby certify that we are the owners of the property shown and described hereon. We hereby request approval of this plat, showing such easements for public utilities, roadways and alleys dedicated by us for public use.

Date: August 11, 1972  
 LESSEE - ADL LEASE NO. 17860 (7,005 ac.)  
 F.O. BOX 1882, ANCHORAGE, ALASKA

**NOTARY'S ACKNOWLEDGEMENT:**  
 Subscribed and sworn to before me this 11 day of August, 1972.  
John M. [Signature]  
 NOTARY FOR ALASKA  
 My commission expires Nov. 24, 1973

**PLAT APPROVAL**  
 Plot approved by the Borough Planning Commission this 3 day of August, 1972.  
[Signature]  
 AUTHORIZED OFFICIAL

NAME OF SURVEYOR  
 DICKINSON-COSWOLD & PARTNERS  
 800 CORDOVA ST  
 ANCHORAGE, ALASKA

STATE OF ALASKA  
 DEPARTMENT OF NATURAL RESOURCES  
 DIVISION OF LANDS  
 ANCHORAGE, ALASKA

UNIT NO. 3  
 NORTH ADDITION TO ALYESKA SUBDIVISION  
 LOCATED IN PROTRACTED SECS 9 & 16, T.10 N., R.2 E., S.1 M. - CONTAINS 7,005 ACRES

DRAWN BY: K.L.L.  
 APPROVAL RECOMMENDED: 5/1/72  
 DATE APPROVED: August 11, 1972  
 CHECKED: [Signature]  
 SCALE: 1" = 100'

FIELD BOOK NO. \_\_\_\_\_  
 D/O FILE NO. 65-23  
 F.B. 127-70 \_\_\_\_\_  
 W.G. NO. 2470 \_\_\_\_\_  
 1972-740

**LEGAL DESCRIPTION**  
 From Corner No. 1, U.S. Survey No. 3589; thence North 1320.04 ft., to the N.E. Corner of Tract "A", Second Addition to Alyeska Subdivision; thence East, 495.00 ft. to the True Point of Beginning; thence East 310.00 ft. to a point; thence South 769.33 ft. to a point; thence S. 09° 23' 50" E., 184.97 ft. to a point; thence S. 03° 51' 30" E., 60.00 ft. to a point; thence Northwesterly, along a curve to the right, (R=270.00 ft., tangent bearing S. 87° 10' 51" W., through an angle of 40° 19' 09"), for a distance of 190.00 ft. to a point; thence N. 37° 30' 00" E., 60.00 ft. to a curve to the right, (R=240.00 ft., tangent bearing N. 52° 30' 00" W., through an angle of 52° 30' 00"), for a distance of 219.91 ft. to a point; thence North 36.49 ft. to a point; thence East 125.00 ft. to a point; thence North, 500.00 ft. to the Point of Beginning.  
 Contains 7,005 Acres.

**NOTE:**  
 No structure or building will be constructed until water and sewer service is available.

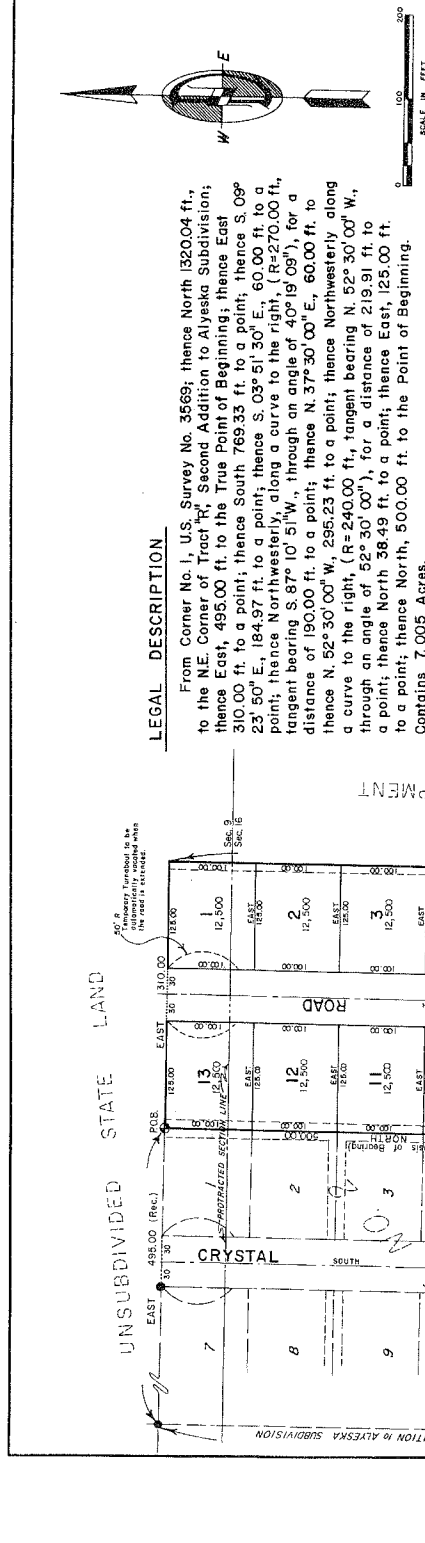
**LEGEND:**  
 \* Existing BLM Brass Capped Monument  
 • D/O Brass Capped Monument Existing  
 • Existing 5/8" Steel rebar with Aluminum Cap  
 All other corners are 5/8" Rebar set this survey

**OWNERSHIP CERTIFICATE:**  
 I, the undersigned, hereby certify that I am the director, Alaska Division of Lands and that the State of Alaska is the owner of 7,005 Acres of A.D.L. Lease No. 17860 as shown hereon. I hereby approve this survey and plat for the State of Alaska.  
 Date: August 11, 1972  
[Signature]  
 Director, Alaska Division of Lands

**NOTARY'S ACKNOWLEDGEMENT**  
 Subscribed and sworn to before me this 11 day of August, 1972.  
[Signature]  
 NOTARY FOR ALASKA  
 My commission expires Sept. 1, 1974

**SURVEYOR'S CERTIFICATE:**  
 I, the undersigned registered surveyor, hereby certify that a land survey has been completed by me or under my direct supervision and that corners and monuments have been located and established and that the dimensions shown hereon are true and correct.  
 Date: August 11, 1972  
[Signature]

**72-180**  
 9-19-72  
 12:38 P.  
 [Handwritten notes]



TRACT "A" SECOND ADDITION TO ALYESKA SUBDIVISION  
 NORTH 1320.04 (Rec.)  
 EAST 495.00 (Rec.)  
 SOUTH 769.33 (Rec.)  
 WEST 310.00 (Rec.)

CURVE NUMBER	RADIUS	CHORD LENGTH	HELI	ARC LENGTH	TANGENT LENGTH	AREA	CURVE MARKERS
1	175	112.60	37°30'00"	114.64	58.40	2	
2	145	94.22	37°30'00"	94.90	49.22	2	
3	205	126.35	07°21'15"	126.37	132.0	3	
4	205	126.35	82°07'00"	126.37	132.0	4	
5	275	168.64	08°05'44"	168.67	174.31	5	
6	240	151.98	07°09'43"	151.99	157.2	6	
7	210	131.73	49°07'20"	131.73	136.8	7	
8	240	151.98	49°07'20"	151.99	157.2	8	
9	240	151.98	49°07'20"	151.99	157.2	9	
10	270	166.10	42°49'08"	166.10	171.2	10	
11	240	151.98	58°30'00"	151.99	157.2	11	

**UNSUBDIVIDED STATE LAND**  
 UNPROTRACTED SECTION LINES  
 40' B Temporary Easement to be shown in red ink elsewhere

**ADL LEASE NO. 17860**  
 UNPROTRACTED SECTION LINES  
 40' B Temporary Easement to be shown in red ink elsewhere

**UNSUBDIVIDED STATE LAND**  
 UNPROTRACTED SECTION LINES  
 40' B Temporary Easement to be shown in red ink elsewhere

**UNIT NO. 3**  
 NORTH ADDITION TO ALYESKA SUBDIVISION  
 LOCATED IN PROTRACTED SECS 9 & 16, T. 10 N., R. 2 E., S. 1 M., ALASKA

**MUNICIPALITY OF ANCHORAGE**  
**PLANNING AND ZONING COMMISSION RESOLUTION NO. 2003-062**

A RESOLUTION APPROVING A CONDITIONAL USE APPLICATION TO ALLOW DUPLEX IN THE R-11 DISTRICT, FOR NORTH ADDITION TO ALYESKA, BLOCK 6, LOT 5, GIRDWOOD, ALASKA.

(Case 2003-104, Tax I.D. No. 076-015-40)

---

WHEREAS, a request has been received from Patricia and Roderick Engle, petitioner, and Scott Jones, representative, to allow a duplex in the R-11 district, for North Addition to Alyeska, Block 6, Lot 5, Girdwood, Alaska, and

WHEREAS, notices were published, posted and 260 public hearing notices were mailed and a public hearing was held on August 4, 2003.

NOW, THEREFORE, BE IT RESOLVED, by the Municipal Planning and Zoning Commission that:

A. The Commission makes the following findings of fact:

1. The petitioner proposes to construct a duplex on the petition site. The Girdwood Area Plan establishes development review guidelines for new housing types in Chapter 7, Table 9 on page 49. The table establishes that proposed duplex and multi-family residential developments of 5-10 dwelling units per acre (DUA) "require administrative site plan review." Site plan review is intended to help implement the Girdwood Area Plan goal for housing development to be consistent with Girdwood's small town and mountain community character. The Municipality has yet to adopt an administrative site plan review process or standards to reflect the goals of the Girdwood Area Plan. In the interim, as explained in Footnote 5 of Table 9 (page 49 of the Plan), public hearing conditional use approval is required in lieu of administrative site plan review until new regulations are adopted which include new design and development guidelines and standards.
2. The petition site is located in Girdwood, on the east side of Taos Road. The site is rectangular in shape, with a width of 100 feet and depth of 125 feet. The site contains a 10-foot wide utility easement along the rear lot line, which is contained within the rear yard setback. There is a slope on the lot, running uphill northwest to southeast. The northwest corner of the property is at approximately 97 feet in elevation, and 117 feet at the southeast corner. The lot is served with public utilities and public water and sewer available in the Taos Road right-of-way (ROW). Access is proposed to be from a gravel drive off of Taos Road.
3. There is substantial vegetation currently on the site, which is mostly hemlock, with some small spruce. The petitioner proposes to only clear that necessary for the duplex and construction, but will need to thin out some of the clumps of trees for purposes of health of the clumps. The major clumps are noted on the site plan

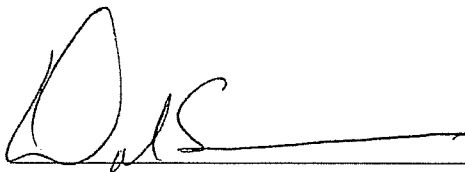
4. The petitioner plans to begin construction as soon as permitted, and take occupancy of the structure in spring 2004.
5. The site abuts vacant Alyeska Ski Resort property to the east, and condominiums directly to the north and south. To the west, and further north and south of the site is a mixture of other condominiums, vacant land and single family homes. Other condominiums in the area have also received conditional use approval for the multi-family developments.
6. The Commission finds that the Girdwood Area Plan establishes this property for multi-family use and the proposed density is well within what is allowed on this site. This lesser density should ameliorate some of the concerns of the neighbors. The Commission unanimously approved an amendment to allow for construction to be completed by July 31, 2005 as opposed to staff recommended 2004.
7. The Commission finds that the proposed design is attractive and stated the project meets the intent of the Girdwood Area Plan.
8. The Commisison voted unanimously to approve this request.

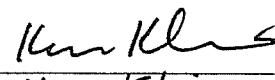
B. The Commission approves the above referenced conditional use for a duplex in the R-11 district, subject to the following conditions:

1. A notice of zoning action, with a copy of the Planning and Zoning Commission resolution and site plan, shall be filed with the District Recorder's Office and proof of such shall be submitted to the Planning Department.
2. This approval is subject to compliance with all standards for conditional uses and the petitioner's application and submittals.
3. Pursuant to Section 21.15.030, show snow storage areas on the site plan. The draft Title 22 provides guidelines: a snow storage area that is 15% of the area of the driveway surface, on a landscaped area next to the driveway, and on the private lot rather than in the street right-of-way.
4. Pursuant to Title 21 R-11 provisions in subsection 21.40.117., and using as guidance draft Title 22 guidelines, delineate on the site plan the mature native trees on the site, and show that existing native vegetation is retained to the extent practical.
5. Pursuant to Title 21 R-11 provisions in subsection 21.40.117.O, show on the site plan that illumination shall prevent glare onto the street or adjacent properties. Light fixtures should direct light downward, so that light spillage onto abutting properties is minimized. The light source should not be visible from the street and abutting properties.

6. All construction shall substantially conform to the following submitted plans on file at the Planning Department:
- a. Engle Residence, Taos Road, Girdwood, Alaska; Cover Sheet; Sheet No. A1.0; No scale; Dated: 4-25-03; Drawn by: SAJJ Architecture.
  - b. Engle Residence, Taos Road, Girdwood, Alaska; Site Plan; Sheet No. A1.1; Scale 1/8" = 1' - 0"; Dated: 4-25-03; Drawn by: SAJJ Architecture.
  - c. Engle Residence, Taos Road, Girdwood, Alaska; Lower Level Plan; Sheet No. A2.1; Scale 1/4" = 1' - 0"; Dated: 4-25-03; Drawn by: SAJJ Architecture.
  - d. Engle Residence, Taos Road, Girdwood, Alaska; Main Level Plan; Sheet No. A2.2; Scale 1/4" = 1' - 0"; Dated: 4-25-03; Drawn by: SAJJ Architecture.
  - e. Engle Residence, Taos Road, Girdwood, Alaska; Loft Level Plan; Sheet No. A2.3; Scale 1/4" = 1' - 0"; Dated: 4-25-03; Drawn by: SAJJ Architecture.
  - f. Engle Residence, Taos Road, Girdwood, Alaska; South Side and Front Exterior Elevations; Sheet No. A3.1; Scale 1/4" = 1' - 0"; Dated: 4-25-03; Drawn by: SAJJ Architecture.
  - g. Engle Residence, Taos Road, Girdwood, Alaska; Back and North Side Exterior Elevations; Sheet No. A3.2; Scale 1/4" = 1' - 0"; Dated: 4-25-03; Drawn by: SAJJ Architecture.
7. Construction of addition shall be completed by July 31, 2005.

PASSED AND APPROVED by the Municipal Planning and Zoning Commission on the 4<sup>th</sup> day of August 2003.

  
\_\_\_\_\_  
Susan R. Fison  
Secretary

  
\_\_\_\_\_  
Henry Penney *by Ken Klein*  
*acting* Chair

(Case 2003-104)  
(Tax ID # 076-015-40)

MUNICIPALITY OF ANCHORAGE  
PLANNING AND ZONING COMMISSION  
RESOLUTION NO. 2011-023

A RESOLUTION APPROVING A FINAL CONDITIONAL USE TO EXCEED PERMITTED DENSITY WHICH WILL ALLOW A MULTIFAMILY DEVELOPMENT CONSISTING OF FOUR DWELLING UNITS IN ONE BUILDING, ON A LOT OF 12,500 SQUARE FEET, A DENSITY EQUIVALENT OF 14 UNITS PER ACRE, IN THE GR-4 ZONE (GIRDWOOD MULTIPLE FAMILY RESIDENTIAL DISTRICT), BLOCK 6, LOT 5, ALYESKA North #3 SUBDIVISION, GENERALLY LOCATED AT 180 TAOS ROAD.

(Case 2011-057; Tax I.D. No. 076-015-40)

---

WHEREAS, a request has been received from Robert King, owner, for a conditional use to allow a multifamily development consisting of four dwelling units in one building to exceed a density equivalent of eight units per acre in the gR-4 zone (Girdwood multiple family residential) district, Block 6, Lot 5, Alyeska North #3 Subdivision, generally located at 180 Taos Road, and

WHEREAS, the proposed density of the development is approximately 14 dwelling units per acre, four units on a lot of 12,500 square feet, and a conditional use review is required when density exceeds 8 units per acre; the Girdwood Area Plan and the gR-4 district allow for densities from 9 to 20 dwelling units per acre with an approved conditional use, and

WHEREAS, the intent of the gR-4 district is to continue the existing pattern of multi-family residential development where sewer service is available, and there is a need for additional residential construction in Girdwood and this project proposes a density of 14 dwelling units per acre, and

WHEREAS, a revised site plan and public comments were laid on the table at the June 13<sup>th</sup> meeting, and the Commission took time as a committee of the whole to review this new information, and

WHEREAS, the Planning and Zoning Commission held a public hearing on this item on June 6 and approved this application on June 13, 2011.

NOW, THEREFORE, BE IT RESOLVED, by the Municipal Planning and Zoning Commission that:

A. The Commission makes the following findings of fact:

1. The proposal as conditioned and shown on the site plan is consistent with the Girdwood Area Plan and compatible with nearby uses. The area is developed as single and multi-family.
2. The proposal has been reviewed by the Girdwood Land Use Committee and the Girdwood Board of Supervisors. A letter of support from them was included in the application.
3. The conditions of approval are sufficient to safeguard the nearby residential areas and maintain the character of the area. The project will provide required and overflow parking on site. Overflow parking will no longer be needed on Taos Road, which had a been a major concern of the neighborhood and the Commission.
4. The site plan change, laid on the table on June 13, enlarging the two southern most garages, is a minor change when compared to the overall building footprint. Public comments laid on the table raised concerns about density, tandem parking, and overflow parking. These issues had been discussed at the June 6 public hearing and if there were additional concerns, those concerns should have been discussed at the time. The issue now is the 80 square foot increase in garage size.
5. The issue of off site over flow parking has been addressed with a creative, if unorthodox, redesign of the garages. The current code parking requirement for condominiums is onerous and excessive. The parking solution proposed by the applicant is appropriate.
6. The density of this project is larger than one of the adjacent properties, but is somewhat mitigated by the staggered design of the building and the overall architecture.

The Commission approves the conditional use to allow four dwelling units in one building on a lot of 12,500 square feet, a density equivalent of 14 dwelling units per acre, in the GR-4 district (Girdwood multiple family residential), subject to the conditions below:

1. A notice of zoning action and a copy of the Resolution shall be filed with the State Recorder's Office and proof of such shall be submitted to the Planning Department.

2. This approval is for a final conditional use for one, four unit condominium building, essentially as shown on the submitted site plan, in the GR-4 zone, per AMC 21.09.050, 21.09.060, 21.09.070, 21.09.080 and AMC 21.50.020, and the Girdwood Area Plan, plus the petitioner's application, narrative, and all submittals; Alyeska North #3 Subdivision, Block 5, Lot 6, generally located at 180 Taos Road.
3. This approval is for the layout and design of the buildings, parking areas, driveways, shared access, landscaping, etc. essentially as shown on the site plan labeled - "Site plan - one way drive," sheet A0.1, and other drawings, prepared by Z Architects, dated 4-14-11, and revised 06-08-11, scale 1:10, as modified by this conditional use. Internal driveways and parking, including the enclosed parking, must conform to Municipal standards and policies and procedures, details will be finalized with Traffic, Fire and PM&E.
4. Wood shingles shall not be used for the roof material.
5. If exterior lighting is limited to individual entry lights, a lighting plan is not required. Otherwise, exterior site lighting shall comply with applicable sections of AMC 21.09.070 G.
6. The homeowners association is responsible for snow storage and removal. Individual unit owners are responsible for garbage containers. Language regarding snow removal and garbage container requirements shall be included in the association covenants.
7. No signs are shown or proposed. Otherwise, sign standards of AMC 21.47 shall apply.
8. Landscaping per AMC 21.09.070 E. is required as supplemented herein. Existing vegetation in the required setback areas is not to be disturbed except as minimally necessary to provide approved access to the property. Portions of the side and rear yards that were previously disturbed, or do not contain the required vegetation, shall be supplemented to the standards of AMC 21.09.070 E.4.c.

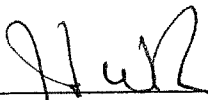
Prior to any land clearing activity or the issuance of a land use permit the applicant shall: (a) provide a plot plan with required landscaping and non-disturbance areas shown; (b) install fencing or other sturdy barriers to protect the non-disturbance areas (to be installed in accordance with AMC 21.09.070.E.7.b) and (c) request an inspection by Code Enforcement to document and verify protective measures.

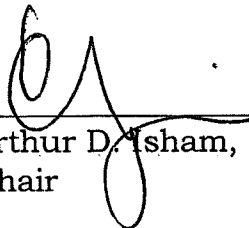
All supplemental landscaping is to be installed within 12 months of issuance of a Conditional Certificate of Occupancy and applicant will request a final zoning inspection within that 12 month period to verify compliance with the above standards.

9. Record a 10 foot wide drainage easement along the north and south side yard lot lines. The easement can be recorded by book and page, it does not need to be shown on the plat.

PASSED AND APPROVED by the Municipal Planning and Zoning Commission on the 13<sup>th</sup> day of June 2011.

ADOPTED by the Anchorage Municipal Planning and Zoning Commission this 11<sup>th</sup> day of July 2011. This written decision/resolution of the Planning and Zoning Commission is final and any party may appeal it within twenty (20) days to the Board of Adjustment pursuant to Anchorage Municipal Code 21.30.030.

  
\_\_\_\_\_  
Jerry T. Weaver, Jr.,  
Secretary

  
\_\_\_\_\_  
Arthur D. Asham,  
Chair

(Case No. 2011-057 Tax ID 076-015-40)

awb

**PASSED**

COMMISSIONER PRUHS moved to amend Condition 3(a) to restrict the use of double trailer haul units to the fill site. COMMISSIONER PARKS seconded.

COMMISSIONER PRUHS noted double haul trailers are generally used for “on highway” applications, but he has seen more and more over the last few years that they have tried to apply them to the collector roads. He indicated double haul trailers are essentially over 100 feet long. He noted an example would be double side dumps for hauling waste off, and that this area is not conducive to allowing that. He further noted the petitioner did indicate that access is fairly narrow. He stated that acceleration of the typically heavier trucks is a lot slower and can be detrimental to traffic. With that information and based on the petitioner’s information on the entrances and exits, COMMISSIONER PRUHS recommends this motion.

In response to COMMISSIONER PEASE, COMMISSIONER PRUHS clarified that the phrase “restrict the use” in his proposed amendment meant “restrict by not allowing the use of.”

