

# MUNICIPALITY OF ANCHORAGE



Community Development Department

Phone: 907-343-7931

Fax: 907-343-7927

*Mayor Dan Sullivan*

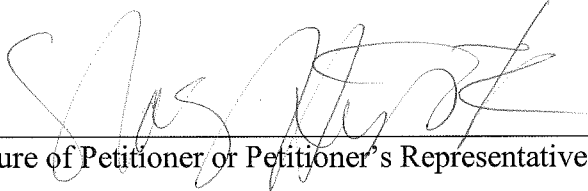
## Title 21 Code Selection

For review and approval of my project, Lot 2+Lot 3, Block 1, Lucky Huffman Sub.,  
I choose to be regulated by:

"Old" Title 21 (expires December 31, 2015)

"New" Title 21 (becomes effective January 1, 2014)

I understand that my application will be reviewed and acted on using the provisions of the code version I have selected, and that this selection is final.\*

  
Signature of Petitioner or Petitioner's Representative

4-14-15  
Date

Stacy Hipsak  
Printed Name

\*Should the petitioner wish to switch the applicable version of code at any time after this form is submitted, a new application is required and new application fees will be assessed. The case will then be scheduled as a new application in accordance with the cut-off date schedule.

For office use only:

512176      512176 - - JUN 08 2015  
Permit/Case Number

10/30/14

# Application for Preliminary Plat

Municipality of Anchorage  
 Planning Department  
 PO Box 196650  
 Anchorage, AK 99519-6650

Please fill in the information asked for below.


PETITIONER*		PETITIONER REPRESENTATIVE (IF ANY)	
Name (last name first)	Larry Partusch	Name (last name first)	Moore, Taylor
Mailing Address	V.A. Wrigley LLC	Mailing Address	Enterprise Engineering, Inc
	8301 Schoon Street, Anchorage AK 99518		2525 Gambell st, Anchorage AK 99503
Contact Phone: Day:	242-2683	Contact Phone: Day:	(907) 563-3835
	Night:		Night:
FAX:		FAX:	(907) 563-3817
E-mail:	partusch@gci.net	E-mail:	mooret@eeiteam.com


\*Report additional petitioners or disclose other co-owners on supplemental form. Failure to divulge other beneficial interest owners may delay processing of this application.

PROPERTY INFORMATION		
Property Tax #(000-000-00-000): 016-191-87-000 & 016-191-89-000		
Site Street Address: N/A		
Current legal description: (use additional sheet if necessary)		
Lot 1 and Lot 3, Block 1, Lucky Huffman Subdivision, per plat 2013-62, Anchorage Recording District, Third Judicial District, State of Alaska, AK		
Zoning: I-1	Acreage: 3.718	Grid # SW 2732
# Lots: 2	# Tracts: 0	Total # parcels: 2

PROPOSED SUBDIVISION INFORMATION		
Proposed legal description: (use additional sheet in necessary)		
Lot 1A, Block 1, Lucky Huffman Subdivision		
Tract A		
# Lots: 1	# Tracts: 0	Total # parcels: 1

I hereby certify that (I am)(I have been authorized to act for) owner of the property described above and that I petition to subdivide it in conformance with Title 21 of the Anchorage Municipal, Code of Ordinances. I understand that payment of the application fee is nonrefundable and is to cover the costs associated with processing this application, and that it does not assure approval of the subdivision. I also understand that assigned hearing dates are tentative and may have to be postponed by Planning Department staff or the Platting Board, Planning and Zoning Commission, or the Assembly for administrative reasons.

4/14/2015	
Date	Signature (Agents must provide written proof of authorization)

Accepted by: 	Poster & Affidavit: N/A	Fee \$2,250	Case Number S12176
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S 1 2 1 7 6 - - JUN 0 8 2015