**AMENDMENT**

AYE: Wilson, Pruhs, Parks, Phelps, Dean, Isham, Yoshimura, Fredrick, Pease  
NAY: None

**PASSED**

**MAIN MOTION**

COMMISSIONER FREDRICK finds this is a fairly straight forward fill operation, although it is classed as a natural resource extraction, which will help eventually return this currently, practically unusable portion of the property to sports fields for local youth, which he thinks is a laudable goal. He noted it does meet the general standards for conditional use approval as outlined in the Staff Packet on Pages 3, 4 and 5, as well as the standards for natural resource extraction on Pages 5, 6, 7, 8 and the top of Page 9 of the Staff Packet.

AYE: Wilson, Pruhs, Parks, Phelps, Dean, Isham, Yoshimura, Fredrick, Pease  
NAY: None

**PASSED**

5. CASE: 2011-057  
PETITIONER: Robert King  
REQUEST: Zoning conditional use for a change to the allowed number of units



This is a request for a zoning conditional use for to allow an equivalent to 14 units per acre. The applicant is proposing a three story building with four dwelling units. This is a permitted and appropriate use for the area, but requires a conditional use due to the density requested. The site is generally located at 180 Taos Road, Lot 5, Block 6, Alyeska North #3 Subdivision, in Girdwood.

SHARON FERGUSON provided the staff report and recommendations on behalf of the Planning Department in AL BARRETT'S absence. The Planning Department recommended approval, subject to conditions.

CHAIR ISHAM opened the public hearing.

MARCO ZACCARO with Z ARCHITECTS represented the petitioner, ROBERT KING, and provided a presentation on his behalf. Also present on behalf of the petitioner was LAQUITA CHMIELOWSKI with ENTERPRISE ENGINEERING.

CHAIR ISHAM opened the hearing for public testimony, and the following individuals testified:

CHARLIE CRANGLE, Sitz Mark Condo Association  
KIM BLOMMEL  
NANCY CUMBERLAND

COMMISSIONER PEASE moved to extend the meeting to midnight. COMMISSIONER DEAN seconded.

AYE: Wilson, Pruhs, Parks, Phelps, Dean, Isham, Yoshimura, Fredrick, Pease  
NAY: None

**PASSED**

Public testimony continued, and the following individuals testified:

DAVID COLE

MR. MARCO provided rebuttal testimony on behalf of the petitioner.

COMMISSIONER PEASE moved to go into a *Committee of the Whole*. COMMISSIONER DEAN seconded.

AYE: Wilson, Pruhs, Parks, Phelps, Dean, Isham, Yoshimura, Fredrick, Pease  
NAY: None

**PASSED**

The Commission went into a *Committee of the Whole* to discuss issues related to parking for the proposed site.

COMMISSIONER PEASE moved to come out of the *Committee of the Whole*.  
COMMISSIONER YOSHIMURA seconded.

AYE: Wilson, Pruhs, Parks, Phelps, Dean, Isham, Yoshimura, Fredrick, Pease  
NAY: None

**PASSED**

CHAIR ISHAM closed the public hearing.

COMMISSIONER PARKS believes the Commission has a solution for parking because the petitioner has given the solution of two off-site spaces. He does not know why the Commission needs to postpone this case. He indicated the petitioner can always go back and ask for a variance, but Staff has already given the Commission a way to approve this case. He believes the Commission is making this more difficult than they need to in his opinion.

COMMISSIONER PHELPS noted this assumes COMMISSIONER PARKS thinks it is appropriate to have those on-site spaces on-street. COMMISSIONER PARKS thinks if you have the spaces on-site, they will park on-site, not off-site, and so if two cars can be put in that garage that is what they will do; they are not going to park off-site. He thinks the Commission is making an issue over something that if the Commission is just going to try to find a way to do this differently, it is going to be done that way anyway. He does not think they will park on the street because he knows what it looks like in Girdwood with four foot of snow; there is no place to park off-site, and he thinks they will park on-site. He thinks the Commission has the perfect reason to go ahead and approve this at this meeting rather than postpone and find some other way to do exactly what they will do anyway.

COMMISSIONER PEASE noted that several members of the community have testified that on-street parking would be hazardous and a nuisance for snow plowing, and thinks it is possible, but she thinks if the Commission is going to go that route, she would still like to make that a secondary option to accommodating all the parking on-site through some kind of acceptance of the smaller parking stalls.

COMMISSIONER YOSHIMURA'S concern about the way Condition 10 is written is that the petitioner would be required to build these two additional parking spaces and make substantial improvements to the road. She stated this is how she would interpret it, and indicated this option would be at some additional cost, and that is what she thinks the Commission is trying to avoid because on a practical basis there is enough parking, but believes the Commission is up against this esoteric requirement regarding the length of the garage space. She feels if there is a way the

Commission can figure out how to avoid that, she thinks that is what the Commission is trying to accomplish so there is not an additional off-site cost associated with this project.

COMMISSIONER PHELPS agreed with COMMISSIONER YOSHIMURA that, in fact, that makes the more sense to him because he does not want to impose a requirement the petitioner has to follow because he does not think it makes a lot of sense to do it. He agreed they will be parking on-site, but if the decision is to go ahead and approve this case at this meeting and impose that requirement to have the petitioner build it, or wait a week and see if there is another way out, he noted he would prefer to wait a week.

In response to COMMISSIONER PEASE, the petitioner's representative, MR. ZACARRO stated he did not believe a week's delay in the decision would affect them.

COMMISSIONER YOSHIMURA moved to postpone Case 2011-057 to the Commission's next meeting on June 13, 2011, and directed Staff to provide the Commission with recommendations to eliminate Condition 10, and provide a recommendation on how the Commission can accept the internal garage parking spaces with 18 ½ feet. COMMISSIONER PEASE seconded.

In speaking to her motion, COMMISSIONER YOSHIMURA noted the Commission has heard from the community, and she thinks the community has valid objections to Condition 10 for additional south bound parking spaces on a two-way street. She thinks the community's comments are valid, and in addition, requiring that would incur additional off-site costs for the developer. She stated she is hopeful there might be a way around that.

COMMISSIONER PEASE agreed with COMMISSIONER YOSHIMURA'S findings, but she would also like Staff to revisit and give the Commission a written opinion as to whether the Girdwood Land Use regulations do stand alone and can govern over any other adopted plan. She noted the Commission has heard that AMC 21.09 purports to overrule other adopted plans. She thinks there may be a conflict, and if there is any solution through the observance of the Girdwood Land Use regulations, she indicated that would also be some information the Commission would like.

COMMISSIONER PRUHS noted this whole result is the result of a substandard road, and that the last folks building are now in the quandary the Commission is trying to address here. He indicated if this road was standard built in the proper alignment with the proper specifications, he does not believe the Commission would be here postponing this case.

AYE: Wilson, Pruhs, Parks, Phelps, Dean, Isham, Yoshimura, Fredrick, Pease  
NAY: None

**PASSED**

~~6. CASE: 2011-053 POSTPONED TO JUNE 13, 2011  
PETITIONER: Carr Gottstein Properties~~

COMMISSIONER YOSHIMURA disclosed in Case 2011-053, Agenda Item G(1), that she has previously been employed as an independent contractor by Carr-Gottstein Properties in the development of Hillbrook and Eastbrook Subdivision in east Anchorage, and she has upon occasion purchased properties from Carr-Gottstein Properties. However, she stated she is not a substantial part of the present action, has no financial interest in this case and feels she can render an impartial decision.

COMMISSIONER YOSHIMURA disclosed in Case 2011-059, Agenda Item G(3), Cook Inlet Housing Authority, that she is currently a project manager for Cook Inlet Housing Authority in the construction of Coronado Park, which is a planned unit development in Downtown Eagle River. She stated she is also the listing licensee for the lots that are to be platted in that area. With regard to this case, she confirmed she does not have any financial interest, and she feels she can render an impartial decision.

**D. CONSENT AGENDA - None**

- 1. Resolutions for Approval**
- 2. Introduction for Public Hearings**
- 3. Site / Landscape Plan Approval**
- 4. Time Extensions; Expedited Hearing Requests; Minor Conditional Use Amendments**
- 5. Other**

**E. UNFINISHED BUSINESS AND ACTIONS OF PUBLIC HEARINGS**

- 1. CASE: 2011-057**  
**PETITIONER: Robert King**  
**REQUEST: Zoning conditional use for a change to the allowed number of units**



This is a request for a zoning conditional use for to allow an equivalent to 14 units per acre. The applicant is proposing a three story building with four dwelling units. This is a permitted and appropriate use for the area, but requires a conditional use due to the density requested. The site is generally located at 180 Taos Road, Lot 5, Block 6, Alyeska North #3 Subdivision, in Girdwood.

This case was initially heard on June 6, 2011, and the public hearing was closed. This case was postponed pending further recommendations from Staff.

MR. BARRETT presented an update on the case based on the Commission's request from the June 6 hearing. He explained the petitioner has chosen to not go the variance or waiver route,

and has instead made an alteration to his site plan, which now meets code. He indicated the revised site plan was emailed to the Commission and laid on the table at this meeting.

COMMISSIONER FREDRICK moved to postpone this case until the next available Planning and Zoning Commission meeting and reopen public hearing on the proposed changes.  
COMMISSIONER DEAN seconded.

Speaking to his motion, COMMISSIONER FREDRICK noted the Commission had been given, and he has just seen in the last few minutes a substantial change to the submitted conditional use, and a number of additional comments that have come in since the last meeting, which he has not had a chance to review. He stated that he could not in conscious act on this particular issue at this meeting, and in light of the substantial nature of the change, he believes the public deserves a chance to comment on it, and such comment would need to be noticed. He believes the motion to postpone and reopen the public hearing is in order.

COMMISSIONER PEASE noted the cover letter to the Commission says that the change is a total increase of 80 square feet developed on the lot, and she did not think that was a major change. She indicated she has not had time to read in detail all of the comments, but she did not want to delay this. She noted the Commission has been conscious in the past about delaying projects, especially during construction season. She suggested postponing this to later in the meeting in order to review the comments during the break. COMMISSIONER PEASE was concerned that the Commission has been sensitive before to the loss of time during the building season. She thinks this seems to be a minor change from what the Commission reviewed before, and there is no parking on the road, which was the big concern. She is not inclined to support the postponement until the Commission has a chance to look at the materials.

COMMISSIONER YOSHIMURA noted she is opposed to a proliferation of materials being laid on the table, and thinks she is in favor of the postponement, but she is not sure the Commission needs to reopen a public hearing. She stated she is sensitive to what COMMISSIONER PEASE has to say about this is a construction season, and she knows how important that is. She noted it seems like the petitioner has worked out these issues with Staff, but asked exactly what the petitioner had done because she has not had time to read this material since it was just laid on the table.

In response, MR. BARRETT referred the Commission to the site plan noting that in the two southern-most units the garages have been extended slightly, and there is a small zigzag in them that allows a second car to pull in all the way through at a slight angle for the parking. He noted that each of the units now provides the required number of parking spaces for it, plus overflow, and all spaces are on the property, and there is no longer any parking on Taos Road. In response to COMMISSIONER YOSHIMURA'S question on how the interior parking spaces in the garage area were calculated by the Municipality, MR. BARRETT noted it is just angled parking and that as long as the spaces are long enough and wide enough they are legal. He indicated Traffic has reviewed and signed off on the revised parking.

**MOTION TO POSTPONE**

AYE: Fredrick  
NAY: Wilson, Pruhs, Parks, Dean, Isham, Yoshimura, Pease

**FAILED**

COMMISSIONER PEASE moved to go into a *Committee of the Whole*. COMMISSIONER DEAN seconded.

COMMISSIONER PEASE supported her motion noting that going into the *Committee of the Whole* would allow Commissioners to look at the materials placed before the Commission. She noted this is unusual, but thinks it would resolve the concerns people had of having additional materials laid before the Commission.

AYE: Wilson, Pruhs, Parks, Dean, Isham, Pease  
NAY: Yoshimura, Fredrick

**PASSED**

The Commission went into a *Committee of the Whole*.

COMMISSIONER YOSHIMURA moved to come out of the *Committee of the Whole*. COMMISSIONER DEAN seconded.

AYE: Wilson, Pruhs, Parks, Dean, Isham, Yoshimura, Pease  
NAY: Fredrick

**PASSED**

The Commission came out of the *Committee of the Whole*.

COMMISSIONER YOSHIMURA moved to approve Case 2011-057, zoning conditional use for a change to the allowed number of units, with the Department's recommendations 1 through 9 with the exclusion of Condition 10. COMMISSIONER DEAN SECONDED.

COMMISSIONER YOSHIMURA thinks the petitioner has done a good job working with Staff in resolving the issues that the Commission heard previously during the public hearing as it relates to off-site parking. She thinks the solution is creative, if not a little unorthodox, but she is pleased to see the flexibility from the Traffic Department in allowing the angled interior parking, and also counting the additional parking spaces in front of the owner's unit. She finds in general the Municipality of Anchorage's parking requirements for condominium developments are onerous and excessive, so she is happy to see this flexibility. She thinks everyone has worked hard to resolve this parking issue.

COMMISSIONER PEASE noted the Commission took an unorthodox approach in order to be able to review and make a final vote on this issue. She knows this did not sit well with some members of the Commission, and she hopes the Commission will talk about that in the future, but noted that what the Commission attempted to do was to move this project expeditiously as we try to do with most projects before the Commission recognizing that time is of the essence in our short construction season. She thinks the Commission did do justice to the public comments. She noted the Commission had the public hearing at some length last week, and then the Commission took the time to look at the changes carefully. She stated that although many of the written comments submitted to the Commission were not particularly on the issue of the increased building of 80 square feet or the slight angle of the parking, she noted the Commission did take the time to look at those comments even though the public comment period was closed. She finds the 80 square foot addition to the building footprint is minor compared to the building footprint in totality. She noted that in general the density of this project is about 25 percent larger than the density on an adjoining lot of condominiums, but finds the effect of the density is mitigated by the staggered facades of the buildings and the architectural design features that give interest to the building and make it a handsome project. She will be supporting this motion. She stated she appreciates Staff and the applicant's creativity in resolving the parking on site, which seemed to be one of the big concerns of the public.

COMMISSIONER FREDRICK reiterated that he thinks the Commission is rushing to judgement on this. He thinks that while this may or may not be the right solution to this, and may or may not be an acceptable conditional use, he stated he has not had time to review the material, and he thinks taking public time in the middle of a regularly scheduled session to do so is unacceptable to him. He will be abstaining from this vote.

MR. BARRETT did not believe an abstention to be in order and indicated COMMISSIONER FREDRICK needed to vote either yes or no.

AYE: Wilson, Pruhs, Parks, Dean, Isham, Yoshimura, Fredrick, Pease  
NAY: None

**PASSED**

- F. REGULAR AGENDA - None**
  - 1. Resolutions for Approval**
  - 2. Introduction for Public Hearings**
  - 3. Site / Landscape Plan Approval**
  - 4. Time Extensions; Expedited Hearing Requests; Minor Conditional Use Amendments**

# Application

# Application for Conditional Use

Municipality of Anchorage  
 Planning Department  
 PO Box 196650  
 Anchorage, AK 99519-6650

Please fill in the information asked for below.

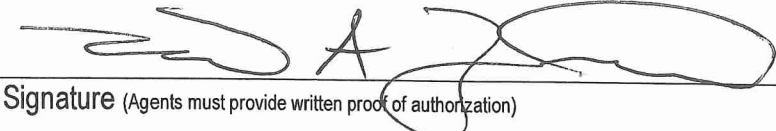
PETITIONER*		PETITIONER REPRESENTATIVE (IF ANY)	
Name (last name first) Zellmer, Joshua		Name (last name first) Zaccaro, Marco	
Mailing Address PO Box 1951 Girdwood, AK 99587		Mailing Address PO Box 842 Girdwood, AK 99587	
Contact Phone: Day: 717-3482      Night: 717-3017		Contact Phone: Day: 783-1090      Night: 230-3044	
FAX:		FAX: 783-1095	
E-mail: joshzellmer@hotmail.com		E-mail: marco@zarch-ak.com	


\*Report additional petitioners or disclose other co-owners on supplemental form. Failure to divulge other beneficial interest owners may delay processing of this application.

PROPERTY INFORMATION		
Property Tax #(000-000-00-000): 076-015-40-005		
Site Street Address: 180 Taos Road, Girdwood, Alaska		
Current legal description: (use additional sheet if necessary) Alyeska North #3, Block 6, Lot 5		
Zoning: GR-4	Acreage: .285	Grid # SE 4817

CONDITIONAL USE APPROVAL REQUESTED		
Petitioning for: Conditional Use for town home at density greater than 8/acre		
Final:	<input checked="" type="checkbox"/> New	<input type="checkbox"/> Amendment
Concept:	<input type="checkbox"/> New	<input type="checkbox"/> Amendment

I hereby certify that (I am)(I have been authorized to act for) owner of the property described above and that I petition for a conditional use permit in conformance with Title 21 of the Anchorage Municipal, Code of Ordinances. I understand that payment of the application fee is nonrefundable and is to cover the costs associated with processing this application, and that it does not assure approval of the conditional use. I also understand that assigned hearing dates are tentative and may have to be postponed by Planning Department staff, the Planning and Zoning Commission or the Hearing Officer for administrative reasons.

Date 3/30/2015	Signature (Agents must provide written proof of authorization) 
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Accepted by: 	Poster & Affidavit: 1 staff	Fee \$4500	Case Number 2015-0041
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**COMPREHENSIVE PLAN INFORMATION**Anchorage 2020 Urban/Rural Services:  Urban  RuralAnchorage 2020 West Anchorage Planning Area:  Inside  Outside

Anchorage 2020 Major Urban Elements: Site is within or abuts:

- Major Employment Center  Redevelopment/Mixed Use Area  Town Center  
 Neighborhood Commercial Center  Industrial Center  
 Transit - Supportive Development Corridor

Eagle River-Chugiak-Peters Creek Land Use Classification:

- Commercial  Industrial  Parks/opens space  Public Land Institutions  
 Marginal land  Alpine/Slope Affected  Special Study  
 Residential at \_\_\_\_\_ dwelling units per acre

Girdwood- Turnagain Arm

- Commercial  Industrial  Parks/opens space  Public Land Institutions  
 Marginal land  Alpine/Slope Affected  Special Study  
 Residential at \_\_\_\_\_ dwelling units per acre

**ENVIRONMENTAL INFORMATION** (All or portion of site affected)

- Wetland Classification:  None  "C"  "B"  "A"  
Avalanche Zone:  None  Blue Zone  Red Zone  
Floodplain:  None  100 year  500 year  
Seismic Zone (Harding/Lawson):  "1"  "2"  "3"  "4"  "5"

**RECENT REGULATORY INFORMATION** (Events that have occurred in last 5 years for all or portion of site)

- Rezoning - Case Number:  
 Preliminary Plat  Final Plat - Case Number(s):  
 Conditional Use - Case Number(s):  
 Zoning variance - Case Number(s):  
 Land Use Enforcement Action for  
 Building or Land Use Permit for  
 Wetland permit:  Army Corp of Engineers  Municipality of Anchorage

**DOCUMENTATION**

- Required:  One copy of original, signed application  
 35 copies of site plan to scale depicting: building footprints; parking areas; vehicle and pedestrian circulation; lighting; grading; landscaping; signage; drainage and project location.  
 35 copies of building plans to scale depicting: floor plans; building elevations; exterior colors and textures.  
 35 copies of original application and narrative: explaining the project; planning objectives; construction and operation schedule; final ownership; PUD's only: gross and net density; private and common open space areas.  
 Watershed sign off form, completed  
 Ownership and beneficial interest form, completed
- Optional:  Air quality impact  Traffic impact analysis  Economic impact analysis  
 Soils Analysis  Noise impact analysis  Holding capacity of the land analysis

**GENERAL CONDITIONAL USE STANDARDS (AMC 21.50.020)**

The Planning and Zoning Commission may only approve the conditional use if the Commission finds that all of the following 4 standards are satisfied. Each standard must have a response in as much detail as it takes to explain how your project satisfies the standard. The burden of proof rests with you. Use additional paper if needed.

Explain how the proposed conditional use furthers the goals and policies of the comprehensive development plan and conforms to the comprehensive development plan in the manner required by AMC 21.05.

This project is in line with the goals and objectives of the Girdwood Area Plan and the Girdwood Land Use Regulations in that it takes advantage of views, solar exposure, and limits impermeable surfaces to the greatest extent possible and has a pleasing mountain resort aesthetic.

Explain how the proposed conditional use conforms to the standards for that use in this title and regulations promulgated under this title.

This project has met all requirements of Chapter 9, Title 21 of the Anchorage Municipal Code (Girdwood Land Use Regulations)

Explain how the proposed conditional use will be compatible with existing and planned land uses in the surrounding neighborhood and with the intent of its use district.

The GR-4 district is an established district of multi-family dwellings on fairly small lots. Most of the lots surrounding this site have already been developed at densities equal to or greater than this proposed project.

Explain how the proposed conditional use will not have a permanent negative impact on the items listed below substantially greater than that anticipated from permitted development:

1. Pedestrian and vehicular traffic circulation and safety.

This project is an infill in an established neighborhood of similar uses. There will be no substantial changes to established traffic or pedestrian circulation patterns. There are no pedestrian trails or sidewalks on Taos. This project proposes only pedestrian connections from individual entries to associated parking spaces.

2. The demand for and availability of public services and facilities.

Adequate public services and facilities are available to the site for this project. There will be no negative impacts on public services and facilities.

3. Noise, air, water or other forms of environmental pollution.

This residential development will not generate environmental pollution

4. The maintenance of compatible and efficient development patterns and land use intensities.

This multifamily town house development is consistent with the adjacent land uses and densities. It is specifically designed to fit in well with the neighboring multi-family dwellings and limits its impact on their view sheds and solar exposure. Density and total constructed area is similar or less than adjacent properties to the north and south.

**CONDITIONAL USE STANDARDS (AMC 21.50)**

Certain conditional uses have detailed standards that relate only to that type of conditional use. When there are detailed standards the Planning and Zoning Commission may only approve the conditional use if the Commission finds that all general standards listed in the previous section and detailed standards listed for that conditional use in AMC 21.50 are satisfied. Each detailed standard must have a response in as much detail as it takes to explain how your project satisfies the standard. The burden of proof rests with you. Use additional paper if needed.

Please see attached narrative addressed to Mr. Francis McLaughlin dated March 30, 2015.



PO Box 842  
Girdwood, AK 99587

(907) 783-1090  
(907) 783-1095 fax  
(907) 230-3044 cell  
[zarchitects@alaska.net](mailto:zarchitects@alaska.net)

April 13, 2015

Francis McLaughlin, Senior Planner  
Municipality of Anchorage  
Community Development  
4700 Elmore Road,  
Anchorage, AK 99507

**Re: Zellmer Townhouse-Style Multifamily Residential Conditional Use Permit Narrative**

**Request for Approval:**

We are requesting a Conditional Use Permit approval for a new four unit townhouse-style multifamily residential project at 180 Taos Road in Girdwood.

**Project Description / Explanation:**

Zellmer Townhouses is a residential condominium project consisting of one building with 4 units. Project legal description: Lot 5, Block 6, Alyeska North No. III. Property size: 12,414.65 square feet (.285 acre).

Specific units proposed are: two identical two bedroom units; one owner's unit with three bedrooms; and one single bedroom unit. All units have a garage and entry on the first floor. The two bedroom units are 18'x36', three stories, 1,424 S.F. (1,944 S.F. including garage); the three bedroom unit is 20'x36', three stories, 1,577 S.F. (2,160S.F. including garage); and the one bedroom unit is 18'x36', two stories, 776 S.F. (1,296 S.F. including garage).

**Planning Objectives:**

Building and site design have been oriented to comply with the site and townhouse design requirements in the Girdwood Land Use Regulations. Special attention has been paid to maximizing views up valley and minimizing site and neighbor impacts by stepping the units back from Taos Road, following the natural contour lines, and avoiding the steep south east corner of the site. The townhouse-style units have been laid out on the site so as to not block the south-west views and sun of the existing multifamily housing development to the north. The lower two story unit is located at the north end of the townhouse row to further reduce visual impacts on these neighbors. The multifamily development to the south faces south and its north walls have a very few small windows so the 180 Taos project should have minimal impact on this neighbor.

To reduce total driveway area and further minimize site impact we are proposing a one way drive with two connections to Taos Rd. (which we have determined has less total driveway area than a two way drive with one crossing of the front yard setback). This also provides for maximum natural vegetation retained in the front yard setback and reduces neighbor impact across Taos.

**Construction and Operation Schedule:**

Construction is to begin in June 2015 and final completion is expected to be February 2016.

**Final Ownership:**

Final ownership will be individual privately owned condominiums anticipated to be governed by an HOA. The project developer/owner will retain two units.

**Density and Zoning:**

The property is zoned gR-4, Multifamily Residential. The project requires a conditional use permit due to the proposed density of 14 dwelling units per acre which exceeds the outright permitted use of 8 per acre.

**Planning Division Pre-Application Meeting and Public Presentations:**

This project was introduced to the Planning Division at a pre-application meeting on March 18, 2015. The project is also on the agendas, for introduction and public hearings, on the April 13 and May 11, 2015 meetings of the Girdwood Land Use Committee and the April 20, and May 18, 2015, meetings of the Girdwood Board of Supervisors.

**Project and Conditional Use Permitting History:**

On June 13, 2011, this property received a Conditional Use Permit for a four unit townhouse-style project with a site plan almost identical to what is being proposed in this application. No work was done to resolve the conditions of the 2011 permit which expired after 18 months. The property and building plans were subsequently purchased by a new owner, Mr. Zellmer, who is submitting for a new Conditional Use Permit for a project based on the previous effort.

While the site layout is similar and the number of units are the same, this new project is substantially smaller than the previously approved project. The new project has 7,344 total square feet of floor area as compared to the previous 8,913 square feet. The new project is also about ten feet lower in height than the old project. The old project had three identical three story units and one very large owner's unit. The new project proposes three similar three story units and one smaller two story unit. The units have all been shortened from 40 feet to 36 feet in length to make on site parking outside the units' garages easier to achieve.

We have included from the previous conditional use permit the following documents: Municipality of Anchorage Planning and Zoning Commission Resolution No. 2011-023, geotechnical report and the WMS Watercourse Mapping Summary.

**Title 21.090.080.E.2 Building Design Standards – Multiple Family:**

The Zellmer Townhouse building has been designed to fit in well with the existing style and scale of the adjacent multifamily housing developments as well as the area's alpine resort aesthetic. The mass and roofs have been broken up by using offsets and roof line changes. The front and rear walls have been stepped so that no walls are longer than 40' without a change of at least four feet, the building is under the maximum length of 120' as specified in the title. The roofs are all sloping except for the small, flat, 40 square foot roofs above each entry deck. Roofs have minimum overhangs of 24" from exterior walls and are designed to protect doorways, garage entries, and driveways.

Roofing material is asphalt shingles and all projections from the roof are designed to mitigate damage from sliding snow. Landings will be a minimum of 6' above the adjacent driveways. Exterior building materials will be primarily cedar or similar. None of the prohibited materials listed in this section will be utilized. Principal exterior building colors will be neutral tones with some brighter colors, not exceeding 15% of a façade, for trim and highlighting details.

Please see attached floor plans, elevations, building sections and color building renderings.

**Title 21.090.070.E.2 Site Development Design Standards:**

See the attached site plan with zoning analysis, property survey, civil grading and drainage plan.

Sheet A0.1 shows the zoning analysis including snow storage areas, permeable surfaces, lot coverage, and vegetation retention. We are applying for a permit under old Title 21. The base parking requirement is calculated to be 7.5 and the overflow parking requirement at 1.5 spaces for a project total of 9 spaces on site. These spaces have been accommodated via four standard 9'x20' spaces in the garages, four standard spaces outside of each of the garages, and one parking space next to the north property setback.

Pedestrian circulation is limited to concrete entry decks to the units' associated parking and will conform to the requirements of Title 21.09.070.H.2.

There will be no dumpster on site as residents will transport their trash to the Girdwood transfer station or keep trash containers within their garages until pick up day if they chose to use Alaska Waste services. This is preferable to having exterior trash containers.

There is no planned site lighting beyond what is on the building for private entry and these fixtures will be full cut off. No light will spill onto adjacent properties or the street. Exterior building lighting will conform to the requirements of Title 21.09.070.G.2.

The roof geometries are designed to hold the snow on the roof form and to prevent snow from sliding onto pedestrian pathways or driveways where it will become an inconvenience or hazard to residents.

Areas designated as natural vegetation on the site plan will be maintained as natural through the course of construction and will not be disturbed. All disturbed areas (and setbacks not required for natural vegetation area) will be re-vegetated with native species and per Title 21.09.070.E.8.

**Existing vegetation Disturbance in Setbacks:**

All setbacks adjacent to the proposed building footprint have been cleared of trees and heavily disturbed by construction on the properties to the north, south, and by the installation of utilities in the easement to the east. Please see attached photos. Vegetation in these areas consists of second growth brush. On the site plan we have not counted areas in the setbacks adjacent to the building towards our retained natural vegetation requirements - however it is not intended that this vegetation be disturbed or removed during construction

The only setback not already disturbed is the front which is shown as natural vegetation area in the site plan.

**Explanation of photos:**

1. South setback looking east: This is taken in alignment with the south west corner of unit 1. Stake is at property line and cone is at setback line. There are trees in the setback west of where photo is taken but these are marked on site plan as natural vegetation area.
2. South setback looking east 2: Cone is approximate south east corner of unit 1. Trunk of small tree beyond is outside setback and within area marked as natural vegetation on site plan.
3. North setback looking east: Stake in snow patch in drainage ditch is at property line and cone is at setback line. Cone is also approximate northwest corner of unit 4. Utility boxes are at property corner.
4. North setback looking west: Taken from property corner. Cone in distance is approximate northwest corner of unit 4. It is intended that trees in setback beyond (west of) cone are to remain.
5. East setback looking south: Taken from property corner. The ten foot width of the utility easement on 180 Taos has been cleared and utilities installed. Note that building beyond is built up to the easement and the large tree with the sun on it in the right foreground is just outside the (easement/setback).

If any areas in the setback are disturbed they will re-vegetated as described in section 21.09.070.E.8 or 21.09.070.E.4.c as applicable.

If you have any questions please do not hesitate to give me a call.

Sincerely,



Z Architects

Marco Zaccaro, AIA NCARB

# MUNICIPALITY OF ANCHORAGE



Community Development Department

Phone: 907-343-7931

Fax: 907-343-7927

Mayor Dan Sullivan

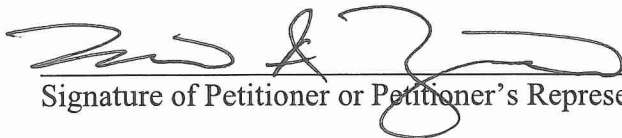
## Title 21 Code Selection

For review and approval of my project, ZELLMER TOWN HOUSES,  
I choose to be regulated by:

"Old" Title 21 (expires December 31, 2015)

"New" Title 21 (becomes effective January 1, 2014)

I understand that my application will be reviewed and acted on using the provisions of the code version I have selected, and that this selection is final.\*



Signature of Petitioner or Petitioner's Representative

APRIL 9, 2015

Date

MARCO ZACCARO

Printed Name

\*Should the petitioner wish to switch the applicable version of code at any time after this form is submitted, a new application is required and new application fees will be assessed. The case will then be scheduled as a new application in accordance with the cut-off date schedule.

For office use only:

2015-0041

Permit/Case Number

10/30/14

Joshua Zellmer  
Bethany Zellmer  
PO Box 1951  
Girdwood, Alaska 99587  
(907) 717-3482

April 2, 2015

To whom it may concern,

This letter is to confirm that Mr. Marco Zaccaro is authorized to represent us in the permitting for the Zellmer Townhouse project located at 180 Taos Road in Girdwood, Alaska.

Sincerely,

A handwritten signature in blue ink, appearing to read "Josh Zellmer", written in a cursive style.

Joshua Zellmer, Owner

## Girdwood Land Use Committee Notice of Meeting on April 13, 2015

The following items have been submitted as agenda items for consideration at the meeting of the Girdwood Land Use Committee / Girdwood Community Association. A voting member is any person eighteen (18) years of age or older who has been a resident and/or property owner, business owner or designated representative of a non-profit association who has resided in, owned property in, owned a business located in, or operated as a non-profit association for ninety (90) days or longer in Girdwood Valley.

**What:** Regular meeting of the Girdwood Land Use Committee / Girdwood Community Association  
**Where:** Girdwood Community Center, 250 Egloff Drive  
**Date:** Monday, April 13, 2015  
**Time:** 7:00 pm

### Agenda Item LUC 1504-01:

Call to order  
Agenda Approval for April Meeting  
Minutes Approval for March Meeting  
LUC Officer reports  
LUC comments and actions as necessary.

### Agenda Item LUC 1054-02: Public Comment

Persons offering public comment must state their full name and address.  
Public Comment is limited to three (3) minutes per person and must be on subjects not listed on the agenda.

### Agenda Item LUC 1504-03: Committee reports:

Trails Committee Report (Brian Burnett)  
Girdwood Area Plan Review Committee (Lewis Leonard)  
Cemetery Committee (Tommy O'Malley)

### **Old Business:**

Agenda Item LUC 1502-06: Representative from The Boutet Company to present Girdwood Tennis Court rehabilitation project update. Encroachment issue resolved with Girdwood Fire Department. Request for motion of support for construction plans to be presented at this meeting.

Agenda Item LUC 1502-08: Review of LUC Operating Principles as they relate to Girdwood Community Council responsibilities.

Agenda Item LUC 1503-07: Discussion of Law Enforcement in Girdwood.

### **New Business:**

Agenda Item LUC 1504-04: Zellmer Townhouses, initial presentation for Conditional Use Permit.  
Presentation by Marco Zaccaro, Z Architects.



# Municipality of Anchorage



P.O Box 390  
Girdwood, Alaska 99587  
<http://www.muni.org/gbos>  
**Dan Sullivan, Mayor**

**GIRDWOOD VALLEY SERVICE AREA BOARD OF SUPERVISORS**  
*Erin Eker & David Chadwick, Co-Chairmen*  
*Tommy O'Malley, Robert Snitzer, Sam Daniel*

## **April 20, 2015** **GBOS Monthly Meeting** **DRAFT AGENDA** **7:00 p.m. Girdwood Community Room**

**Call to Order 7:00 p.m. Erin Eker, Co-Chair**

### **Minutes Changes, additions, revisions and final approval**

GBOS April 2015 Agenda  
GBOS Work Session on Girdwood Public Safety 4.6.15 Meeting Minutes  
GBOS March 2015 Regular Meeting Minutes

### **Announcements:**

- Public is encouraged to ask questions and provide comment. Please raise your hand, and wait to be acknowledged  
Please take side conversations to the Foyer.
- GBOS 2016 Non-Profit Recreational Grants Announcement. Grant applications will be available starting on May 1, 2015. Applications are due by Thursday, June 25 at 3PM. Applications will available at the Post Office, Gerrish Library and Girdwood Parks and Rec Office Bulletin boards, as well as on line at [www.muni.org/gbos](http://www.muni.org/gbos).
- Alaska DOT is requesting comments on long range planning for the Seward Highway. Learn more and submit your comments at [www.sewardhighwayplan.com](http://www.sewardhighwayplan.com). Official comment period ends May 31, 2015.

### **Introductions, Presentations and Reports:**

1. Sub-Committee Reports:
  - a. Trails Committee – Brian Burnett
  - b. T.A.S.C. – Lynne' Doran
  - c. Cemetery Committee – Tommy O'Malley
  - d. Girdwood Tennis Court Committee – Frans Weits
2. Assembly Report - Sue Kennedy
3. Liaison Report - Margaret Tyler

GBOS Meeting Agendas and minutes are available on line: <http://www.muni.org/gbos>



4. Supervisor Reports
  - A) Land Use – David Chadwick/Brian Burnett
  - B) Roads- Erin Eker/Liaison Report
  - C) Parks & Rec – Robert Snitzer/Liaison Report
  - D) Public Safety & Fire – Tommy O'Malley/Chief Chadwick
  - E) Utilities- Sam Daniel

**Public Comment:**

Persons offering public comment must state their full name and address. Public Comment is limited to three (3) minutes per person and must be on subjects not listed on the agenda.

**OLD BUSINESS:**

5. Update on status of Girdwood Public Safety discussion
6. Update of status of Girdwood Community Council discussion
7. Set meeting date for GBOS 2014 budget review
8. Girdwood Forest Fair 2015 Update (Gus O'Malley)
9. Topics for April 27 Municipal Manager/GBOS Quarterly Meeting
  - Girdwood Law Enforcement (AST/APD Coverage)
  - Crow Creek Road Ownership
  - Fire Station Remodel (remove?)
  - Girdwood Cemetery
  - Election update (add?)
10. Girdwood Forest Fair 2015 Update (Gus O'Malley)
11. Agenda Item LUC 1502-08  
GBOS review of addition of meeting frequency, change in voting requirement to LUC Operating Principles
12. Trails Committee Operating Procedures changes  
GBOS review of addition of treasurer to executive committee; change in voting requirements, addition of language clarifying who can vote.
13. GBOS Review of Girdwood Fire Department request for approval of spending 406 capital funds
14. Agenda Item LUC 1502-06. Girdwood Tennis Court project. Review of engineering plans. Request for Resolution of Support for project construction.
15. Temporary Appointments to handle GBOS Responsibility areas until new GBOS members are confirmed (ie Roads Supervisor and Land Use Supervisors).
16. Resolutions of Thanks for service for departing GBOS members Erin Eker and David Chadwick.

**NEW BUSINESS:**

17. LUC Item 1504-04. Zellmer Townhouses Conditional Use Permit. Presentation by Marco Zaccaro, Z Architects
18. Set meeting date in September to discuss 2016 Non Profit Recreation grant applications.

**Action Item Updates as assigned:**

**Request for Executive Session:**

Adjourn



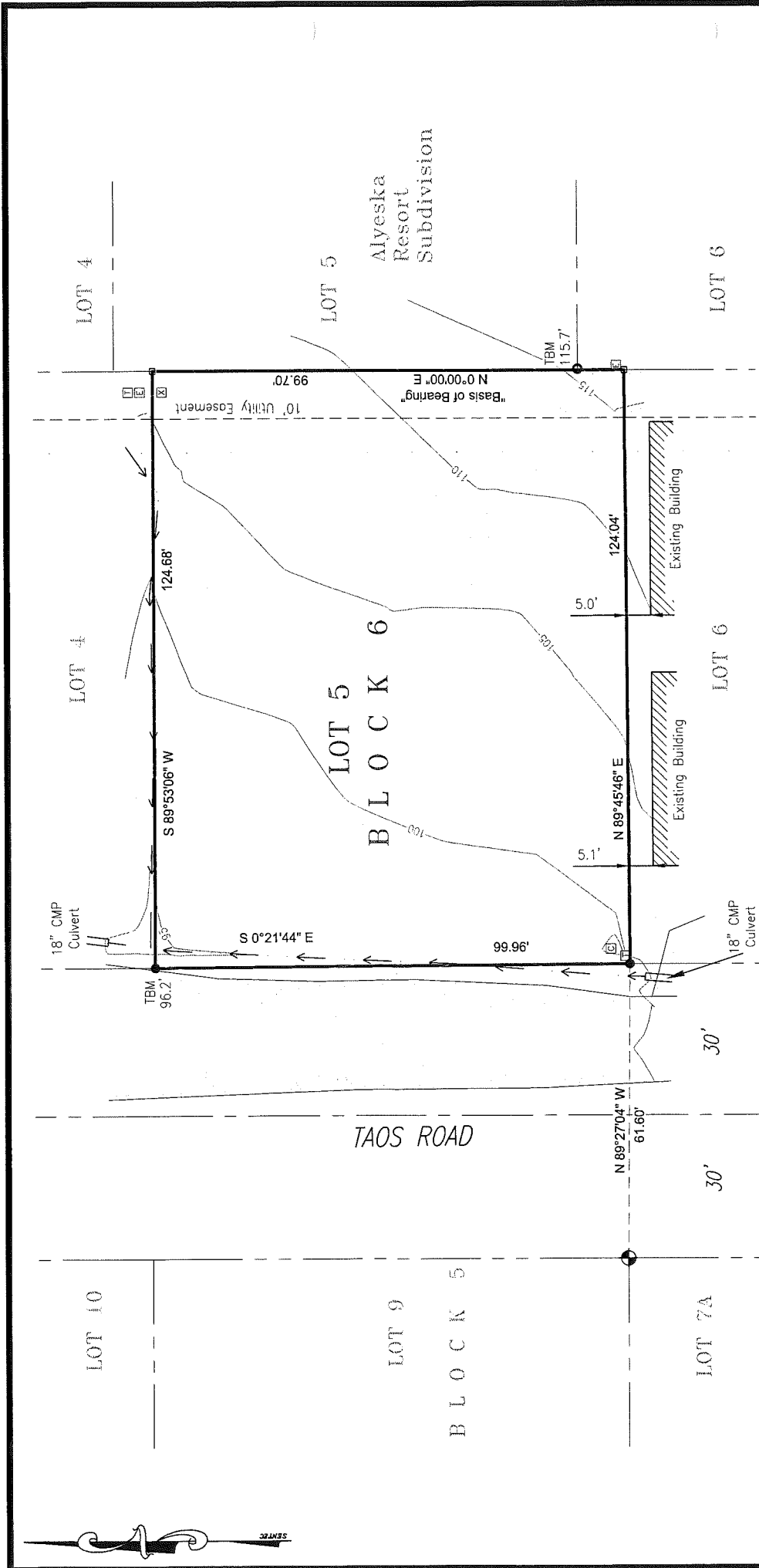















# SENTEC

Surveying • Engineering  
2525 Gambell Street, Suite 200, Anchorage, Alaska 99503  
Tele: (907) 563-3835 Fax: (907) 563-3817


TOPOGRAPHIC SURVEY OF: LEGAL DESCRIPTION  
**Lot 5, Block 6, North Add. to Alyeska Subdivision Unit No. III, Girdwood, Alaska**

DATE	SCALE	DRAWN BY	CHECKED BY	PROJECT NUMBER
Nov. 20, 2009	1"=20'	JAH	MJH	SE4816

WORK ORDER NUMBER: 09-5394

SENTEC@seinteam.com

611/4-5



STATE OF ALASKA  
49 TH  
REGISTERED PROFESSIONAL SURVEYOR  
Jeremy A. Hurst  
No. LS-11796

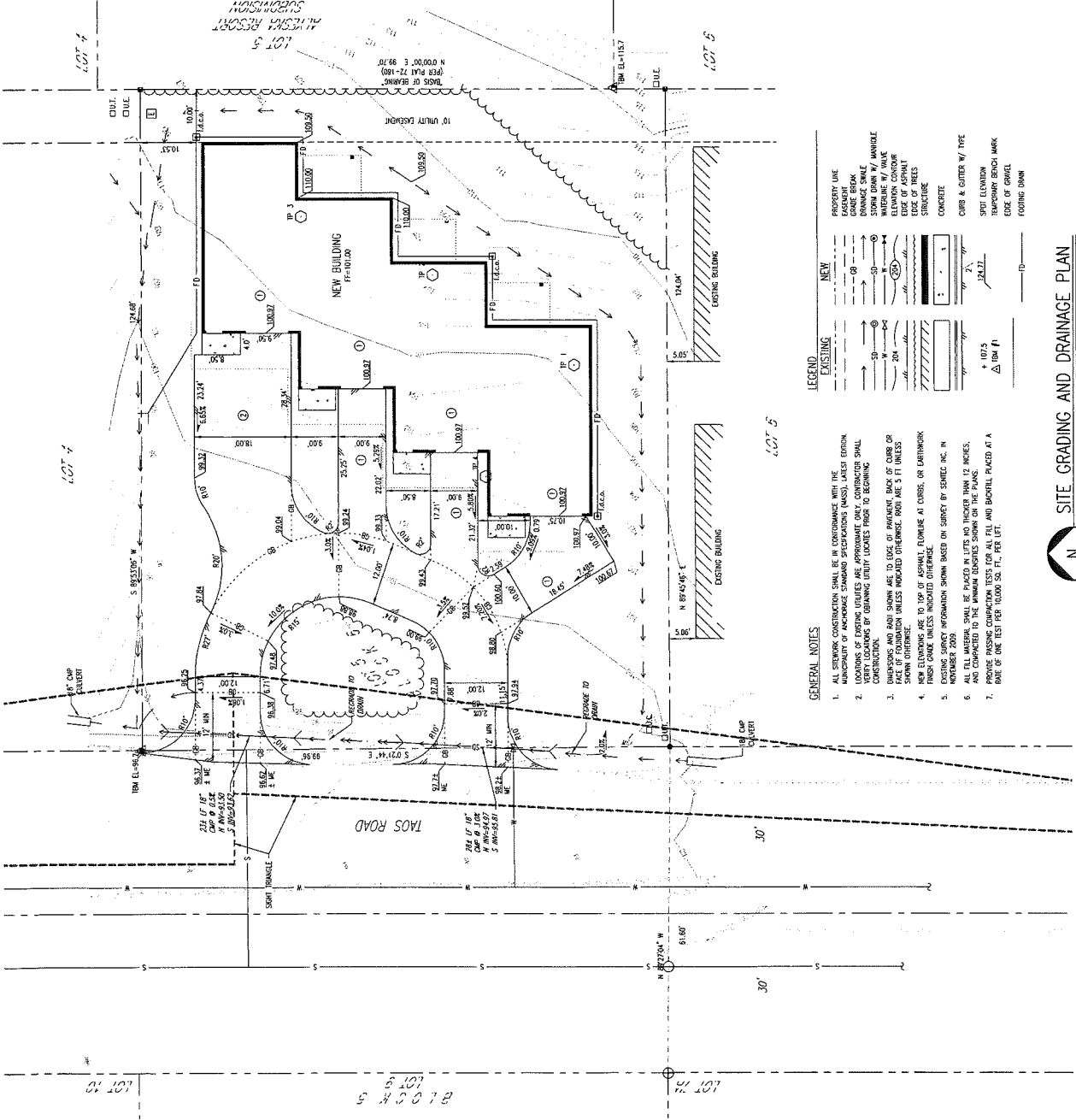
NOTE: 1) Basis of Bearing is as per Plat No. 72-180, elevations are based on an assumed datum.  
2) This is NOT a Boundary Survey.  
3) Even though 4 corners have been located, small boundary discrepancies have been observed.  
4) Due to issues from Note 3, if a structure is to be built within 1 foot of the required setback, a Record of Survey is recommended.