Application for Preliminary Plat continued

<b>COMPREHENSIVE PLAN INFORMATION</b>			
Anchorage 2020 Urban/Rural Services: <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Rural			
Anchorage 2020 West Anchorage Planning Area: <input type="checkbox"/> Inside <input checked="" type="checkbox"/> Outside			
Anchorage 2020 Major Urban Elements: Site is within or abuts:			
<input type="checkbox"/> Major Employment Center	<input type="checkbox"/> Redevelopment/Mixed Use Area	<input checked="" type="checkbox"/> Town Center	
<input type="checkbox"/> Neighborhood Commercial Center	<input type="checkbox"/> Industrial Center		
<input type="checkbox"/> Transit - Supportive Development Corridor			
Eagle River-Chugiak-Peters Creek Land Use Classification:			
<input type="checkbox"/> Commercial	<input type="checkbox"/> Industrial	<input type="checkbox"/> Parks/opens space	<input type="checkbox"/> Public Land Institutions
<input type="checkbox"/> Marginal land	<input type="checkbox"/> Alpine/Slope Affected	<input type="checkbox"/> Special Study	
<input type="checkbox"/> Residential at _____ dwelling units per acre			
Girdwood- Turnagain Arm			
<input type="checkbox"/> Commercial	<input type="checkbox"/> Industrial	<input type="checkbox"/> Parks/opens space	<input type="checkbox"/> Public Land Institutions
<input type="checkbox"/> Marginal land	<input type="checkbox"/> Alpine/Slope Affected	<input type="checkbox"/> Special Study	
<input type="checkbox"/> Residential at _____ dwelling units per acre			

<b>ENVIRONMENTAL INFORMATION</b> (All or portion of site affected)					
Wetland Classification:	<input checked="" type="checkbox"/> None	<input type="checkbox"/> "C"	<input type="checkbox"/> "B"	<input type="checkbox"/> "A"	
Avalanche Zone:	<input checked="" type="checkbox"/> None	<input type="checkbox"/> Blue Zone	<input type="checkbox"/> Red Zone		
Floodplain:	<input checked="" type="checkbox"/> None	<input type="checkbox"/> 100 year	<input type="checkbox"/> 500 year		
Seismic Zone (Harding/Lawson):	<input type="checkbox"/> "1"	<input checked="" type="checkbox"/> "2"	<input type="checkbox"/> "3"	<input type="checkbox"/> "4"	<input type="checkbox"/> "5"

<b>RECENT REGULATORY INFORMATION</b> (Events that have occurred in last 5 years for all or portion of site)	
<input type="checkbox"/> Rezoning - Case Number: n/a	
<input type="checkbox"/> Preliminary Plat <input checked="" type="checkbox"/> Final Plat - Case Number(s): S 11972-1	
<input type="checkbox"/> Conditional Use - Case Number(s): n/a	
<input type="checkbox"/> Zoning variance - Case Number(s): n/a	
<input type="checkbox"/> Land Use Enforcement Action for n/a	
<input type="checkbox"/> Building or Land Use Permit for n/a	
<input type="checkbox"/> Wetland permit: <input type="checkbox"/> Army Corp of Engineers <input type="checkbox"/> Municipality of Anchorage n/a	

<b>POTABLE WATER AND WASTE WATER DISPOSAL</b>			
Potable Water provide by:	<input checked="" type="checkbox"/> Public utility	<input type="checkbox"/> Community well	<input type="checkbox"/> Private well
Wastewater disposal method:	<input checked="" type="checkbox"/> Public utility	<input type="checkbox"/> Community system	<input type="checkbox"/> Private on-site

<b>APPLICATION CHECKLIST</b>			
Fee: \$1350			
Plat: Copies	<input type="checkbox"/> 45 (long plats)	<input checked="" type="checkbox"/> 35 (short plats only)	<input checked="" type="checkbox"/> 8½x11 reduced copy
Other maps	<input checked="" type="checkbox"/> Aerial photo	<input type="checkbox"/> Housing stock	<input checked="" type="checkbox"/> Zoning <input checked="" type="checkbox"/> Watershed sign off
(45 copies of all for long plat, 35 for short plat, including application copy. Original application must be submitted)			
Mandatory on plat depictions:	<input type="checkbox"/> Pedestrian walkway	<input type="checkbox"/> Landscaping required by zoning	
Property Title: <input checked="" type="checkbox"/> Certificate to Plat			
Additional required documents unless specifically waived by Platting Officer:			
<input checked="" type="checkbox"/> Site topography (4 copies minimum)		Waived by _____	
<input type="checkbox"/> Soils investigation and analysis reports (4 copies minimum) N/A		Waived by _____	
<input type="checkbox"/> Subdivision drainage plan N/A		Waived by _____	

# Application for Right-of-Way and Easement Vacation

Municipality of Anchorage  
 Planning Department  
 PO Box 196650  
 Anchorage, AK 99519-6650

Please fill in the information asked for below.