**LEGEND**

- Cable TV
- Telecom. pedestal
- Electric pedestal
- Electric transformer
- Found "Al. cap DOWL"
- Found "PC 'LANTEC"
- Found 5/8" rebar
- Found AL. Mon. "LANTEC"

**SURVEY CERTIFICATION:** SENTEC has conducted a physical survey of this property as shown on this drawing and that the improvements situated thereon are within the property lines and no encroachments exist other than noted.

**EXCLUSION NOTES:** It is the owners responsibility to determine the existence of any easements, covenants, or restrictions which do not appear on the recorded subdivision plat. NOTE: Under no circumstances should any data herein be used for the construction or for the establishing of property lines.



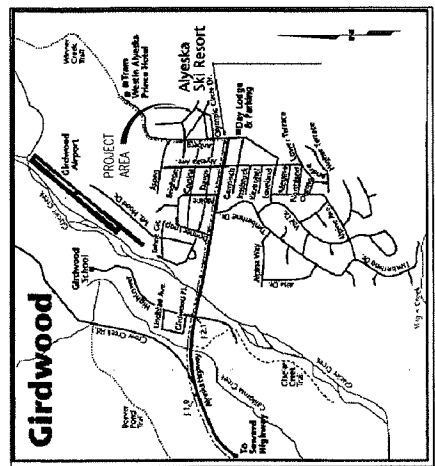
**LEGEND**

EXISTING	NEW
PROPERTY LINE	PROPERTY LINE
EXISTING GRADE	EXISTING GRADE
EXISTING DRAINAGE SWALE	DRAINAGE SWALE
EXISTING STORM DRAIN W/ MANHOLE	STORM DRAIN W/ MANHOLE
EXISTING WAREHOUSE W/ MANHOLE	WAREHOUSE W/ MANHOLE
EXISTING EDGE OF ASPHALT	EDGE OF ASPHALT
EXISTING EDGE OF TREES	EDGE OF TREES
EXISTING STRUCTURE	STRUCTURE
EXISTING CONCRETE	CONCRETE
EXISTING CURB & GUTTER W/ TYPE	CURB & GUTTER W/ TYPE
EXISTING SPOT ELEVATION	SPOT ELEVATION
EXISTING TEMPORARY BRICK MARK	TEMPORARY BRICK MARK
EXISTING EDGE OF GRAVEL	EDGE OF GRAVEL
EXISTING FOOTING DOWN	FOOTING DOWN

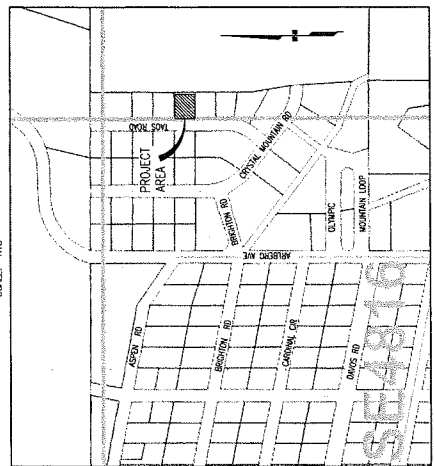
- GENERAL NOTES**
1. ALL SITEWORK CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MUNICIPALITY OF ANCHORAGE STANDARD SPECIFICATIONS (MSS), LATEST EDITION.
  2. LOCATIONS OF EXISTING UTILITIES ARE APPROXIMATE ONLY. CONTRACTOR SHALL VERIFY LOCATIONS BY OBTAINING UTILITY LOCATES PRIOR TO BEGINNING CONSTRUCTION.
  3. DIMENSIONS AND PAINT SHOWN ARE TO EDGE OF PAVEMENT, BACK OF CURB OR FACE OF FOUNDATION UNLESS INDICATED OTHERWISE. ROAD ARE 5 FT UNLESS INDICATED OTHERWISE.
  4. FINISH ELEVATIONS ARE TO TOP OF ASPHALT, CONCRETE AT CURBS, OR PARTINGLINE UNLESS INDICATED OTHERWISE.
  5. EXISTING SURVEY INFORMATION SHOWN BASED ON SURVEY BY S.M.E.C. INC. IN NOVEMBER 2009.
  6. ALL FILL MATERIAL SHALL BE PLACED IN LIFTS AND THICKNESS SHALL BE 12 INCHES. ALL FILL SHALL BE COMPACTED TO 95% RELATIVE DENSITY. PROVE PASSING CONSTRUCTION TESTS FOR ALL FILL AND BUCKET PLACED AT A RATE OF ONE TEST PER 10,000 SQ. FT., PER LIFT.
  7. PROVIDE PASSING CONSTRUCTION TESTS FOR ALL FILL AND BUCKET PLACED AT A RATE OF ONE TEST PER 10,000 SQ. FT., PER LIFT.



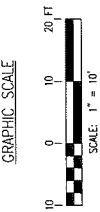
**SITE GRADING AND DRAINAGE PLAN**  
SCALE: 1" = 10'



**VICINITY MAP**  
SCALE: N.T.S.



**SITE MAP**  
SCALE: N.T.S.



**CONDITIONAL USE**  
**NOT FOR CONSTRUCTION**

**ENTERPRISE ENGINEERING, INC.**  
 1. 1997 STREET  
 SUITE 200  
 GIRDWOOD, ALASKA 99588  
 TEL: (907) 546-8000  
 FAX: (907) 546-8001



SITE PLAN - ONE WAY DRIVE

ZELLMER TOWNHOUSES  
GIRWOOD, ALASKA

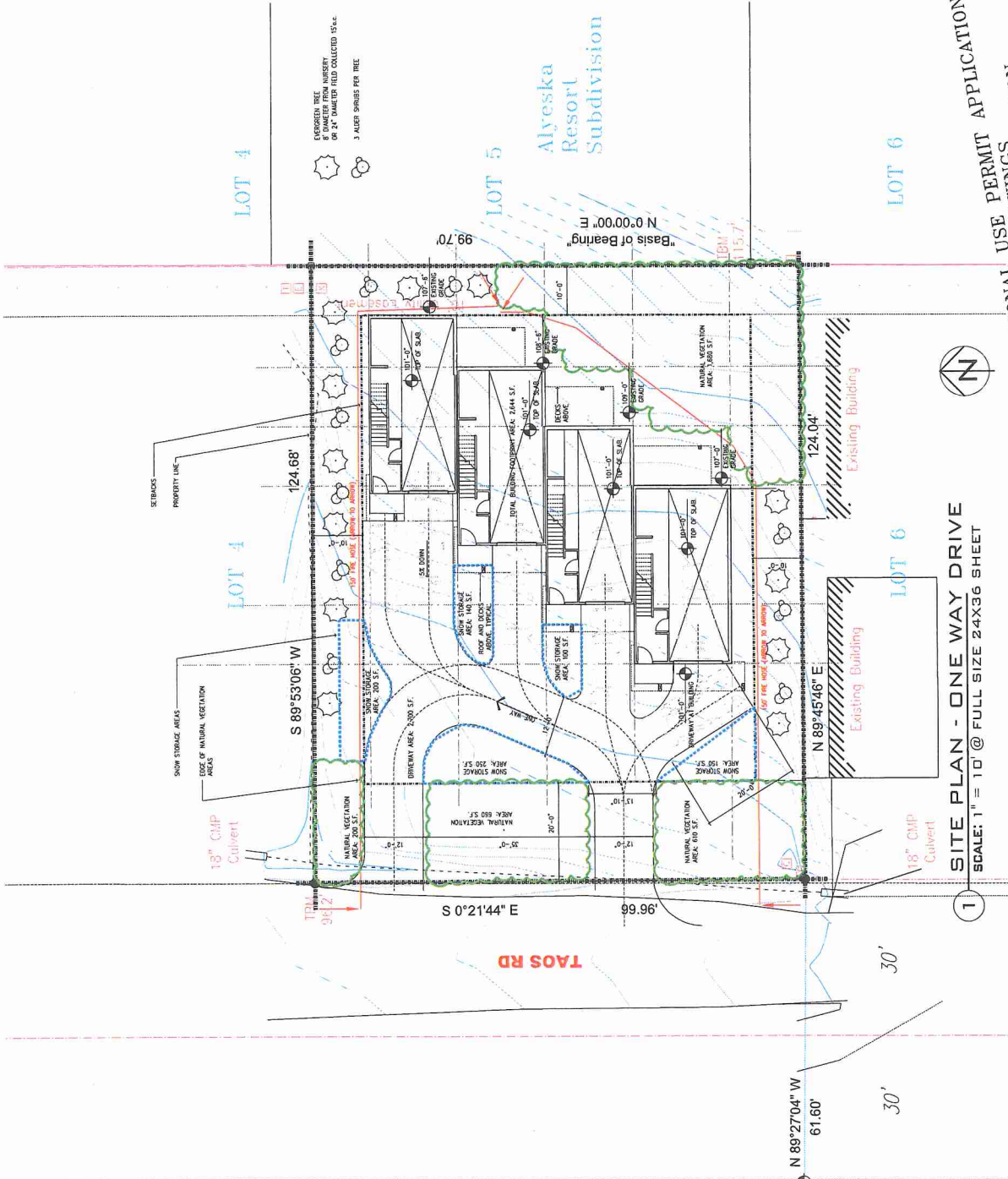
SUBMITTAL: 3-30-15  
CHECKED BY: MAZ  
REVISIONS:

JOB NUMBER: 15-13  
COPYRIGHT 2015

AD.1

OLD CODE:

9R-4	
<b>ZONING INFORMATION</b>	
GIRWOOD ZONING DISTRICT:	
ON-SITE PARKING REQUIRED PER 21.45.060:	
1.5/100 FOR EACH ONE BEDROOM UNIT	1.5
1.75/FOR EACH TWO BEDROOM UNIT OVER 800 S.F.	3.5
2.5/FOR EACH THREE BEDROOM UNIT OVER 900 S.F.	2.5
3.5 X 100 BASE ON SITE PARKING REQUIRED:	7.5
OVER-BELOW PARKING PER 21.50.003 (20% OF ON-SITE):	1.5
TOTAL PROJECT PARKING REQUIRED:	9.0
PARKING PROVIDED ON SITE:	9 SPACES
BUILDING HEIGHT ALLOWABLE PER TABLE 21.09.060-1: 35 FEET	
BUILDING HEIGHT ACTUAL:	25 FEET
(TO MIDPOINT ROOF SLOPE SEE 2/A2.3):	
FRONT YARD SETBACK PER TABLE 21.09.060-1	20 FEET
SIDE YARD SETBACK (FLEXIBLE: 5' MINIMUM MUST BE EQUAL 20' TOTAL) PER TABLE 21.09.060-1 NOTE 2:	10 FEET
REAR YARD SETBACK: 10 FEET (FLEXIBLE: 5' MIN IF FRONT YARD IS 25)	10 FEET
PER TABLE 21.09.060-1 NOTE 2:	
LOT SIZE:	12,500.00 S.F.
MAXIMUM LOT COVERAGE BY BUILDING PER TABLE 21.09.060-1	40%
ACTUAL LOT COVERAGE BY BUILDING (INCLUDING DECKS) IS 3,464 S.F.	28%
MAXIMUM FLOOR AREA RATIO:	N/A
ACTUAL FLOOR AREA RATIO:	N/A
REQUIRED NATURAL VEGETATION AREA PER TABLE 21.09.070-1 (20% OF LOT SIZE)	2,500.00 S.F.
NATURAL VEGETATION AREA PROVIDED:	3,100 S.F.
REQUIRED PERMEABLE SURFACE AREA PER TABLE 21.09.070-1 (40% OF LOT SIZE):	5,000 S.F.
PERMEABLE SURFACE AREA PROVIDED:	LOT SITE: 12,500 S.F. BUILDING FOOT PRINT: -2,644 S.F. CONCRETE EMERY LANDINGS: -116 S.F. DRIVEWAY AREA: -2,700 S.F. TOTAL PERMEABLE SURFACE PROVIDED: 7,040 S.F.
REQUIRED SNOW STORAGE PER TABLE 21.09.070-1:	20% OF FLOWED AREA
FLOWED AREA:	2465 S.F.
REQUIRED SNOW STORAGE AREA:	493 S.F.
SNOW STORAGE AREA PROVIDED:	840 S.F.
MINIMUM DRIVEWAY WIDTH PER TABLE 21.09.070-2:	12 FEET
MAXIMUM ONE-WAY DRIVEWAY WIDTH PER TABLE 21.09.070-2:	14 FEET



1 SITE PLAN - ONE WAY DRIVE  
SCALE: 1" = 10' @ FULL SIZE 24X36 SHEET

CONDITIONAL USE PERMIT APPLICATION  
DRAWINGS NOT FOR CONSTRUCTION



LOCAL 7N IN GIRDWOOD

ZELLMER TOWNHOUSES  
GIRDWOOD, ALASKA

SUBMITTAL: 5-20-15  
DRAWN BY: MAZ  
CHECKED BY: MAZ  
REVISIONS:

JOB NUMBER: 15-13  
DRAWING NO: 15-13-01

AD.2



CONDITIONAL USE PERMIT APPLICATION  
DRAWINGS  
NOT FOR CONSTRUCTION



1 LOCATION IN GIRDWOOD  
SCALE: 1" = 100' @ FULL SIZE 24X36 SHEET



1 RENDERING - FROM SOUTHWEST  
SCALE: N.T.S.

CONDITIONAL USE PERMIT APPLICATION  
DRAWINGS  
NOT FOR CONSTRUCTION

AD.3

JOB NUMBER JS-13  
DATE: 01/20/15

DRAWN BY: MAZ  
CHECKED BY: MAZ

REVISIONS:

ZELLMER TOWNHOUSES  
GIRWOOD, ALASKA

RENDERING - FROM SOUTHWEST



Z ARCHITECTS  
ARCHITECTS INC. STATE OF ALASKA  
NO. 10871



Z ARCHITECTS  
ARCHITECTS • PLANNERS • INTERIORS

RENDERING - FROM WEST

ZELLMER TOWNHOUSES  
GIRDWOOD, ALASKA

DATE: 09-30-15  
DRAWN BY: MAZ  
CHECKED BY: MAZ  
REVISIONS:  
JOB NUMBER: 15-13  
DRAWING NO.: 01

A0.4



NOT FOR CONSTRUCTION  
DRAWINGS  
PERMIT APPLICATION

1 RENDERING - FROM WEST  
SCALE: N.T.S.



RENDERING - OVERHEAD FROM SOUTH - WEST

ZELLMER TOWNHOUSES  
GIRWOOD, ALASKA

DRAWN BY: S.D.O.'S  
CHECKED BY: MAZ  
REVISIONS:

JOB NUMBER 15-13  
DATE: 09/20/15

**AD.5**



CONDITIONAL USE PERMIT APPLICATION  
DRAWINGS  
NOT FOR CONSTRUCTION

1 RENDERING - OVERHEAD FROM WEST  
SCALE: N.T.S.



# FIRST FLOOR PLAN

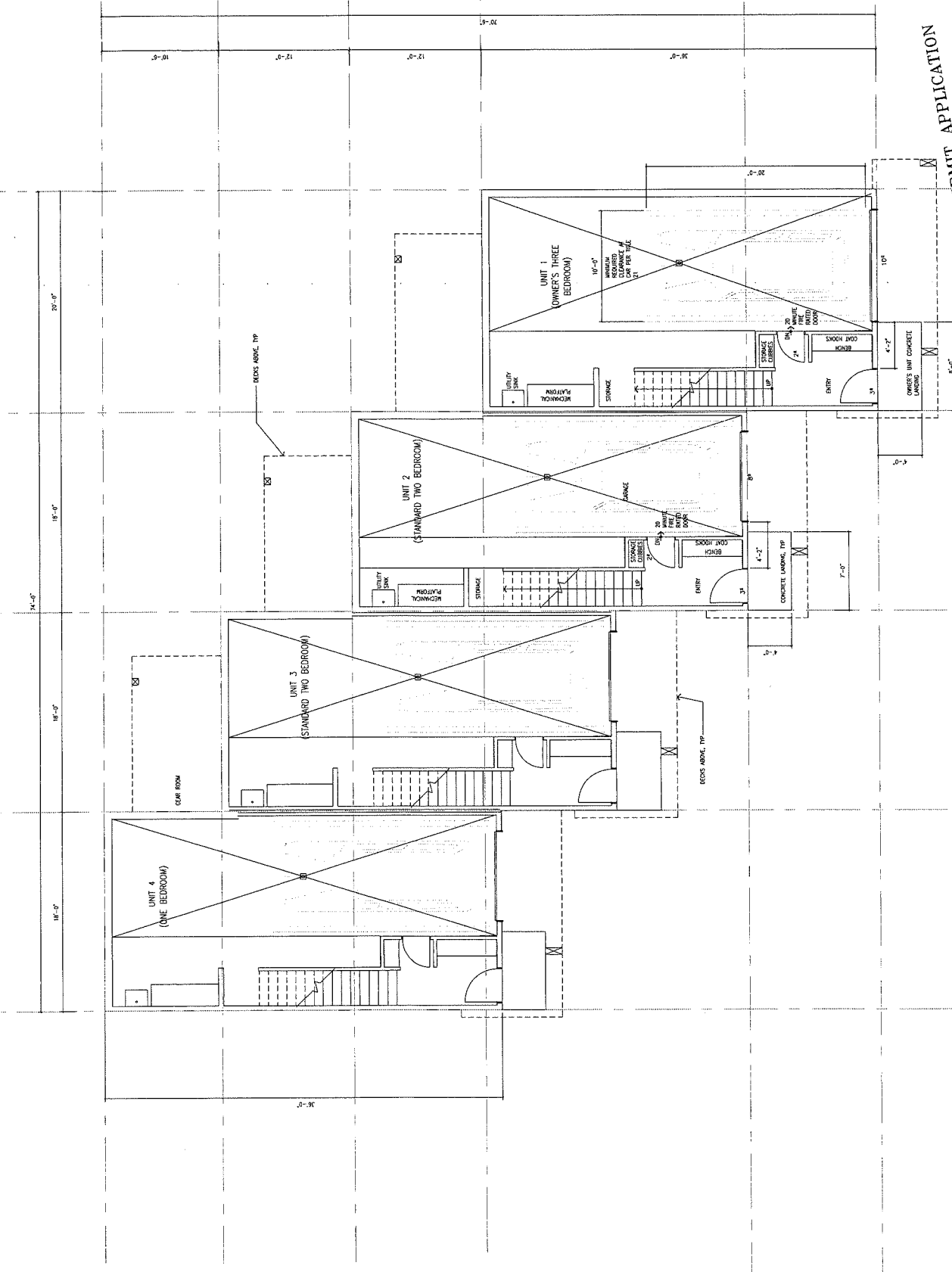
ZELMER TOWNHOUSES  
GIRDWOOD, ALASKA

DATE: 03-15-13  
DRAWN BY: MAZ  
CHECKED BY: MAZ  
REVISIONS:

JOB NUMBER: 15-13  
COPYRIGHT © 2013  
Z ARCHITECTS

## A1.1

CONDITIONAL USE PERMIT APPLICATION  
DRAWINGS FOR CONSTRUCTION  
NOT FOR CONSTRUCTION



1 FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0" @ FULL SIZE 24X36 SHEET





Z ARCHITECTS  
ARCHITECTS INC. • 1000 W. WARD  
ANCHORAGE, ALASKA 99501

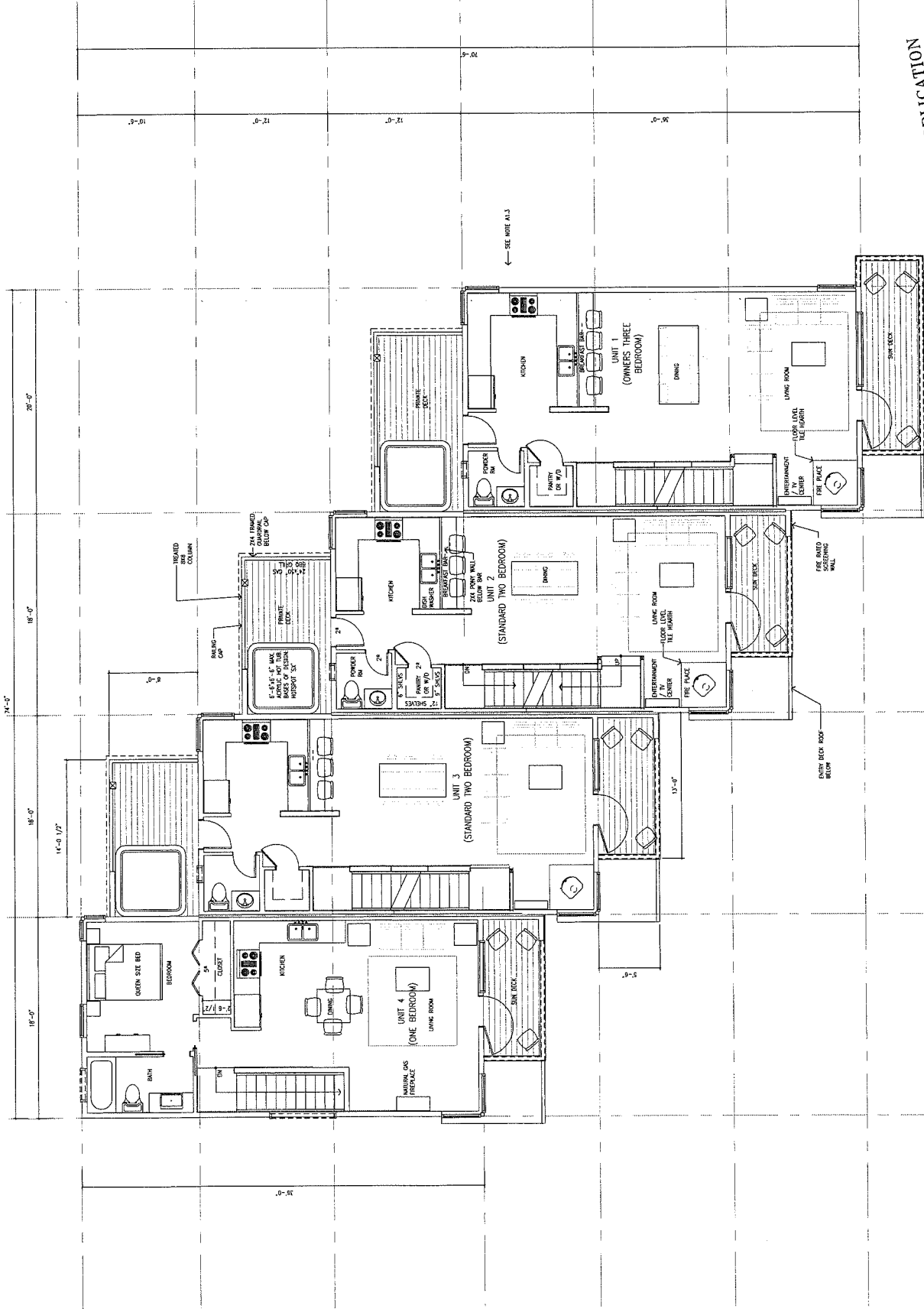
SECC ) FLOOR PLAN

ZELLMER TOWNHOUSES  
GRIDWOOD, ALASKA

CD-30-15  
DRAWN BY: MAZ  
CHECKED BY: MAZ  
REVISIONS:

JOB NUMBER JS-13  
COMPLETED 12/13

A1.2



USE PERMIT APPLICATION  
DRAWINGS  
CONDITIONAL  
NOT FOR CONSTRUCTION

1 SECOND FLOOR PLAN  
SCALE: 1/4" = 1'-0" @ FULL SIZE 24X36 SHEET





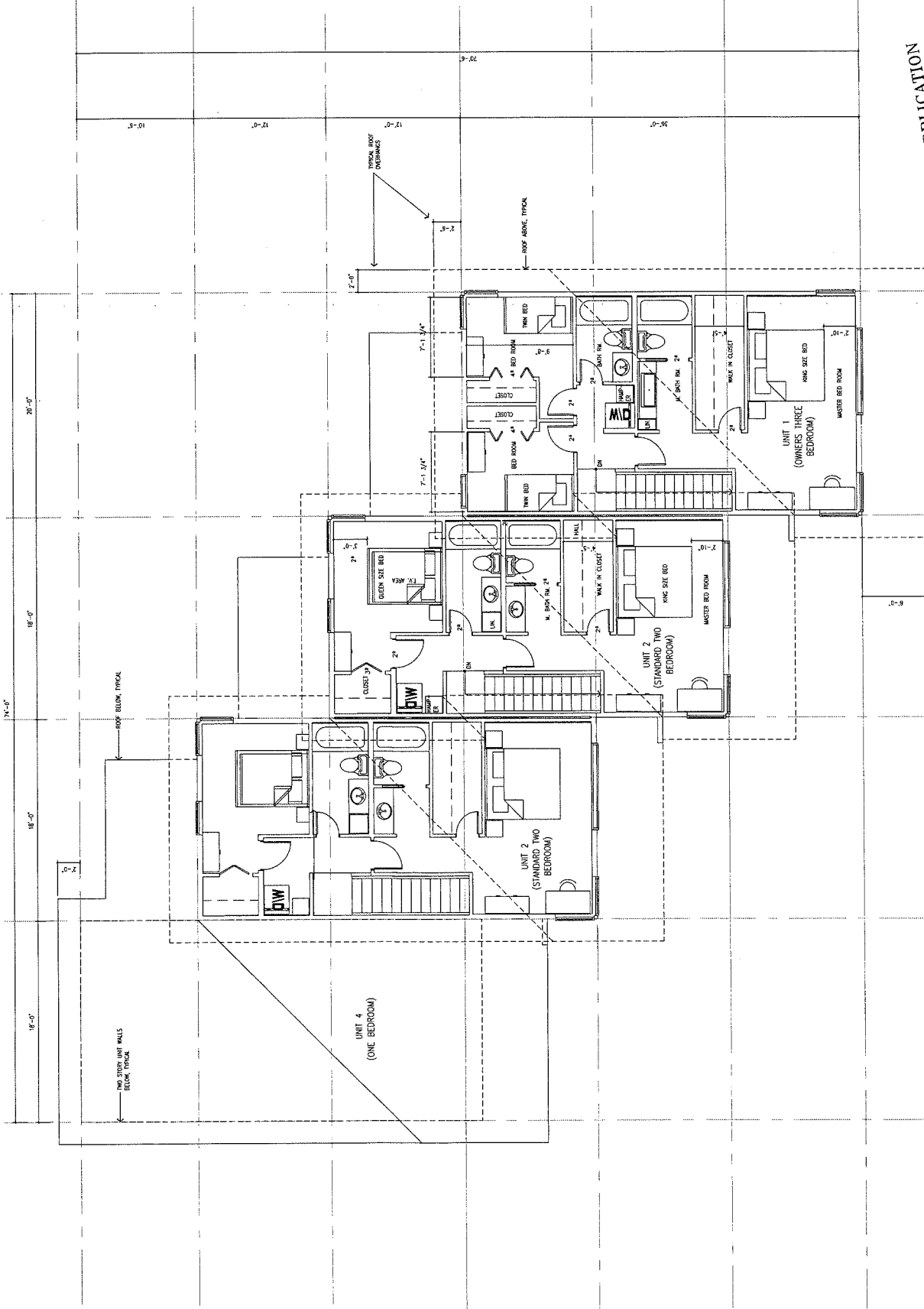
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No. 10377  
State of Alaska  
ESTABLISHED 1987

ZELLMER TOWNHOUSES  
GIRDWOOD, ALASKA

THIRD FLOOR PLAN

DATE: 03-30-15  
DRAWN BY: MAZ  
CHECKED BY: MAZ  
REVISIONS:  
JOB NUMBER: 15-13  
DATE: 03-11-15

**A1.3**



CONDITIONAL USE PERMIT APPLICATION  
DRAWINGS NOT FOR CONSTRUCTION

1 THIRD FLOOR PLAN  
SCALE: 1/4" = 1'-0" @ FULL SIZE 24X36 SHEET





Z ARCHITECTS  
PERMITTING • PLANNING • DESIGN • RENDERING

ZELLMER TOWNHOUSES  
GIRDWOOD, ALASKA  
WEST ELEVATION

DATE: 03.20.15  
DRAWN BY: MKZ  
CHECKED BY: REVISION#1  
JOB NUMBER: 15-13  
DATE: 03.20.15

A2.1



NOT FOR CONSTRUCTION  
DRAWINGS  
USE PERMIT APPLICATION

1 WEST ELEVATION  
SCALE: 1/4" = 1'-0" @ FULL SIZE 24X36 SHEET

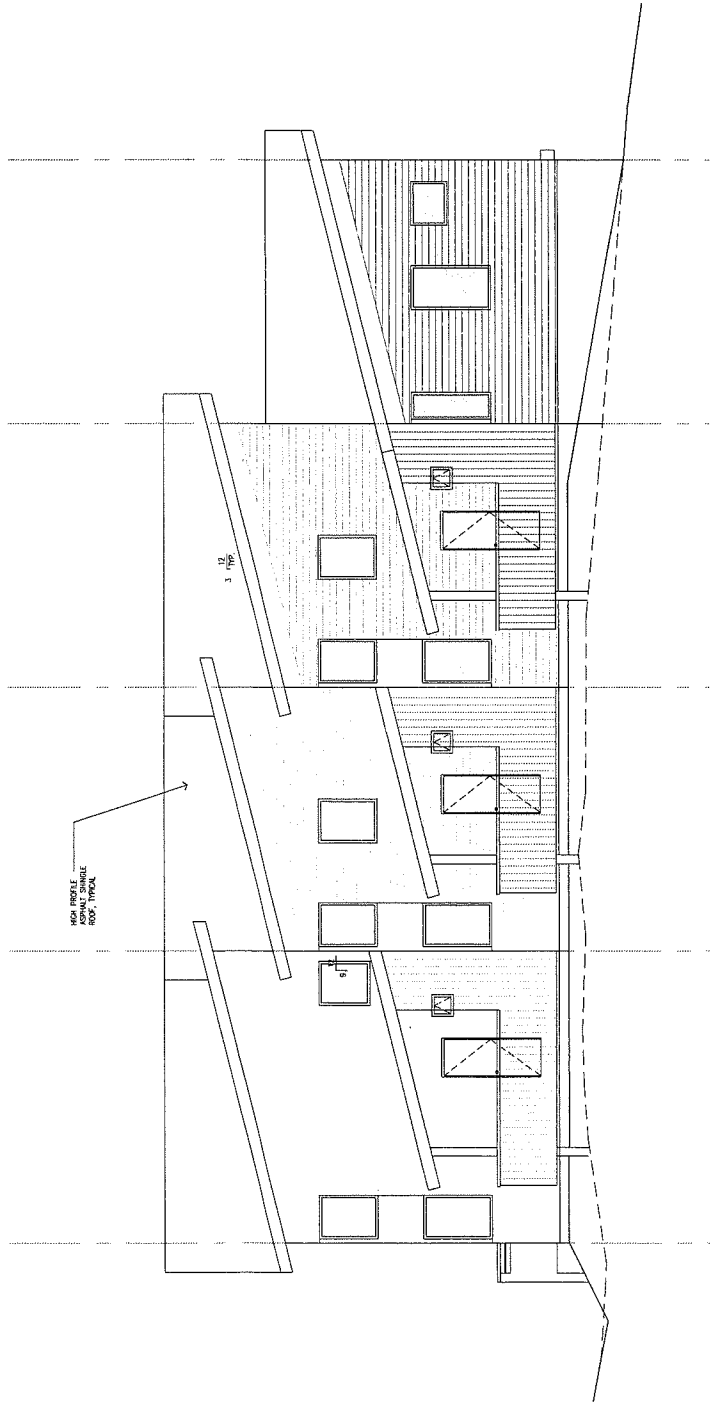


ZELMER TOWNHOUSES  
GIRDWOOD, ALASKA  
EAST ELEVATION

DATE: 05-30-15  
DRAWN BY: WAD  
CHECKED BY:  
REVISIONS:

JOB NUMBER: 15-13  
COPYRIGHT: 2015

A2.2



NOT FOR CONSTRUCTION  
DRAWINGS  
USE PERMIT APPLICATION

1 EAST ELEVATION @ FULL SIZE 24X36 SHEET  
SCALE: 1/4" = 1'-0"



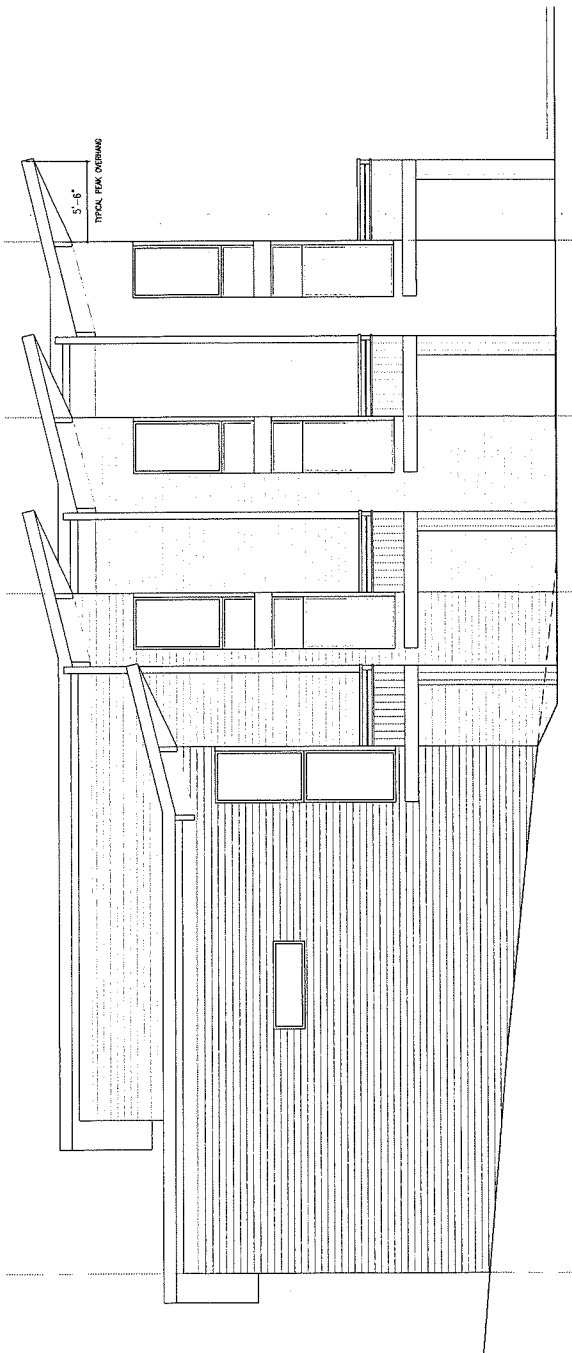
NORTH & SOUTH ELEVATIONS

ZELLMER TOWNHOUSES  
GIRWOOD, ALASKA

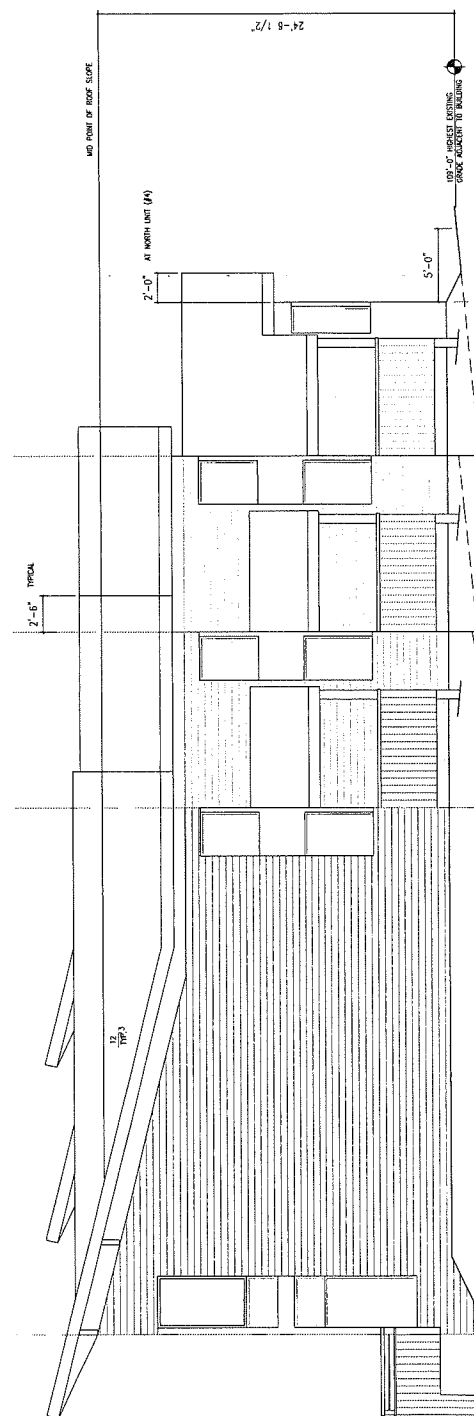
SUBMITTAL: 03-30-15  
CHECKED BY: N/A  
REVISIONS:

JOB NUMBER 15-13  
COPYRIGHT 2015

A2.3



1 NORTH ELEVATION  
SCALE: 1/4" = 1'-0" @ FULL SIZE 24X36 SHEET



2 SOUTH ELEVATION  
SCALE: 1/4" = 1'-0" @ FULL SIZE 24X36 SHEET

CONDITIONAL USE PERMIT APPLICATION  
DRAWINGS  
NOT FOR CONSTRUCTION





**Z ARCHITECTS**  
INCORPORATED  
1000 W. 10TH AVENUE  
ANCHORAGE, ALASKA 99501

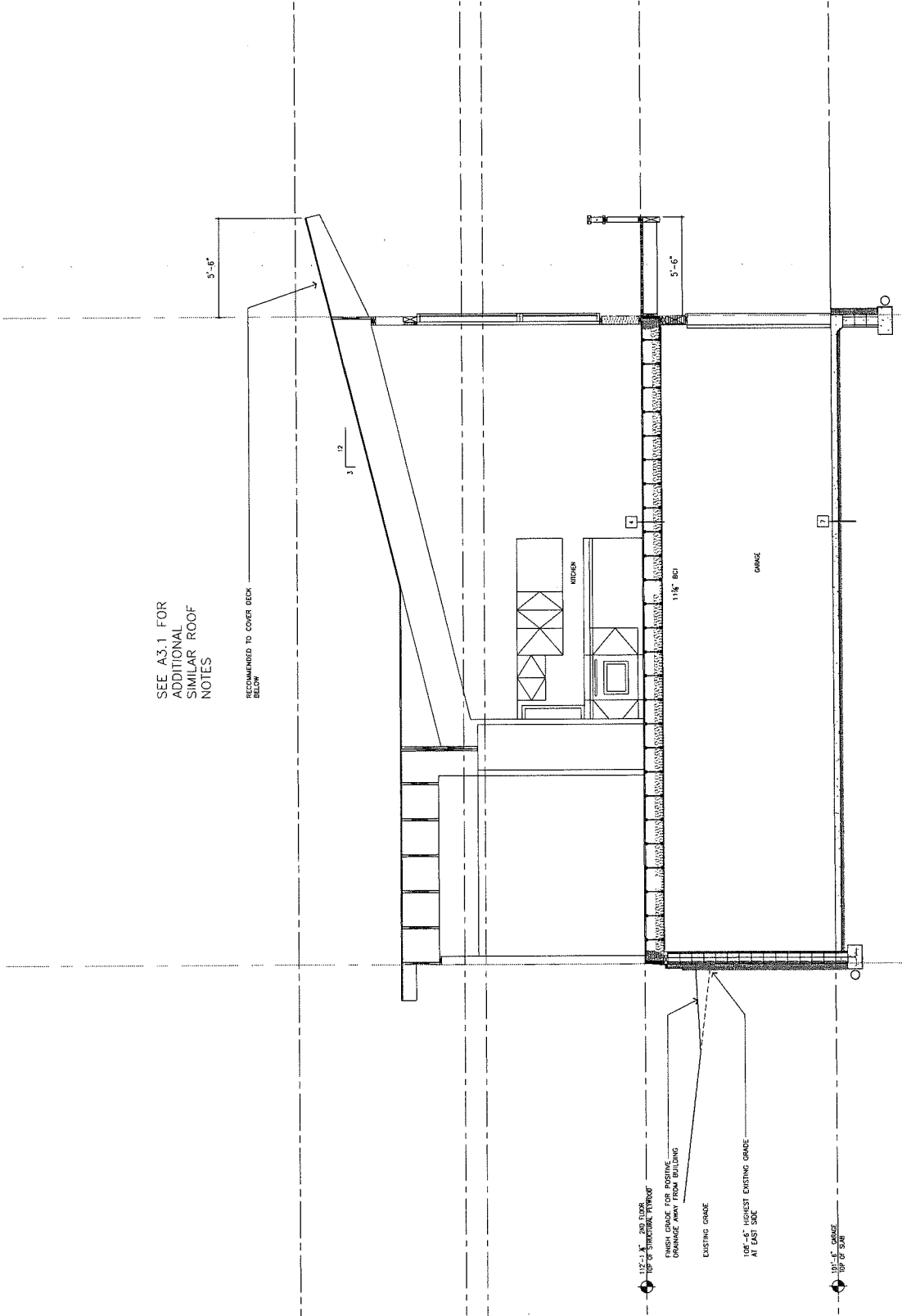
**EAST-WEST BUILDING SECTION AT 2 STORY UNIT**

ZELLMER TOWNHOUSES  
GIRWOOD, ALASKA

DRAWN BY: G.S.J.D. 1/9  
CHECKED BY: J.M.C.  
REVISIONS:

JOB NUMBER 18-13  
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Z ARCHITECTS, INC.

**A3.2**



SEE A3.1 FOR  
ADDITIONAL  
SIMILAR ROOF  
NOTES

RECOMMENDED TO COVER DECK  
BELOW

112'-3 1/2" 2ND FLOOR  
TOP OF STRUCTURE FINISH

EXISTING GRADE  
108'-6" HIGHEST EXISTING GRADE  
AT EAST SIDE

10'-5 1/2" GROUND  
TOP OF SOIL

**1 EAST-WEST BUILDING SECTION AT 2 STORY UNIT (#4)**  
SCALE: 3/8" = 1'-0" @ FULL SIZE 24X36 SHEET

**G** **Technical Engineering Report**  
**180 Taos Road Townhouses**  
**Z Architects**  
**Girdwood, Alaska**

February 2011

Submitted To:

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32-1-02153

## TABLE OF CONTENTS

	Page
1.0 INTRODUCTION.....	1
2.0 SITE AND PROJECT DESCRIPTION.....	1
3.0 SUBSURFACE EXPLORATION.....	2
4.0 LABORATORY TESTING.....	2
5.0 SUBSURFACE CONDITIONS.....	3
6.0 ENGINEERING CONCLUSIONS AND RECOMMENDATIONS.....	4
6.1 Site Preparation.....	4
6.2 Building Foundation.....	5
6.3 Estimated Building Settlements.....	5
6.4 Floor Slab Support.....	5
6.5 Drainage.....	6
6.6 Lateral Earth Pressures and Lateral Resistance.....	6
6.7 Utility Trenches.....	7
6.8 Structural Fill and Compaction.....	7
7.0 CLOSURE AND LIMITATIONS.....	8

## FIGURES

1	Vicinity Map
2	Site Plan
3	Soil Classification Legend
4	Frost Classification Legend
5	Log of Test Pit TP-1
6	Log of Test Pit TP-2
7	Log of Test Pit TP-3
8	Log of Test Pit TP-4
9	Grain Size Classification
10	Atterberg Limits Results
11	Floor Slab and Footing Detail
12	Utility Trench Detail
13	Gradation Requirements

## APPENDIX

A	Important Information About Your Geotechnical/Environmental Report
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**GEOTECHNICAL ENGINEERING REPORT  
180 TAOS ROAD TOWNHOUSES  
Z ARCHITECTS  
GIRDWOOD, ALASKA**

**1.0 INTRODUCTION**

This report presents the results of subsurface explorations, laboratory testing and geotechnical engineering studies for the proposed new townhouses to be located at 180 Taos Road in Girdwood, Alaska. The purpose of this study is to gather geotechnical data and to make engineering recommendations for the design of a proposed new building.