PETITIONER*	PETITIONER REPRESENTATIVE (IF ANY)
Name (last name first) Larry Partusch	Name (last name first) Moore, Taylor
Mailing Address V.A. Wrigley LLC 8301 Schoon Street, Anchorage AK 99518	Mailing Address Enterprise Engineering, Inc 2525 Gambell st, Anchorage AK 99503
Contact Phone: Day: 242-2683      Night:	Contact Phone: Day: (907) 563-3835      Night:
FAX:	FAX: 563-3953
E-mail: partusch@gci.net	E-mail: mooret@eiteam.com

\*Report additional petitioners or disclose other co-owners on supplemental form. Failure to divulge other beneficial interest owners may delay processing of this application.

RIGHT-OF-WAY AND/OR INFORMATION		
Benefiting Property Tax #(000-000-00-000): 016-191-87-000 & 016-191-89-000		
Site Street Address: N/A		
Description of right-of-way/easement: (use additional sheet if necessary)		
The 10' Telecommunication and Electric easement located on the South 10 feet of Lot 1, Block 1, Lucky Huffman Subdivision, per plat 2013-62. The 10' Telecommunication and Electric easement located on the North 10 feet of Lot 3, Block 1, Lucky Huffman Subdivision, per plat 2013-62.		
Zoning: I-2	Acreage: 3.718	Grid # SW 2732
# Lots: 2	# Tracts:	Total # parcels: 2

I hereby certify that (I am)(I have been authorized to act for) owner of the property described above and that I petition to vacate it in conformance with Title 21 of the Anchorage Municipal, Code of Ordinances. I understand that payment of the application fee is nonrefundable and is to cover the costs associated with processing this application, and that it does not assure approval of the vacation. I also understand that assigned hearing dates are tentative and may have to be postponed by Planning Department staff, the Platting Board, or Planning and Zoning Commission for administrative reasons.

4/16/2015	
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Date

Signature (Agents must provide written proof of authorization)

S 1 2 1 7 6 - - JUN 0 8 2015

Accepted by:

Poster & Affidavit:

Fee

Case Number

Application for vacation continued

<b>COMPREHENSIVE PLAN INFORMATION</b>			
Anchorage 2020 Urban/Rural Services: <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Rural			
Anchorage 2020 West Anchorage Planning Area: <input type="checkbox"/> Inside <input checked="" type="checkbox"/> Outside			
Anchorage 2020 Major Urban Elements: Site is within or abuts:			
<input type="checkbox"/> Major Employment Center	<input type="checkbox"/> Redevelopment/Mixed Use Area	<input checked="" type="checkbox"/> Town Center	
<input type="checkbox"/> Neighborhood Commercial Center	<input type="checkbox"/> Industrial Center		
<input type="checkbox"/> Transit - Supportive Development Corridor			
Eagle River-Chugiak-Peters Creek Land Use Classification:			
<input type="checkbox"/> Commercial	<input type="checkbox"/> Industrial	<input type="checkbox"/> Parks/opens space	<input type="checkbox"/> Public Land Institutions
<input type="checkbox"/> Marginal land	<input type="checkbox"/> Alpine/Slope Affected	<input type="checkbox"/> Special Study	
<input type="checkbox"/> Residential at _____ dwelling units per acre			
Girdwood- Turnagain Arm			
<input type="checkbox"/> Commercial	<input type="checkbox"/> Industrial	<input type="checkbox"/> Parks/opens space	<input type="checkbox"/> Public Land Institutions
<input type="checkbox"/> Marginal land	<input type="checkbox"/> Alpine/Slope Affected	<input type="checkbox"/> Special Study	
<input type="checkbox"/> Residential at _____ dwelling units per acre			

<b>ENVIRONMENTAL INFORMATION</b> (All or portion of site affected)					
Wetland Classification:	<input checked="" type="checkbox"/> None	<input type="checkbox"/> "C"	<input type="checkbox"/> "B"	<input type="checkbox"/> "A"	
Avalanche Zone:	<input checked="" type="checkbox"/> None	<input type="checkbox"/> Blue Zone	<input type="checkbox"/> Red Zone		
Floodplain:	<input checked="" type="checkbox"/> None	<input type="checkbox"/> 100 year	<input type="checkbox"/> 500 year		
Seismic Zone (Harding/Lawson):	<input type="checkbox"/> "1"	<input checked="" type="checkbox"/> "2"	<input type="checkbox"/> "3"	<input type="checkbox"/> "4"	<input type="checkbox"/> "5"

<b>RECENT REGULATORY INFORMATION</b> (Events that have occurred in last 5 years for all or portion of site)	
<input type="checkbox"/> Rezoning - Case Number:	
<input type="checkbox"/> Preliminary Plat <input checked="" type="checkbox"/> Final Plat - Case Number(s): S 11972-1	
<input type="checkbox"/> Conditional Use - Case Number(s):	
<input type="checkbox"/> Zoning variance - Case Number(s):	
<input type="checkbox"/> Land Use Enforcement Action for	
<input type="checkbox"/> Building or Land Use Permit for	
<input type="checkbox"/> Wetland permit: <input type="checkbox"/> Army Corp of Engineers <input type="checkbox"/> Municipality of Anchorage	

<b>POTABLE WATER AND WASTE WATER DISPOSAL</b>			
Potable Water provided by:	<input checked="" type="checkbox"/> Public utility	<input type="checkbox"/> Community well	<input type="checkbox"/> Private well
Wastewater disposal method:	<input checked="" type="checkbox"/> Public utility	<input type="checkbox"/> Community system	<input type="checkbox"/> Private on-site

<b>APPLICATION CHECKLIST</b>			
Fee: \$900			
Plat: Copies	<input type="checkbox"/> 42 each	<input checked="" type="checkbox"/> 8½x11 reduced copy	
Other maps	<input checked="" type="checkbox"/> Aerial photo	<input type="checkbox"/> Housing stock	<input checked="" type="checkbox"/> Zoning
Property Title: <input checked="" type="checkbox"/> Certificate to Plat			
Documents to provided unless waived by Platting Officer:			
<input checked="" type="checkbox"/> Site topography (4 copies minimum)	Waived by _____		
<input type="checkbox"/> Soils investigation and analysis reports (4 copies minimum)	Waived by _____		
<input type="checkbox"/> Subdivision drainage plan	Waived by _____		

*Letter of Authorization*

Re: Authorization of Representation

To whom it may concern:

Enterprise Engineering, Inc. is hereby authorized to represent:

V.A. Wrigley, LLC.  
8301 Schoon Street  
Anchorage, AK 99518

In matters relating to the platting or subdividing of the following described property:

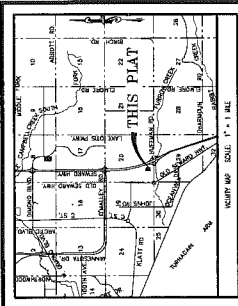
**Lot 1 and Lot 3, Block 1, Lucky Huffman Subdivision, Per Plat No. 2013-62, Anchorage  
Recording District, Third Judicial District, State of Alaska.**