To gain data for our analyses, four test pits were advanced in the project area. The primary goal of the explorations was to characterize soils beneath or near the proposed building footprint to explore for possible shallow bedrock, and to evaluate the density or compactness of the subsurface conditions. This effort was supported by laboratory testing on select soil samples to estimate index properties of the materials. Engineering studies were then performed to develop design recommendations for the structure. Our report for this work contains descriptions of the proposed project, field explorations, laboratory testing, interpretation of subsurface conditions and conclusions and recommendations regarding foundation support.

Written authorization to proceed with this project was received in the form of an email from Mr. Marco Zaccaro, of Z Architects on January 14, 2011.

**2.0 SITE AND PROJECT DESCRIPTION**

The project site is an undeveloped lot located at 180 Taos Road in Girdwood, Alaska. A vicinity map indicating the general project location is presented as Figure 1. A site plan is included as Figure 2, and provides a view of the project area and the approximate location of our test pits.

The topography within the property generally slopes down from the southeast corner to the northwest and has an approximate elevation change of 16 feet. At the time of our explorations, the site was covered with one to two feet of snow and vegetation included large spruce, small brush, and grasses. According to drawings provided by you, the new structure will consist of three, approximately 16 foot by 40 foot units and one 30 foot by 40 foot unit in a connected townhouse building with an associated driveway. We understand that, due to topography, the east portion of the townhouses will have a finished grade approximately 6 feet below the existing

ground surface. The finished grade on the west side of the townhouse structure will be at approximately the current ground surface.

### 3.0 SUBSURFACE EXPLORATION

The field work for this project consisted of excavating four test pits, designated Test Pits TP-1 through TP-4 on January 17, 2011. The test pits were excavated to evaluate the general subsurface conditions at the site. The approximate locations of the test pits are shown on Figure 2.

Excavating services for this project were provided by HR Redmond Co. with a Volvo EC140B tracked excavator under contract to Z Architects. An experienced geologist from our firm was present during excavation to log subsurface conditions, collect soil samples, and observe groundwater if appropriate. At the completion of our explorations, the holes were backfilled with cuttings removed during excavation. The test pit locations shown on Figure 2 were approximated using cloth tape measurement from existing site features. Elevations were estimated using drawings provided by Z Architects. Test pit locations and elevations should be considered approximate.

Soils encountered in the test pits were visually classified in the field using the Unified Soil Classification System (USCS), presented in Figure 3. These classifications were then verified through selective laboratory analysis. USCS group names and symbols are provided for those soils confirmed by laboratory testing on the grain size classification sheets. Frost classifications were also estimated for selected samples based on laboratory evaluations. The frost classification system is presented as Figure 4.

### 4.0 LABORATORY TESTING

Laboratory tests were performed on select soil samples from the test pits to verify our field classifications and to estimate the index properties of the typical materials encountered at the site. Results of the soil tests performed on samples from each test pit are presented on the summary logs (Figures 5 through 8) and in the laboratory test results on Figures 9 and 10.

Water content tests were performed on samples collected from the test pits. Water content tests were generally conducted according to procedures described in ASTM International (ASTM) D2216. The results of the water content measurements are presented graphically on the test pit logs.

Grain size classification tests were conducted on select samples to confirm the field classification of the soils encountered. The gradation testing generally followed the mechanical sieve procedures described in ASTM C136. The grain size testing results are presented in Figure 9 and summarized on the test pit logs as percent gravel, percent sand, and percent fines. Percent fines on the test pit logs are equal to the sum of the silt and clay fractions indicated by the percent passing the Number 200 sieve.

Tests were conducted on select samples to estimate the amount of material passing the Number 200 sieve (P-200). This test was performed in general accordance with ASTM C117. The P-200 test provides an estimate of the fines (silt and clay) content. The results of this test are presented on the test pit logs, indicated as percent fines.

Atterberg limits were evaluated for one sample from the native, fine-grained soils encountered in the explorations. The test was performed in accordance with ASTM D4318. This analysis provides information on the plasticity characteristics of the silt or clay. The result of this test is summarized on Figure 10 as well as on the test pit log.

## 5.0 SUBSURFACE CONDITIONS

Subsurface conditions at the site are presented graphically in the test pit logs presented in Figures 5 through 8. Our test pits encountered fine grained materials and silty, granular material.

Test Pits TP-1 and TP-2 encountered approximately one foot of peat at the surface overlying 5 to 6 feet of gravelly, sandy silt over 6 to 7 feet of sandy, silty gravel with cobbles and occasional boulders to the bottom of the excavation. The consistency of the silt layer ranged from medium stiff to hard and the relative density of the gravel ranged from medium dense to very dense. In Test Pit TP-3, we encountered approximately one foot of peat overlying medium dense to dense, gravelly, silty sand. In Test Pit TP-4, we found 8 inches of peat overlying approximately 11 feet of medium stiff to hard, gravelly, sandy clay and 1.5 feet of very dense, gravelly, silty sand.

In Test Pits TP-1 through TP-3, the maximum grain size observed ranged from approximately 8 to 14 inches. The approximate percentage of cobble and boulder size material encountered in the gravel layer ranged from 5 to 15 percent by visual observation. In addition, a boulder of unknown size was encountered in Test Pit TP-3. For constructability and budget purposes, it should be noted that there is potential for very large boulders and/or bedrock to be encountered during construction.

Moisture contents ranged from approximately 7 to 22 percent for coarse grained soils and approximately 8 to 17 percent for fine grained soils. Although groundwater was generally not encountered during our test pit explorations, occasional layers of silty, granular material may contain some perched water that may leach out if exposed.

## **6.0 ENGINEERING CONCLUSIONS AND RECOMMENDATIONS**

The design of foundations for support of the proposed new structure must consider the bearing support capabilities of the soils as well as the expected settlements and the effects of seasonal frost action. Site explorations generally encountered silty and/or granular soils that are relatively compact. With proper site preparation, we believe the conditions encountered in the test pits are adequate to support the proposed site improvements. We assume that conventional shallow foundations are desired for the site development, which, in our opinion, should be appropriate for this project.

### **6.1 Site Preparation**

Site preparation should include removal of the organic-rich surface material, which generally ranged from 8 inches to 1 foot thick (but could be thicker in isolated areas). Excavation could be difficult due to the presence of cobbles or boulders and the density of the material. During earthwork, we recommend that the subgrade soils be probed by a qualified engineer to verify that unsuitable soils have been removed and compact native soils are exposed at the limits of excavation. To reduce the risk of future settlement, deep unsuitable soils (unsuitable soils extending deeper than recommended depths of structures) that are found should be over-excavated to firm, unyielding native soils, and replaced with compacted structural fill. If sub cutting is required, it should extend out a minimum distance equal to the sub-cut depth from the outer edge of the footings.

Native soils may be both moisture and frost sensitive and could locally be soft and compressible. They may become soft by disturbance or wetting during construction, or naturally due to the presence of groundwater. If work in the bottom area of the excavation is carried out with a backhoe, a smooth bucket edge or a flat steel plate covering the web space between the backhoe teeth will reduce ground disturbance and also minimize hand work at this grade. We recommend that we be retained to observe excavations and that a contingency be maintained to allow for localized over-excavation and replacement beyond the minimum depth beneath the proposed structure.

Prior to fill placement, the exposed grade should be proof-rolled to produce a firm, unyielding surface for construction. Classified fill placed beneath footings should be placed and compacted in accordance with the recommendations in Section 6.8.

## **6.2 Building Foundation**

We recommend that the proposed new townhouses be supported on spread or continuous strip footings bearing directly on firm, unyielding native materials. The recommended minimum width is 16 inches for continuous strip footings and 24 inches for spread footings. The base of exterior footings and unheated interior footings should be buried sufficiently to prevent structural damage resulting from frost action. We recommend that perimeter footings in heated buildings be placed a minimum of 4 feet below the ground surface. For interior footings in heated areas, footings may be placed directly below the floor slab such that embedment is 14 inches or more. If portions of the proposed building are to be unheated, the minimum burial depth for footings should be increased to 5 feet bgs for frost protection. We recommend that a subdrain be installed to direct subsurface water away from the footing walls. A typical footing detail with subdrain is included in Figure 11. The figure presented shows details for a basement because we understand that finished grade for the rear portion of the townhouses will be below the existing ground surface.

Based on the expected footing dimensions, depths, and site preparation recommendations, we recommend that foundations for the proposed building additions be designed with an allowable soil bearing pressure of 2,000 psf. The above bearing value may be increased by one-third for short-term wind or seismic loading.

## **6.3 Estimated Building Settlements**

The total settlements that could develop at the building site are dependent upon the actual loads that are applied, the footing sizes, and the properties of the soils below the footings. Based on the anticipated behavior of the native soils and allowable bearing pressures we estimate total settlements of about 1-inch could occur and that differential settlements could be about one-half of the total over a distance of 50 feet. Long term differential settlements of the building should be relatively small and within tolerable limits.

## **6.4 Floor Slab Support**

Floor slabs for the proposed addition should be placed generally as shown on Figure 11. If loose or soft areas are encountered, we recommend they be excavated and replaced. Unclassified fill

may be used to replace loose soils below a minimum of 18 inches of compacted, classified fill from the bottom of the slab as described above. We recommend a 4 to 6-inch drainage blanket be constructed beneath the slab to maintain a dry floor. Where floor coverings are expected, we recommend installing a vapor retarder directly beneath the concrete slab. Figure 11 shows a footing detail with a typical concrete slab design section.

### **6.5 Drainage**

Groundwater was not encountered during explorations, which extended to approximately 13 feet bgs; therefore, in our opinion, groundwater should not be encountered during construction. However, due to the proximity of higher ground at the back of the property, we expect that shallow water could occur seasonally. We recommend that site grading be carefully designed such that surface water and roof run-off are directed away from the proposed building, so that it cannot pond against or infiltrate the soils near the building walls. The subdrain will need an outlet to drain water away from footings. It may be day lighted at a lower elevation with insulation or heat tape to prevent freezing.

### **6.6 Lateral Earth Pressures and Lateral Resistance**

Building walls below ground which support earth fills and floor slabs should be designed to resist lateral earth pressures. The magnitude of the pressures is dependent on the method of placement of backfill, the type of backfill material, drainage provisions, and whether the wall is allowed to deflect after or during placement of backfill.

If the walls are allowed to deflect laterally or rotate an amount equal to about 0.001 times the height of the wall, an active earth pressure condition under static loading would prevail and an equivalent fluid weight of 47 pounds per cubic foot (pcf) is recommended for design of walls backfilled with Type II/IIA classified fill. For rigid walls that are restrained from deflecting at the top, an at-rest earth pressure condition would prevail and an equivalent fluid weight of 67 pcf is recommended. To simulate seismic loading, a rectangular pressure prism with a magnitude of 14 pounds per square foot (per foot of wall height) should be applied to the entire height of the wall.

Lateral forces from wind or seismic loading may be resisted by passive earth pressures against the sides of footings, exterior walls below grade and grade beams. In our opinion, these resisting pressures can be estimated using an equivalent fluid weight of 300 pcf. This value assumes that backfill around the footings and stem walls are densely compacted.

Lateral resistance may also be developed in friction against sliding along the base of foundations placed on grade such as footings or floor slabs. These forces may be computed using a coefficient of 0.4 between concrete and soil.

## **6.7 Utility Trenches**

Buried pipes and cables may be needed to tie the new building into utilities. Trenches excavated for installation of these new utilities should be constructed as presented in Figure 12. The bedding and structural fill material around the buried utility should be densely compacted to support and hold the pipe firmly in place.

Groundwater was not observed in our explorations, but typical utility trenches may encounter water seepage during excavation. Sumps and pumps should be sufficient to remove and discharge any trench water, provided trenching activities are planned for rapid excavation, utility construction, and backfill.

Since the native soils in this area are moist and contain moderate amounts of silt, excavation slopes will initially tend to stand steeply. The slope and excavation bottom conditions should be made the responsibility of the contractor, who will be present on a day to day basis and can adjust efforts to obtain the needed stability and meet the applicable Alaska and Federal (OSHA) safety regulations.

Below areas to receive pavements or support foundations, trench backfill should be placed in maximum 12-inch loose lifts and compacted to at least 95 percent of the Modified Proctor maximum dry density, as discussed in the following section. In areas where no structures or paving are planned, less compaction is required and material may be placed in thicker lifts (up to 18 inches) and moderately compacted to achieve at least 90 percent compaction. Utility trenches should be backfilled with existing inorganic native soils as much as practical between the top of the pipe bedding and the bottom of the road subgrade, or to original ground surface in areas where no pavement is needed. Bulking of backfill into the trench should be discouraged as this can cause voids and could lead to large future surface settlements.

## **6.8 Structural Fill and Compaction**

Backfill will be required behind the foundation walls and under asphalt pavements. Structural fill that is placed should be clean, well-graded, granular soil to provide drainage and frost protection. These soils should contain less than about 6 percent passing the No. 200 sieve, with no more than 15 percent passing the No. 4 sieve. Generally, Type II or Type II-A material as

defined by the Municipality of Anchorage Standard Specifications (MASS) meets these requirements and may be placed in both wet and dry conditions. The on-site native soils are generally high in silt content and do not meet the gradation requirements for Type II or IIA structural fill as shown on Figure 13.

Structural fills below pavements and beneath footings and floor slabs should be placed in lifts not to exceed 12 inches loose thickness, and compacted to 95 percent of the maximum density as determined by the Modified Proctor compaction procedure (ASTM D1557). Non-structural fills should be placed in similar lifts and compacted to at least 90 percent of the Modified Proctor maximum density as well. During fill placement, we recommend that large cobbles or boulders with dimensions in excess of 8 inches be removed from any structural fills. We recommend that our services be retained to inspect the quality of fill compaction during construction.

When backfilling within 18 inches of the building walls where the wall is not supported on both sides, material should be placed in layers not to exceed 6 inches loose thickness and densely compacted with hand operated equipment. Heavy equipment should not be used as it could cause increased lateral pressures and damage walls.

## 7.0 CLOSURE AND LIMITATIONS

This report was prepared for the exclusive use of our client and their representatives for evaluating the site as it relates to the geotechnical aspects discussed herein. The conclusions contained in this report are based on information provided from the observed site conditions and other conditions described herein. The analyses and conclusions contained in this report are based on site conditions as they presently exist. It is assumed that the exploratory test pits are representative of the subsurface conditions throughout the site, i.e., the subsurface conditions everywhere are not significantly different from those disclosed by the explorations.

If, during construction, subsurface conditions different from those encountered in these explorations are observed or appear to be present, Shannon & Wilson, Inc. should be advised at once so that these conditions can be reviewed. If there is a substantial lapse of time between the submittal of this report and the start of work at the site, or if conditions have changed due to natural causes or construction operations at or adjacent to the site, it is recommended that this report be reviewed to determine the applicability of the conclusions considering the changed conditions and time lapse.

We recommend that we be retained to review those portions of the plans and specifications pertaining to earthwork to determine if they are consistent with our recommendations. In

addition, we should be retained to observe construction, particularly the compaction of structural fill, installation of shoring and site excavations, and also to make field measurements of ground displacements and such other field observations as may be necessary.

Unanticipated soil conditions are commonly encountered and cannot fully be determined by merely taking soil samples or excavating test pits. Such unexpected conditions frequently require that additional expenditures be made to attain a properly constructed project. Therefore, some contingency fund is recommended to accommodate such potential extra costs. Shannon & Wilson has prepared the attachments in Appendix A *Important Information About Your Geotechnical/Environmental Report* to assist you and others in understanding the use and limitations of the reports.

Copies of documents that may be relied upon by our client are limited to the printed copies (also known as hard copies) that are signed or sealed by Shannon & Wilson with a wet, blue ink signature. Files provided in electronic media format are furnished solely for the convenience of the client. Any conclusion or information obtained or derived from such electronic files shall be at the user's sole risk. If there is a discrepancy between the electronic files and the hard copies, or you question the authenticity of the report please contact the undersigned.

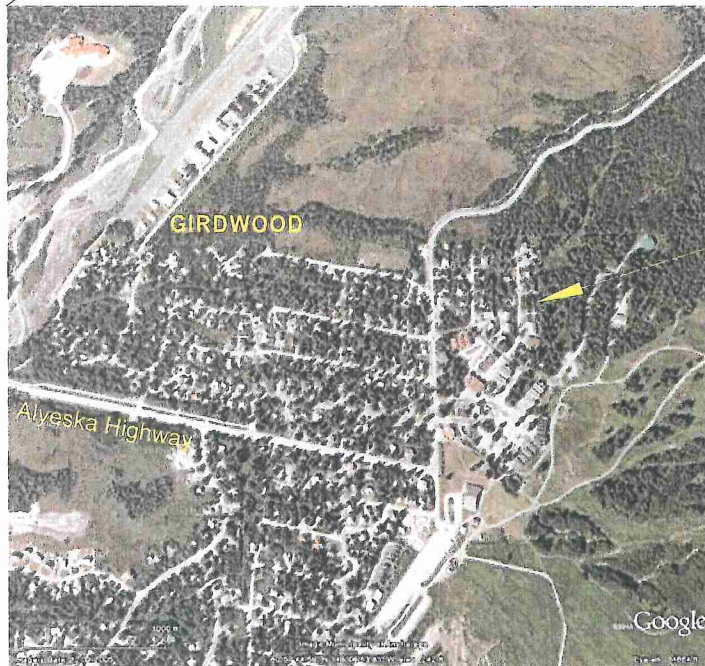
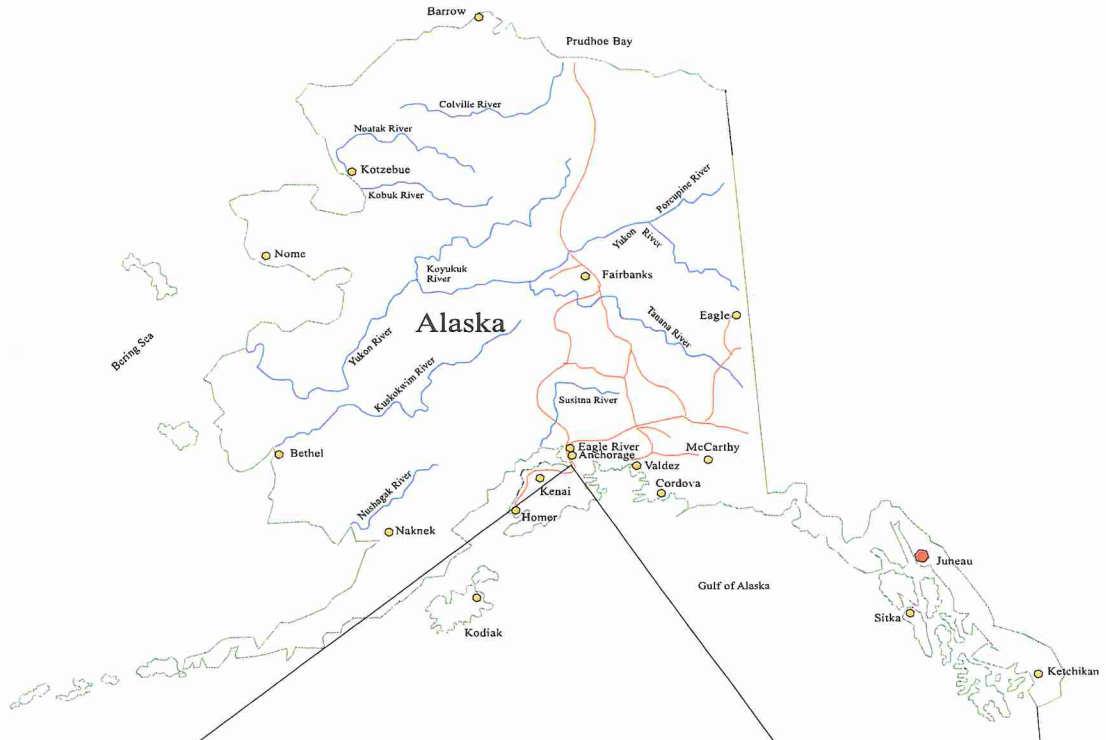
**SHANNON & WILSON, INC.**

Katra Wedeking  
Geologist III

KVW:GLJ



Grover L. Johnson, P.E.  
Senior Principal Engineer



**Approximate  
Project  
Location**



Map adapted from aerial imagery provided by Google Earth Pro, reproduced by permission granted from Google Earth Mapping Service.

180 Taos Road Townhouses  
Girdwood, Alaska

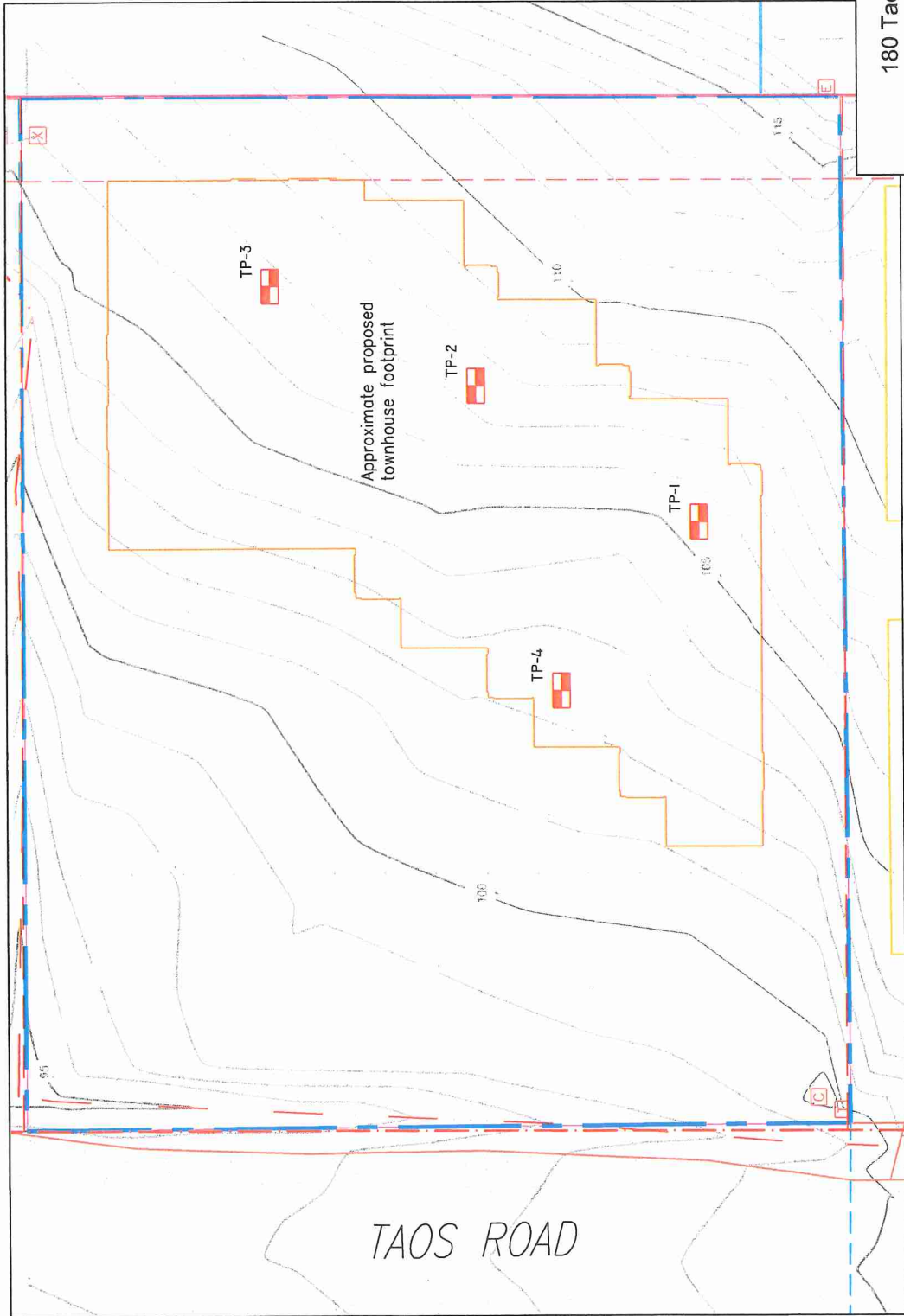
**VICINITY MAP**

February 2011

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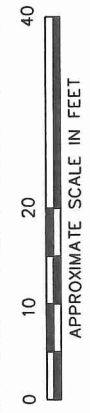
**SW** SHANNON & WILSON, INC.  
Geotechnical & Environmental Consultants

**FIG. 1**




TAOS ROAD

Adapted from drawing provided by Z Architects.