Agreed to this \_\_\_\_\_ day of April 2015

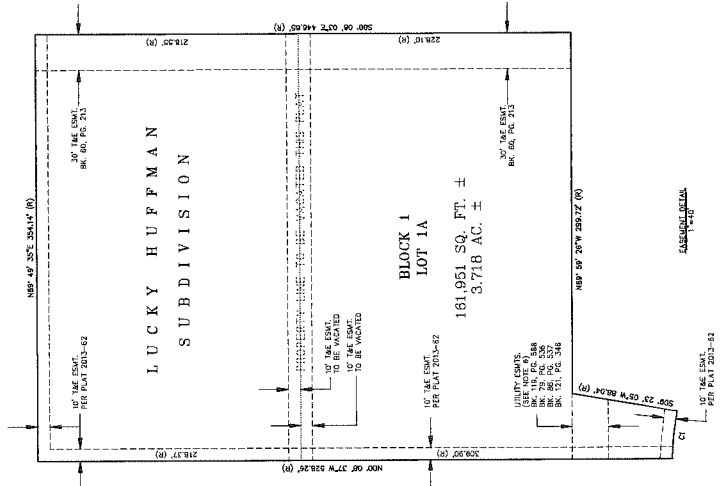
By: \_\_\_\_\_

Title: \_\_\_\_\_

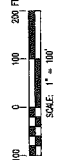
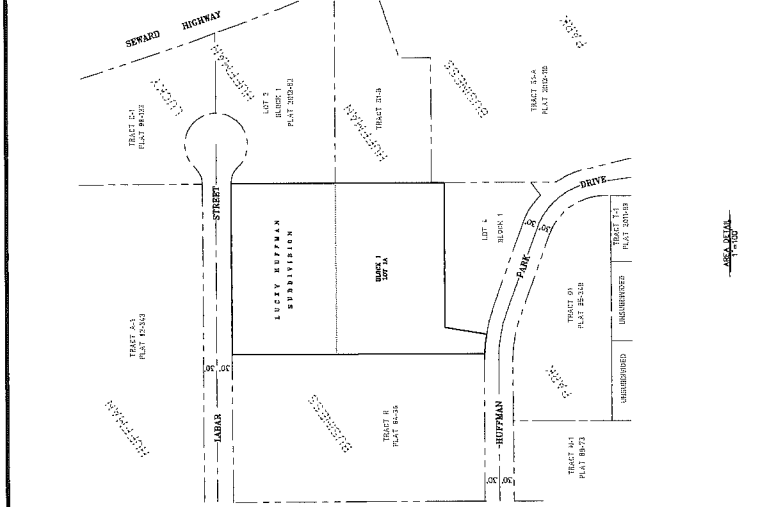
S 1 2 1 7 6 - - JUN 0 8 2015



- PLAT NOTES:**
1. THE PROPERTY SHOWN ON THIS PLAT WAS ACQUIRED BY A PERSON OR PERSONS WHOSE NAMES ARE APPEARING HEREON AS GRANTOR(S) AND WHOSE INTERESTS ARE BEING TRANSFERRED TO THE GRANTEE(S) BY THIS PLAT. THE GRANTEE(S) IS/ARE THE PERSON(S) WHOSE NAMES ARE APPEARING HEREON AS GRANTEE(S). THE GRANTEE(S) IS/ARE THE PERSON(S) WHOSE NAMES ARE APPEARING HEREON AS GRANTEE(S). THE GRANTEE(S) IS/ARE THE PERSON(S) WHOSE NAMES ARE APPEARING HEREON AS GRANTEE(S).
  2. ALL SURVEY INSTRUMENTS AND RECORDS AND RECORDS AS REFERRED TO IN THIS PLAT HAVE BEEN FILED IN THE PUBLIC RECORDS OF THE STATE OF ALABAMA.
  3. THE PROPERTY IS SUBJECT TO EASEMENTS AND EASEMENTS AS SHOWN ON THIS PLAT.
  4. THE PROPERTY IS SUBJECT TO EASEMENTS AND EASEMENTS AS SHOWN ON THIS PLAT.
  5. THE PROPERTY IS SUBJECT TO EASEMENTS AND EASEMENTS AS SHOWN ON THIS PLAT.
  6. THE PROPERTY IS SUBJECT TO EASEMENTS AND EASEMENTS AS SHOWN ON THIS PLAT.
  7. THE PROPERTY IS SUBJECT TO EASEMENTS AND EASEMENTS AS SHOWN ON THIS PLAT.



CURVE DATA TABLE	
STATION	6628.57 (0)
BEARING	336.00 (0)
LENGTH	46.07 (0)
CHORD BEARING	34.00 (0)
CHORD LENGTH	46.07 (0)
CHORD BEARING	NS 47° 24' W (0)



**CERTIFICATE OF OWNERSHIP AND DEDICATION**

I, the undersigned, do hereby certify that I am the owner of the herein described property and that I have the right to dispose of the same as herein provided. I have caused this plat to be prepared and recorded in the public records of the State of Alabama, and I have caused the same to be published in the manner herein provided. I have caused the same to be published in the manner herein provided. I have caused the same to be published in the manner herein provided.

**NOTARY ACKNOWLEDGMENT**

Subscribed and sworn to before me this \_\_\_\_\_ day of \_\_\_\_\_ 2015.

My commission expires \_\_\_\_\_.

**TAX CERTIFICATION**

All real property taxes due by the grantor of the herein described property have been paid to the proper authorities. I have caused this plat to be prepared and recorded in the public records of the State of Alabama, and I have caused the same to be published in the manner herein provided.

**APPROVALS**

GRANTOR: \_\_\_\_\_ DATE: \_\_\_\_\_

GRANTEE: \_\_\_\_\_ DATE: \_\_\_\_\_

**PLAT APPROVAL**

DATE: \_\_\_\_\_

**PRELIMINARY PLAT**

ENTERPRISE ENGINEERING, INC.