**LEGEND**

TP-1  Approximate Location of Test Pit TP-1, Advanced by Shannon & Wilson, January 2011

Contour intervals in feet.

180 Taos Road Townhouses  
Girdwood, Alaska

**SITE PLAN**













February 2011

32-1-02153

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Geotechnical and Environmental Consultants

**FIG. 2**

# Unified Soil Classification System

GROUP NAME Criteria for Assigning Group Names and Group Symbols			Soil Classification Group Symbol with Generalized Group Descriptions				
<b>COARSE-GRAINED SOILS</b> more than 50% retained on No. 200 sieve	<b>GRAVELS</b> 50% or more of coarse fraction retained on No. 4 sieve	Clean <b>GRAVELS</b> Less than 5% fines		GW	Well-graded Gravels		
		GRAVELS with fines More than 12% fines		GP	Poorly-graded Gravels		
		<b>SANDS</b> More than 50% of coarse fraction passes No. 4 sieve	Clean <b>SANDS</b> Less than 5% fines		SW	Well-graded Sands	
			SANDS with fines More than 12% fines		SP	Poorly-graded Sands	
	<b>FINE-GRAINED SOILS</b> 50% or more passes the No. 200 sieve	<b>SILTS AND CLAYS</b> Liquid limit 50% or less	INORGANIC		ML	Non-plastic & Low-plasticity Silts	
			ORGANIC		CL	Low-plasticity Clays	
			<b>SILTS AND CLAYS</b> Liquid limit greater than 50%	INORGANIC		OL	Non-plastic and Low-plasticity Organic Clays
				ORGANIC		OH	Non-plastic and Low-plasticity Organic Silts
<b>HIGHLY ORGANIC SOILS</b>		Primarily organic matter, dark in color, and organic odor	INORGANIC		CH	High-plasticity Clays	
			ORGANIC		MH	High-plasticity Silts	
			INORGANIC		OH	High-plasticity Organic Clays	
			ORGANIC		PT	Peat	

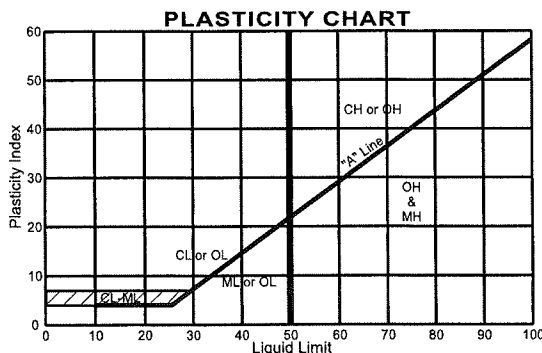
**Descriptive Terminology Denoting Component Proportions**

Description	Range of Proportion
Add the adjective "slightly"	5 - 12%
Add soil adjective <sup>(a)</sup>	12 - 50%
Major proportion in upper case, (e.g., SAND)	>50%

(a) Use gravelly, sandy, or silty as appropriate  
 NOTE: The soil descriptions used in the boring logs lists constituents from smallest percentage to largest percentage.

**Organic Content**

Adjective	Percent by Volume
Occasional	0-1
Scattered	1-10
Numerous	10-30
Organic	30-50, minor constituent
Peat	50-100, MAJOR constituent



180 Taos Road Townhouses  
Girdwood, Alaska

**SOIL CLASSIFICATION LEGEND**

February 2011

32-1-02153

# FROST CLASSIFICATION

(after Municipality of Anchorage)

GROUP		0.02 Mil.	P-200	USC SYSTEM (based on P-200 results)
NFS	Sandy Soils	0 to 3	0 to 6	SW, SP, SW-SM, SP-SM
	Gravelly Soils	0 to 3	0 to 6	GW, GP, GW-GM, GP-GM
F1	Gravelly Soils	3 to 10	6 to 13	GM, GW-GM, GP-GM
F2	Sandy Soils	3 to 15	6 to 19	SP-SM, SW-SM, SM
	Gravelly Soils	10 to 20	13 to 25	GM
F3	Sands, except very fine silty sands**	Over 15	Over 19	SM, SC
	Gravelly Soils	Over 20	Over 25	GM, GC
	Clays, PI>12			CL, CH
F4	All Silts			ML, MH
	Very fine silty sands**	Over 15	Over 19	SM, SC
	Clays, PI<12			CL, CL-ML
	Varved clays and other fined grained, banded sediments			CL and ML CL, ML, and SM; SL, SH, and ML; CL, CH, ML, and SM

P-200 = Percent passing the number 200 sieve  
 0.02 Mil. = Percent material below 0.02 millimeter grain size

\*Approximate P-200 value equivalent for frost classification.  
 Value range based on typical, well-graded soil curves.

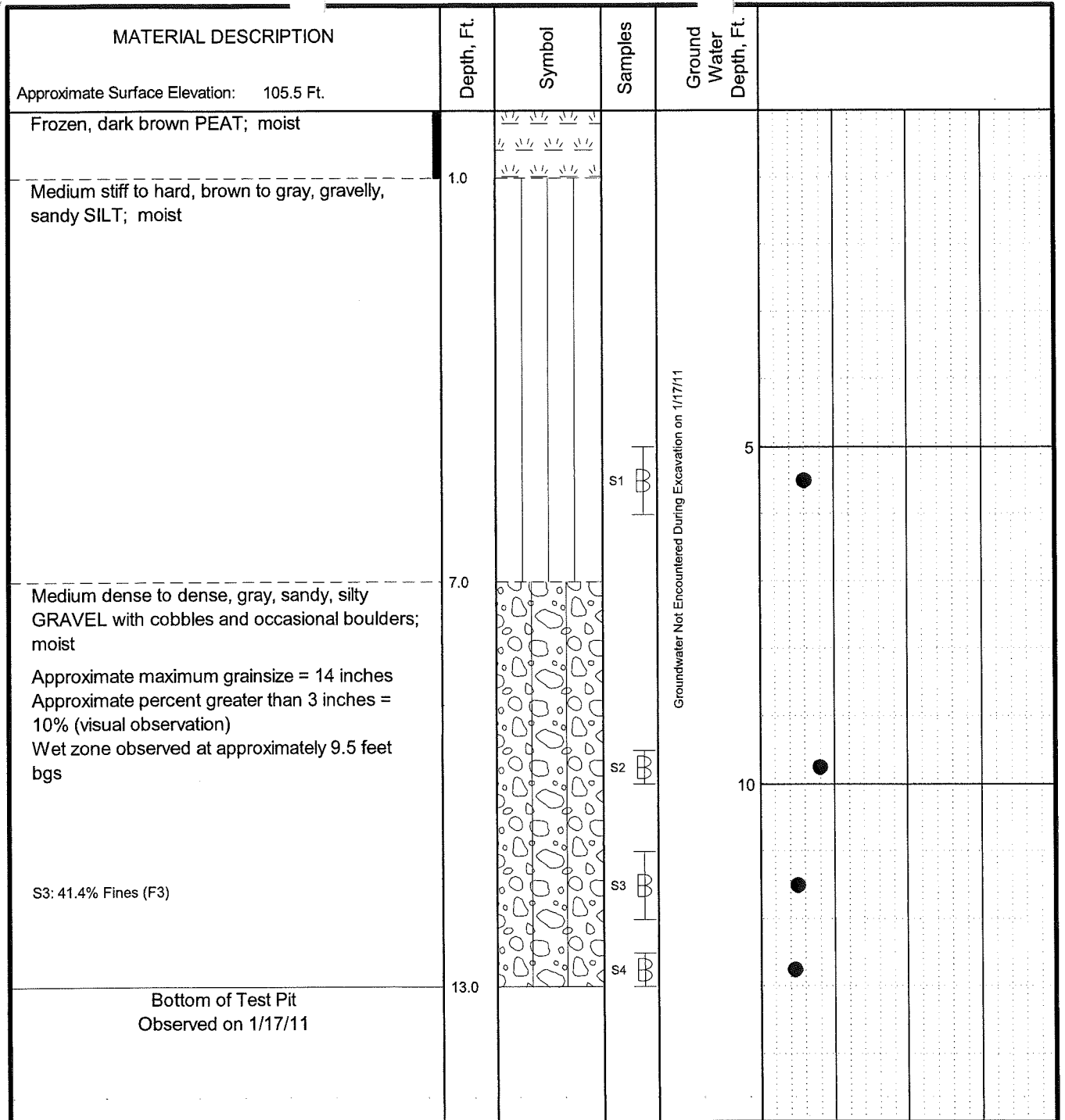
\*\* Very fine sand : greater than 50% of sand fraction passing the number 100 sieve

180 Taos Road Townhouses  
 Girdwood, Alaska

## FROST CLASSIFICATION LEGEND

February 2011

32-1-02153



**LEGEND**

Grab Sample

Frozen

● % Water Content

Plastic Limit —●— Liquid Limit  
Natural Water Content

**NOTES**

- The stratification lines represent the approximate boundaries between soil types, and the transition may be gradual.
- The discussion in the text of this report is necessary for a proper understanding of the nature of subsurface materials.
- Water level, if indicated above, is for the date specified and may vary.

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Girdwood, Alaska

**LOG OF TEST PIT TP-1**

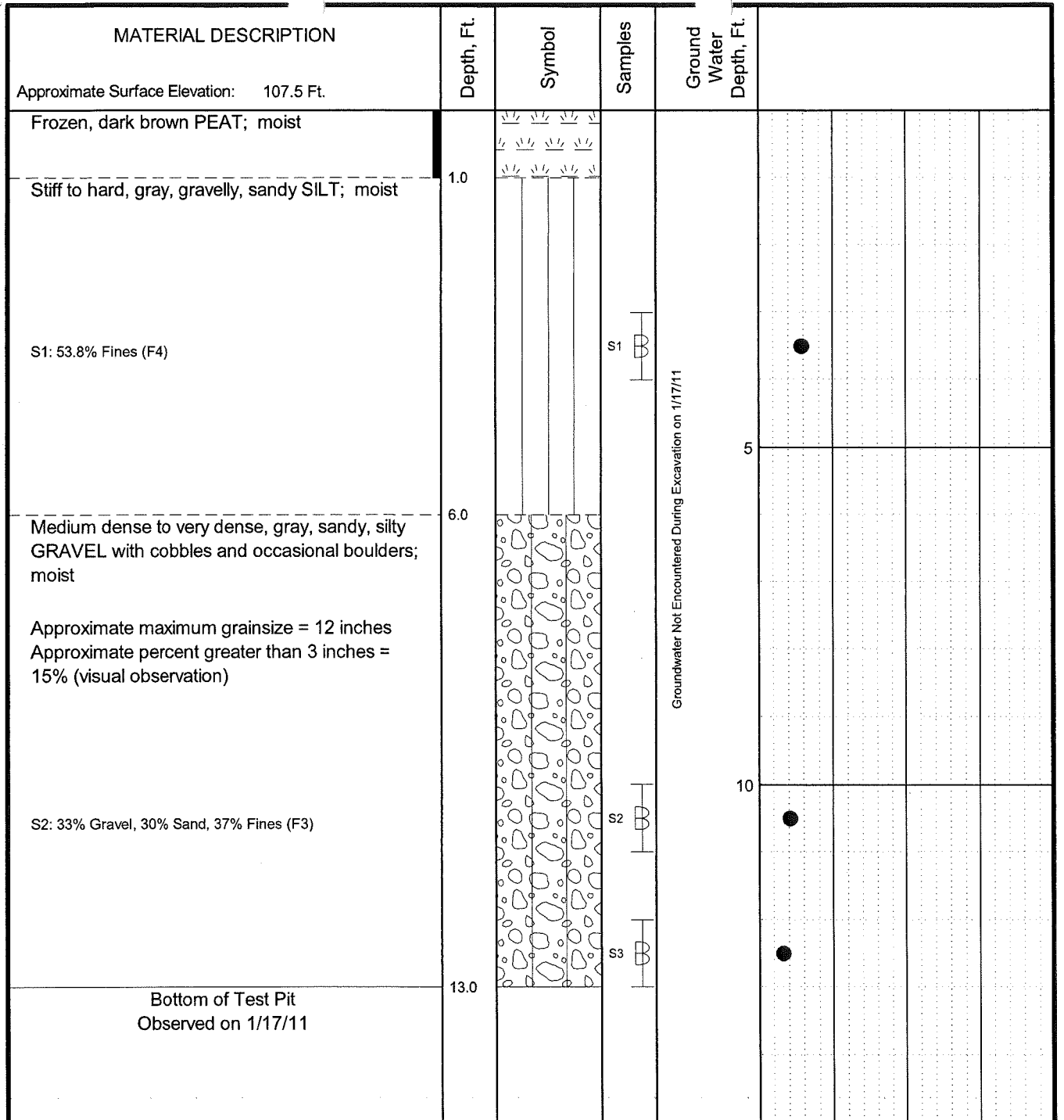
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**FIG. 5**

TEST PIT 02153 GINT.GPJ S&W GEO.GDT 2/16/11



0 25 50 75 100

**LEGEND**

Grab Sample

Frozen

● % Water Content

Plastic Limit Liquid Limit  
Natural Water Content

**NOTES**

- The stratification lines represent the approximate boundaries between soil types, and the transition may be gradual.
- The discussion in the text of this report is necessary for a proper understanding of the nature of subsurface materials.
- Water level, if indicated above, is for the date specified and may vary.

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Girdwood, Alaska

**LOG OF TEST PIT TP-2**

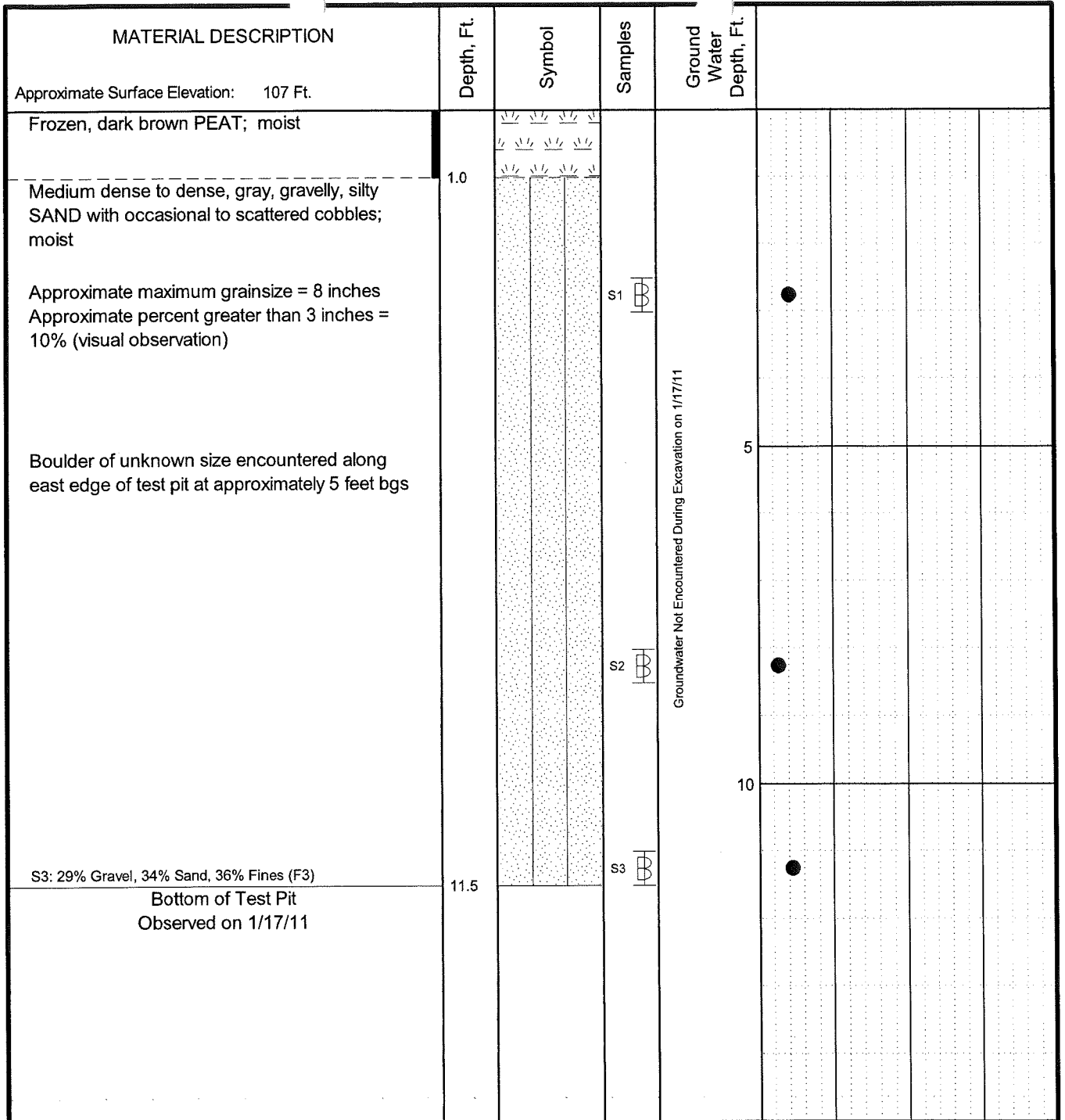
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**FIG. 6**

TEST PIT 02153 GINT.GPJ S&W GEO.GDT 2/16/11



**LEGEND**

Grab Sample

Frozen

● % Water Content  
 Plastic Limit —●— Liquid Limit  
 Natural Water Content

**NOTES**

1. The stratification lines represent the approximate boundaries between soil types, and the transition may be gradual.
2. The discussion in the text of this report is necessary for a proper understanding of the nature of subsurface materials.
3. Water level, if indicated above, is for the date specified and may vary.

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Girdwood, Alaska

**LOG OF TEST PIT TP-3**

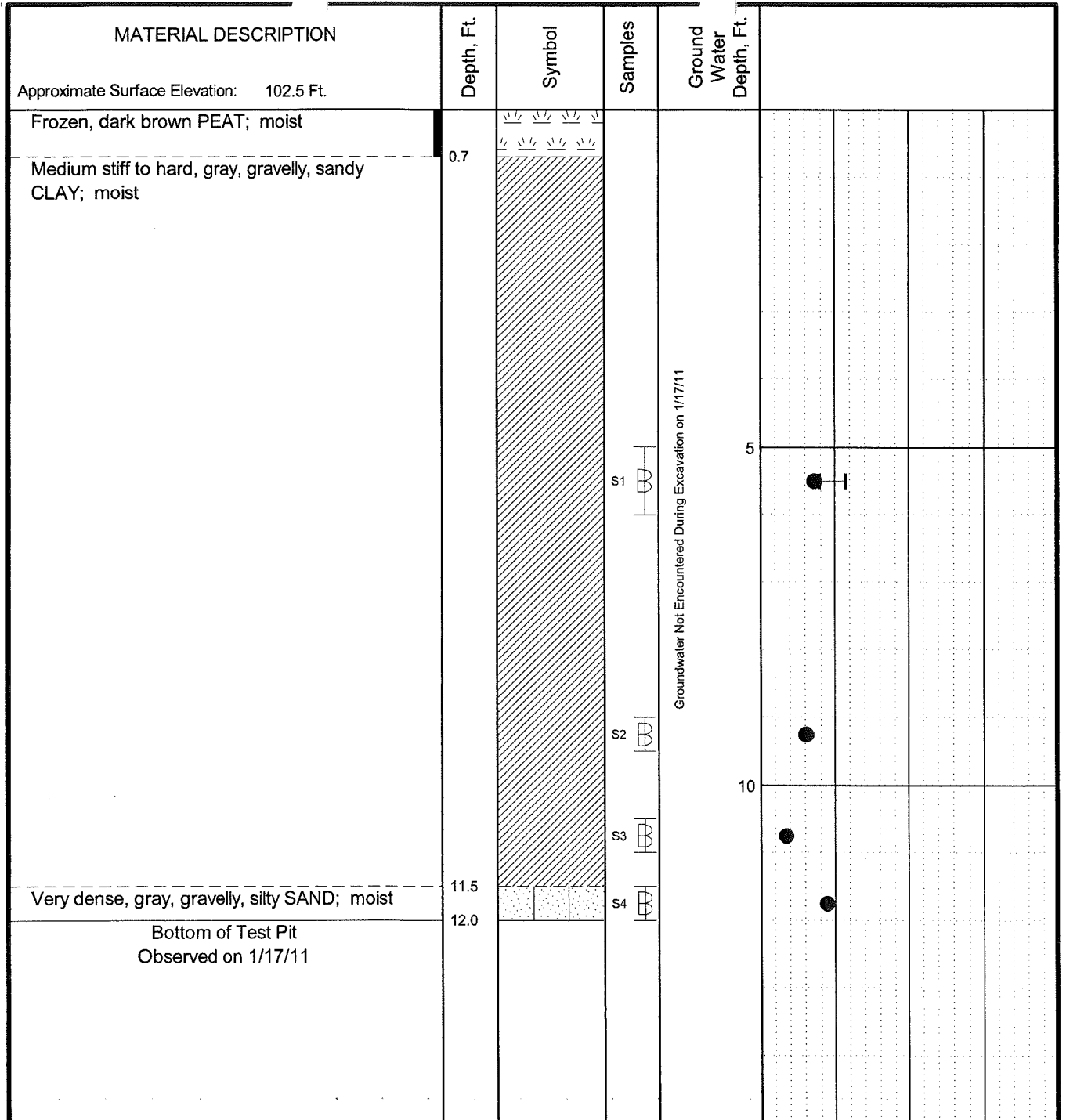
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**FIG. 7**

TEST PIT 02153 GINT.GPJ S&W GEO.GDT 2/16/11



**LEGEND**

Grab Sample

Frozen

● % Water Content  
 Plastic Limit —●— Liquid Limit  
 Natural Water Content

**NOTES**

1. The stratification lines represent the approximate boundaries between soil types, and the transition may be gradual.
2. The discussion in the text of this report is necessary for a proper understanding of the nature of subsurface materials.
3. Water level, if indicated above, is for the date specified and may vary.