**Lucky Huffman Subdivision LOT 1A, BLOCK 1**

WITH EASEMENT TACKLINGS

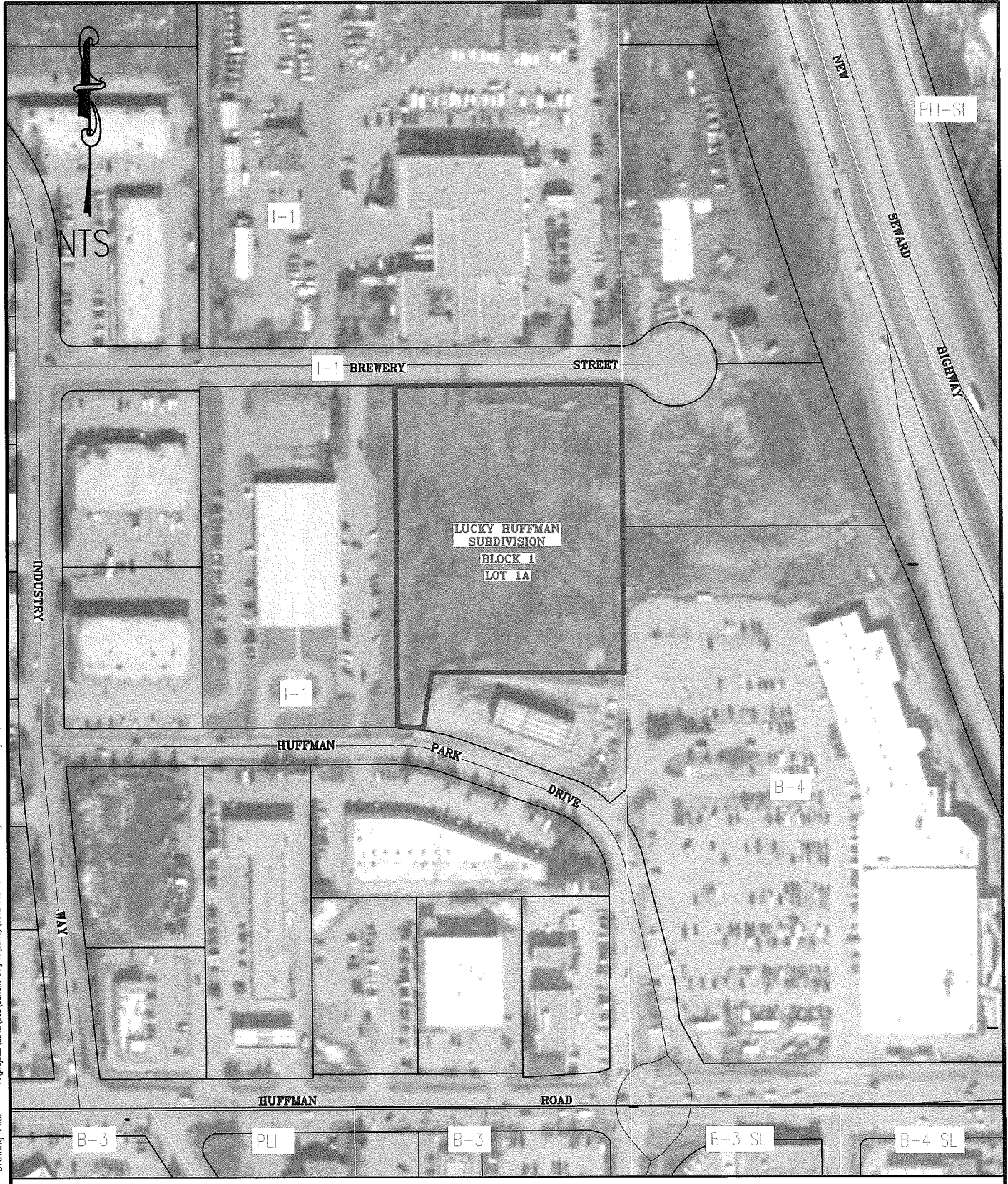
A PRELIMINARY PLAT

FOR THE LUCKY HUFFMAN SUBDIVISION PER PLAT 2013-02, ANTIOCHARGE RECORDS IN THE PUBLIC RECORDS OF THE STATE OF ALABAMA.

ENTERPRISE ENGINEERING, INC.