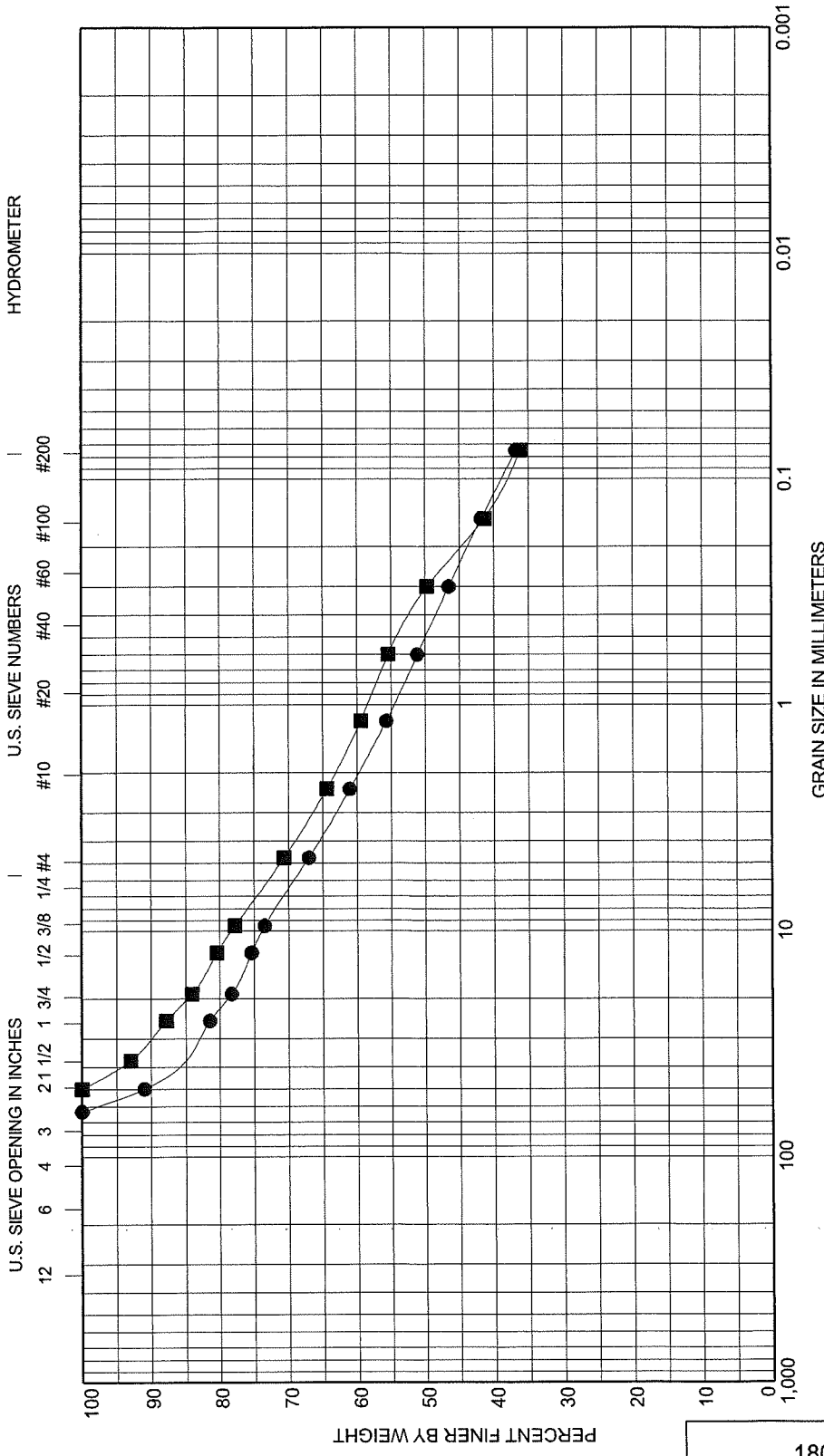
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**LOG OF TEST PIT TP-4**

February 2011

32-1-02153

TEST PIT 02153 GINT.GPJ S&W GEO.GDT 2/16/11



Sample	Depth, Ft	GRAVEL			SAND			SILT OR CLAY				
		coarse	fine		coarse	medium	fine	LL	PL	PI	Cc	Cu
● TP-2 S2	10.0 - 11.0	Sandy, silty GRAVEL (GM)										
■ TP-3 S3	11.0 - 11.5	Gravelly, silty SAND (SM)										
Sample	Depth, Ft	D100	D60	D30	D10	%Gravel	%Sand	%Silt	%Clay			
● TP-2 S2	10.0 - 11.0	63	2.05			33	30					37
■ TP-3 S3	11.0 - 11.5	50	1.27			29	34					36

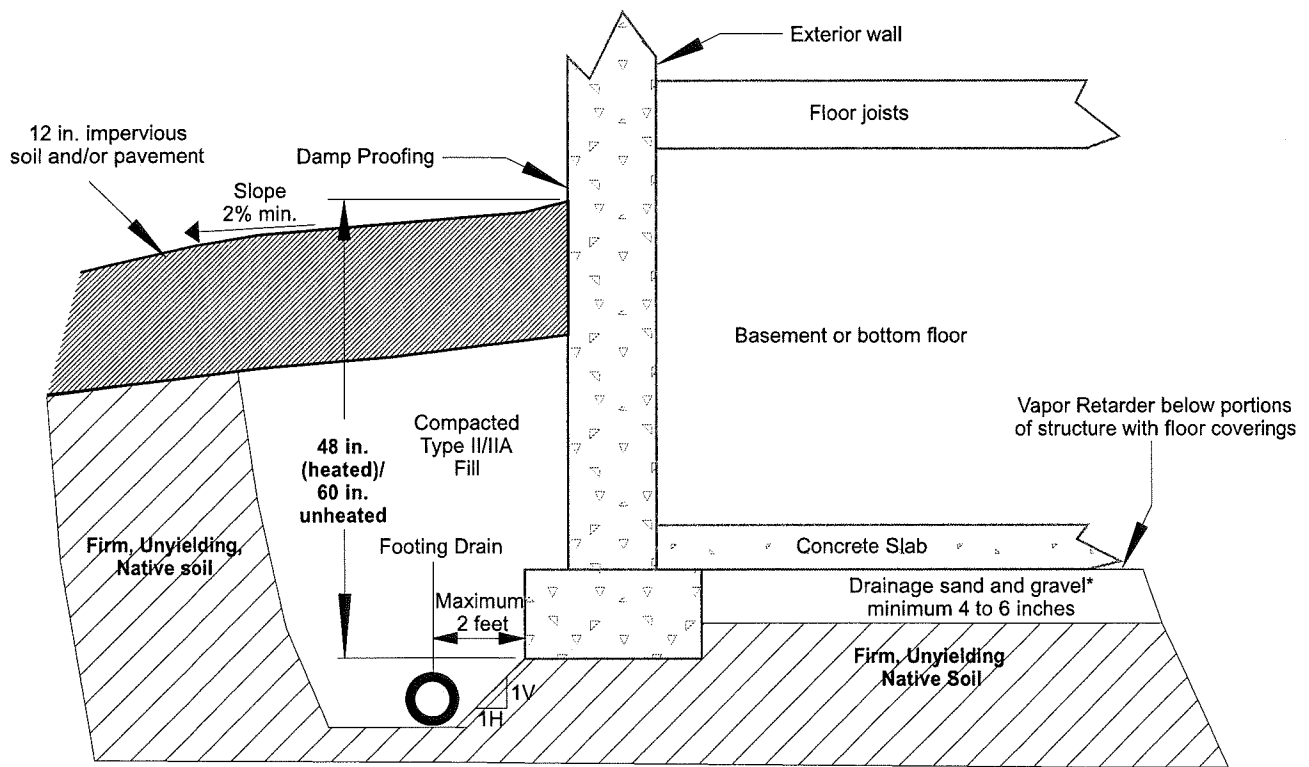
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**GRAIN SIZE CLASSIFICATION**

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**NOTES:**

1. All backfill should be placed in layers not exceeding 10 to 12 inches loose thickness and densely compacted. Structural fill should be compacted to 95% minimum, non-structural fill compacted to 90%, of ASTM D1557.
2. Backfill within 18 inches of the wall should be placed in layers not exceeding 6 inches and densely compacted with hand-operated equipment. Heavy equipment should not be used for backfill, as such equipment operated near the wall could increase lateral earth pressures and possibly damage the wall.

\* Sand and gravel below the floor slab should be well-graded, free-draining, and contain less than 6% fines (material passing the No. 200 sieve based on the minus 3/4-inch portion). It should be placed in maximum 6-inch loose lifts and compacted to 95% of its maximum density as determined by the Modified Proctor compaction procedure (ASTM D1557).

DRAWING NOT TO SCALE

OSHA requires slope protection and support for all trenches greater than 4 feet deep. Side slope requirements are variable depending upon soil type and the duration of time in which the trench remains open. The contractor should be made responsible for compliance to these regulations as they are at the project site on a day to day basis and are aware of changing conditions.

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Girdwood, Alaska

**FLOOR SLAB AND FOOTING DETAIL**

February 2011

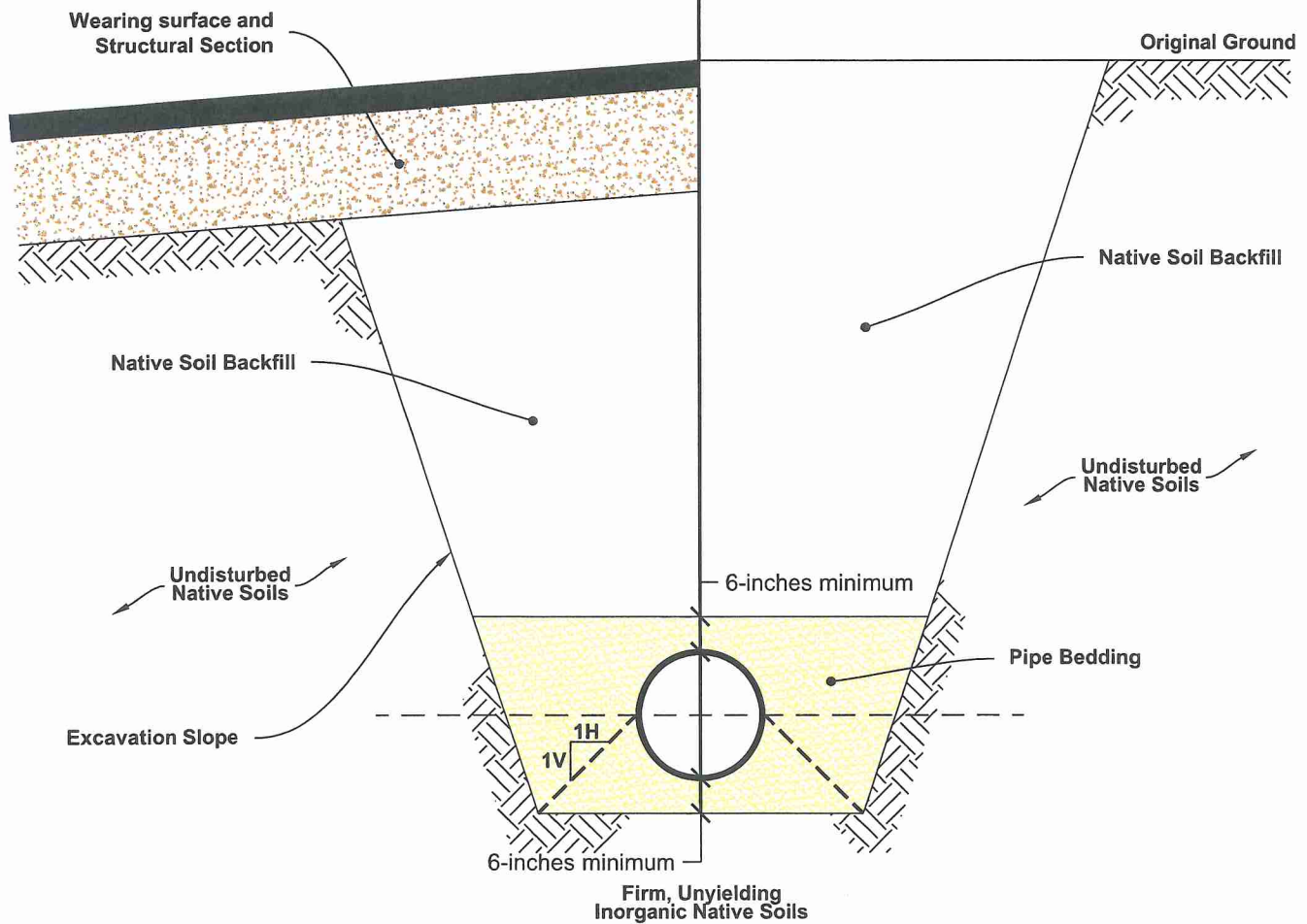
32-1-02153

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**FIG. 11**

## Trench Under Paved Areas

## Trench Under Non-Structural Areas



### NOTES

1. Trench backfill under paved areas should be placed in loose lifts not to exceed 12 inches and compacted to at least 95 percent of its maximum dry density as determined by ASTM D-1557.
2. Trench backfill under non-structural areas should be placed in loose lifts not to exceed 18 inches and compacted to at least 90 percent of its maximum dry density as determined by ASTM D-1557.
3. Pipe bedding should conform to MOA Class C bedding material or as recommended by pipe manufacturer.
4. Pipe bedding and cover thickness shown above should be used absent pipe manufacturer requirements.

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### UTILITY TRENCH DETAIL

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32-1-02153



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FIG. 12

# GRADATION REQUIREMENTS

(Adapted from Municipality of Anchorage Standard Specifications, 2009)

## LEVELING COURSE

U.S. STANDARD SIEVE SIZE		PERCENT PASSING BY WEIGHT
English	Metric	
1 in.	25.0 mm	100
3/4 in.	19.0 mm	70 - 100
3/8 in.	9.5 mm	50 - 80
No. 4	4.75 mm	35 - 65
No. 8	2.36 mm	20 - 50
No. 50	0.30 mm	10 - 30
No. 200	0.075 mm	3 - 8*

## TYPE II BASE

U.S. STANDARD SIEVE SIZE		PERCENT PASSING BY WEIGHT
8 in.	-	
3 in.	75 mm	70 - 100
1-1/2 in.	37.5 mm	55 - 100
3/4 in.	19.0 mm	45 - 85
No. 4	4.75 mm	20 - 60
No. 10	2.00 mm	12 - 50
No. 40	0.425 mm	4 - 30
No. 200	0.075 mm	2 - 6**

## TYPE II-A BASE

U.S. STANDARD SIEVE SIZE		PERCENT PASSING BY WEIGHT
3 in.	75 mm	
3/4 in.	19.0 mm	50 - 100
No. 4	4.75 mm	25 - 60
No. 10	2.00 mm	15 - 50
No. 40	0.425 mm	4 - 30
No. 200	0.075 mm	2 - 6***

\* The fraction passing the No. 200 sieve shall not exceed 75 percent of the fraction passing the No. 50 sieve.

\*\* The fraction passing the No. 200 sieve shall not exceed 15 percent of the fraction passing the No. 4 sieve.

\*\*\* The fraction passing the No. 200 sieve shall not exceed 20 percent of the fraction passing the No. 4 sieve.

180 Taos Road Townhouses  
Girdwood, Alaska

## GRADATION REQUIREMENTS

February 2011

32-1-02153

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**APPENDIX A**  
**IMPORTANT INFORMATION ABOUT YOUR**  
**GEOTECHNICAL/ENVIRONMENTAL REPORT**



Date: February 2011  
To: Z Architects  
Re: 180 Taos Road Townhouses, Girdwood,  
Alaska

## **Important Information About Your Geotechnical/Environmental Report**

### **CONSULTING SERVICES ARE PERFORMED FOR SPECIFIC PURPOSES AND FOR SPECIFIC CLIENTS.**

Consultants prepare reports to meet the specific needs of specific individuals. A report prepared for a civil engineer may not be adequate for a construction contractor or even another civil engineer. Unless indicated otherwise, your consultant prepared your report expressly for you and expressly for the purposes you indicated. No one other than you should apply this report for its intended purpose without first conferring with the consultant. No party should apply this report for any purpose other than that originally contemplated without first conferring with the consultant.

### **THE CONSULTANT'S REPORT IS BASED ON PROJECT-SPECIFIC FACTORS.**

A geotechnical/environmental report is based on a subsurface exploration plan designed to consider a unique set of project-specific factors. Depending on the project, these may include: the general nature of the structure and property involved; its size and configuration; its historical use and practice; the location of the structure on the site and its orientation; other improvements such as access roads, parking lots, and underground utilities; and the additional risk created by scope-of-service limitations imposed by the client. To help avoid costly problems, ask the consultant to evaluate how any factors that change subsequent to the date of the report may affect the recommendations. Unless your consultant indicates otherwise, your report should not be used: (1) when the nature of the proposed project is changed (for example, if an office building will be erected instead of a parking garage, or if a refrigerated warehouse will be built instead of an unrefrigerated one, or chemicals are discovered on or near the site); (2) when the size, elevation, or configuration of the proposed project is altered; (3) when the location or orientation of the proposed project is modified; (4) when there is a change of ownership; or (5) for application to an adjacent site. Consultants cannot accept responsibility for problems that may occur if they are not consulted after factors, which were considered in the development of the report, have changed.

### **SUBSURFACE CONDITIONS CAN CHANGE.**

Subsurface conditions may be affected as a result of natural processes or human activity. Because a geotechnical/environmental report is based on conditions that existed at the time of subsurface exploration, construction decisions should not be based on a report whose adequacy may have been affected by time. Ask the consultant to advise if additional tests are desirable before construction starts; for example, groundwater conditions commonly vary seasonally.

Construction operations at or adjacent to the site and natural events such as floods, earthquakes, or groundwater fluctuations may also affect subsurface conditions and, thus, the continuing adequacy of a geotechnical/environmental report. The consultant should be kept apprised of any such events, and should be consulted to determine if additional tests are necessary.

### **MOST RECOMMENDATIONS ARE PROFESSIONAL JUDGMENTS.**

Site exploration and testing identifies actual surface and subsurface conditions only at those points where samples are taken. The data were extrapolated by your consultant, who then applied judgment to render an opinion about overall subsurface conditions. The actual interface between materials may be far more gradual or abrupt than your report indicates. Actual conditions in areas not sampled may differ from those predicted in your report. While nothing can be done to prevent such situations, you and your consultant can work together to help reduce their impacts. Retaining your consultant to observe subsurface construction operations can be particularly beneficial in this respect.

**A REPORT'S CONCLUSIONS ARE PRELIMINARY.**

The conclusions contained in your consultant's report are preliminary because they must be based on the assumption that conditions revealed through selective exploratory sampling are indicative of actual conditions throughout a site. Actual subsurface conditions can be discerned only during earthwork; therefore, you should retain your consultant to observe actual conditions and to provide conclusions. Only the consultant who prepared the report is fully familiar with the background information needed to determine whether or not the report's recommendations based on those conclusions are valid and whether or not the contractor is abiding by applicable recommendations. The consultant who developed your report cannot assume responsibility or liability for the adequacy of the report's recommendations if another party is retained to observe construction.

**THE CONSULTANT'S REPORT IS SUBJECT TO MISINTERPRETATION.**

Costly problems can occur when other design professionals develop their plans based on misinterpretation of a geotechnical/environmental report. To help avoid these problems, the consultant should be retained to work with other project design professionals to explain relevant geotechnical, geological, hydrogeological, and environmental findings, and to review the adequacy of their plans and specifications relative to these issues.

**BORING LOGS AND/OR MONITORING WELL DATA SHOULD NOT BE SEPARATED FROM THE REPORT.**

Final boring logs developed by the consultant are based upon interpretation of field logs (assembled by site personnel), field test results, and laboratory and/or office evaluation of field samples and data. Only final boring logs and data are customarily included in geotechnical/environmental reports. These final logs should not, under any circumstances, be redrawn for inclusion in architectural or other design drawings, because drafters may commit errors or omissions in the transfer process.

To reduce the likelihood of boring log or monitoring well misinterpretation, contractors should be given ready access to the complete geotechnical engineering/environmental report prepared or authorized for their use. If access is provided only to the report prepared for you, you should advise contractors of the report's limitations, assuming that a contractor was not one of the specific persons for whom the report was prepared, and that developing construction cost estimates was not one of the specific purposes for which it was prepared. While a contractor may gain important knowledge from a report prepared for another party, the contractor should discuss the report with your consultant and perform the additional or alternative work believed necessary to obtain the data specifically appropriate for construction cost estimating purposes. Some clients hold the mistaken impression that simply disclaiming responsibility for the accuracy of subsurface information always insulates them from attendant liability. Providing the best available information to contractors helps prevent costly construction problems and the adversarial attitudes that aggravate them to a disproportionate scale.

**READ RESPONSIBILITY CLAUSES CLOSELY.**

Because geotechnical/environmental engineering is based extensively on judgment and opinion, it is far less exact than other design disciplines. This situation has resulted in wholly unwarranted claims being lodged against consultants. To help prevent this problem, consultants have developed a number of clauses for use in their contracts, reports and other documents. These responsibility clauses are not exculpatory clauses designed to transfer the consultant's liabilities to other parties; rather, they are definitive clauses that identify where the consultant's responsibilities begin and end. Their use helps all parties involved recognize their individual responsibilities and take appropriate action. Some of these definitive clauses are likely to appear in your report, and you are encouraged to read them closely. Your consultant will be pleased to give full and frank answers to your questions.

The preceding paragraphs are based on information provided by the  
ASFE/Association of Engineering Firms Practicing in the Geosciences, Silver Spring, Maryland