S 1 2 1 7 6 - - JUN 0 8 2 0 1 5

Plot Date: Apr 13, 2015 - 2:28pm  
 Drawing File: P:\projects\8212\Coat\Current\DWG\8212 PRELIMINARY DWGS.dwg Lost, modified by: hgsaas



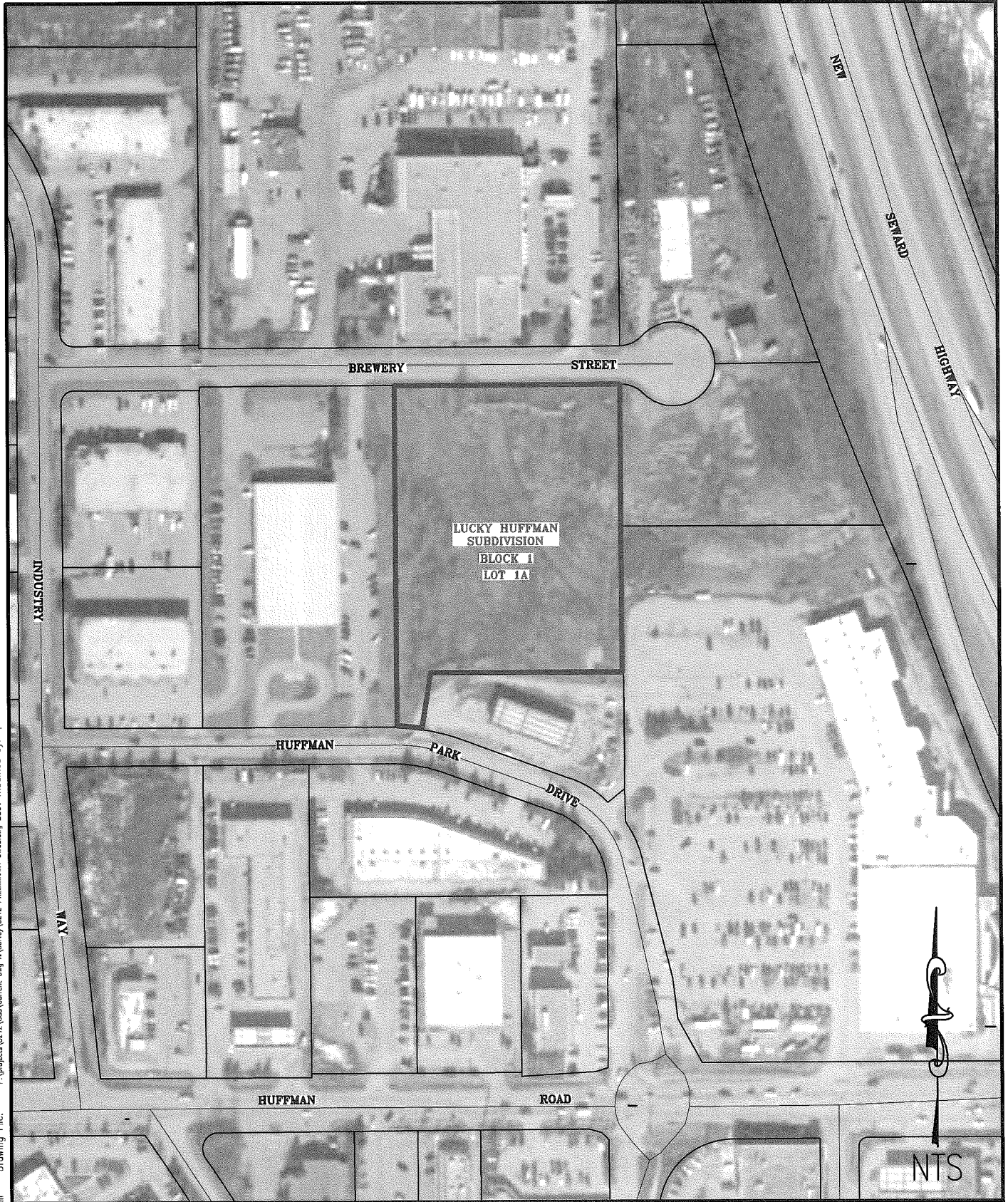
**ENTERPRISE**  
ENGINEERING, INC.

5 DEPOT STREET SUITE 23 FREEPORT, ME 04032 TEL. (207) 869-8006 FAX (207) 869-8015	2525 GAMBELL STREET SUITE 200 ANCHORAGE, AK 99503 TEL. (907) 563-3835 FAX (907) 563-3817
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STANDARD DETAIL		<b>ZONING MAP</b>	
<b>PRELIMINARY PLAT HUFFMAN GARAGES</b>			
FILE NO. 8212 PRELIMINARY DWGS.DWG		REV. REV. 0	
DRN SMH	CHK: SMH	DATE 04/09/15	PLATE:

S 1 2 1 7 6 - - JUN 0 8 2015

Plot Date: Apr 13, 2015 - 2:30pm  
 Drawing File: P:\projects\8212\Case\Current Dwg 2\Survey\8212 PRELIMINARY DWGS.dwg Last modified by: hpsade



NTS

**ENTERPRISE**  
**ENGINEERING, INC.**

5 DEPOT STREET  
 SUITE 23  
 FREEPORT, ME 04032  
 TEL. (207) 869-8006  
 FAX (207) 869-8015

2525 CABELL STREET  
 SUITE 200  
 ANCHORAGE, AK 99503  
 TEL. (907) 563-3835  
 FAX (907) 563-3817

STANDARD DETAIL		AERIAL MAP PRELIMINARY PLAT HUFFMAN GARAGES	
FILE NO. 8212 PRELIMINARY DWGS.DWG		REV. REV. 0	
DRN SMH	CHK: SMH	DATE 04/13/2015	PLATE:

S 1 2 1 7 6 - - JUN 0 8 2015

**WMS WATERCOURSE MAPPING SUMMARY**

Per the requirements for watercourse verification outlined in Project Management and Engineering Operating Policy and Procedure #8 and Planning Department Operating Policy and Procedure #1 (effective June 18, 2007), MOA Watershed Management Services has inspected the following location for the presence or absence of stream channels or other watercourses, as defined in Anchorage Municipal Code (21.35).

- Project Case Number or Subdivision Name: Lucky Huffman Subdivision
- Project Location, Tax ID, or Legal Description: Lots 1 + 3, Block 1  
(parcels # 01619187, 01619189)
- Project Area (if different from the entire parcel or subdivision): \_\_\_\_\_

In accordance with the requirements and methods identified, WMS verifies that this parcel, project area, or application:

X KBC **DOES NOT** contain stream channels and/or drainageways, as identified in WMS field or archival mapping information.\*

\_\_\_\_\_ **DOES** contain stream channels and/or drainageways **AND** these are located and identified on submittal documents in general congruence with WMS field and archival mapping information.  
*New or additional mapping **IS NOT REQUIRED**.*\*

\_\_\_\_\_ Contains stream channels and/or drainageways **BUT** one or more streams or other watercourses:  

- are **NOT** shown on submittal documents, or
- are **NOT** depicted adequately on submittal documents for verification, or
- are **NOT** located or identified on submittal documents in general congruence with WMS field and archival mapping information.

*New or additional mapping **IS REQUIRED** and must be re-submitted for further review and verification.*\*

\_\_\_\_\_ Presence of stream channels and/or drainageways is unknown **AND** field verification is not possible at this time. WMS will verify as soon as conditions and prioritized resources allow.

\* Streams omitted in error by WMS or others remain subject to MOA Code and must be shown in new mapping upon identification of the error.

**ADDITIONAL INFORMATION:**

- Y  N WMS written drainage recommendations are available.  Preliminary  Final
- Y  N WMS written field inspection report or map is available.  Preliminary  Final
- Y  N Field flagging and/or map-grade GPS data is available.

Inspection Certified By:

Date:

Kyle Cunningham  
Kyle Cunningham

4/13/15

*Letter of Authorization*

Re: Authorization of Representation

To whom it may concern:

Enterprise Engineering, Inc. is hereby authorized to represent:

V.A.Wrigley, LLC.  
8301 Schoon Street  
Anchorage, AK 99518

In matters relating to the platting or subdividing of the following described property:

**Lot 1 and Lot 3, Block 1, Lucky Huffman Subdivision, Per Plat No. 2013-62, Anchorage  
Recording District, Third Judicial District, State of Alaska.**

Agreed to this 14<sup>th</sup> day of April 2015

By: \_\_\_\_\_

*Day Patrick*

Title: \_\_\_\_\_

*Partner*

S 1 2 1 7 6 - - JUN 0 8 2015

