



Airport Heights Senior Housing  
Conditional Use Permit Application

Pzc: 03/09/2026  
2026-0033

# Contents

- 1. Application For Conditional Use**
- 2. Map of Surrounding Area**
  - a. Zoning
  - b. Land Use
- 3. Map of Existing Conditions**
- 4. Project Narrative (7 pages)**
- 5. Site Plans**
  - a. Master Site Plan
  - b. Landscape Plan
- 6. Building Plans**
  - a. Building A/B Floor Plans and Elevations
  - b. Building C-H Floor Plans and Elevations
- 7. Community Meeting Summary**
  - a. Meeting Summary
  - b. Postcard
- 8. Submittal Requirements**
  - a. Special Limitations
  - b. Underlying Plat

# 1. Application For Conditional Use

# Application for Conditional Use

Municipality of Anchorage  
 Planning Department  
 PO Box 196650  
 Anchorage, AK 99519-6650

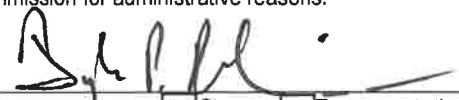
| PETITIONER*            |                                | PETITIONER REPRESENTATIVE (if any) |                                    |
|------------------------|--------------------------------|------------------------------------|------------------------------------|
| Name (last name first) | Cook Inlet Housing Authority   | Name (last name first)             | Robinson, Tyler                    |
| Mailing Address        | 3510 Spenard Road              | Mailing Address                    | Vice President, Cook Inlet Housing |
|                        | Anchorage, AK 99503            |                                    | Anchorage, AK 99503                |
| Contact Phone – Day    | 907-793-9721                   | Contact Phone – Day                | 907-793-9721                       |
| Evening                | 907-887-9884                   | Evening                            | 907-887-9884                       |
| E-mail                 | trobinson@cookinlethousing.org | E-mail                             |                                    |

\*Report additional petitioners or disclose other co-owners on supplemental form. Failure to divulge other beneficial interest owners may delay processing of this application.

| PROPERTY INFORMATION   |                    |                |
|--|--------------------|----------------|
| Property Tax # (000-000-00-000): 004-091-87-000  |                    |                |
| Site Street Address: Northeast corner of Columbine Court and DeBarr Road   |                    |                |
| Current legal description: (use additional sheet if necessary)<br>SEWARD TOWERS TRACT-1, NORTHWAY BUSINESS PARK SUBDIVISION, according to the official plat thereof file under Plat No. 96-59, records of the Anchorage Recording District, Third Judicial District, State of Alaska |                    |                |
| Zoning: R-4 SL   | Acreage: 4.3 acres | Grid #: SW1335 |

| CONDITIONAL USE APPROVAL REQUESTED   |  |
|--|--|
| Use: Multi-family residential. Conditional Use Permit Site Plan Review required by Special Limitation of zoning ordinance AO No. 82-148. |  |
| <input checked="" type="checkbox"/> New conditional use  | <input type="checkbox"/> Amendment to approved conditional use    Original Case #: |

I hereby certify that (I am)(I have been authorized to act for) owner of the property described above and that I petition for a conditional use permit in conformance with Title 21 of the Anchorage Municipal Code of Ordinances. I understand that payment of the application fee is nonrefundable and is to cover the costs associated with processing this application, and that it does not assure approval of the conditional use. I also understand that assigned hearing dates are tentative and may have to be postponed by Planning Department staff or the Planning and Zoning Commission for administrative reasons.

|   |   |          |
|---|---|----------|
| Signature  | <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Representative<br><small>(Representatives must provide written proof of authorization)</small> | Date     |
| Print Name  |   | 12/19/25 |
| Tyler P Robinson  |   |          |

|  |                         |                |                        |                               |
|--|-------------------------|----------------|------------------------|-------------------------------|
| Accepted by:  | Poster & Affidavit: 211 | Fee: \$7080.00 | Case Number: 2026-0033 | Meeting Date: P2c: 03/09/2026 |
|--|-------------------------|----------------|------------------------|-------------------------------|

**COMPREHENSIVE PLAN INFORMATION**

Improvement Area (per AMC 21.08.050B.):  Class A  Class B

**Anchorage 2040 Land Use Designation:**  
 Neighborhood (Residential)  Center  Corridor  
 Open Space  Facilities and Institutions  Industrial Area

**Anchorage 2040 Growth Supporting Features:**  
 Transit-supportive Development  Greenway-supported Development  
 Traditional Neighborhood  Residential Mixed-use

**Eagle River-Chugiak-Peters Creek Land Use Classification:**  
 Commercial  Industrial  Parks/opens space  
 Public Land Institutions  Marginal land  Alpine/Slope Affected  
 Special Study  Residential at \_\_\_\_\_ dwelling units per acre

**Girdwood- Turnagain Arm**  
 Commercial  Industrial  Parks/opens space  
 Public Land Institutions  Marginal land  Alpine/Slope Affected  
 Special Study  Residential at \_\_\_\_\_ dwelling units per acre

**ENVIRONMENTAL INFORMATION** (All or portion of site affected)

Wetland Classification:  None  "C"  "B"  "A"  
 Avalanche Zone:  None  Blue Zone  Red Zone  
 Floodplain:  None  100 year  500 year  
 Seismic Zone (Harding/Lawson):  "1"  "2"  "3"  "4"  "5"

**RECENT REGULATORY INFORMATION** (Events that have occurred in last 5 years for all or portion of site)

Rezoning - Case Number: 2025-121 (in process)  
 Preliminary Plat  Final Plat - Case Number(s):  
 Conditional Use - Case Number(s):  
 Zoning variance - Case Number(s):  
 Land Use Enforcement Action for  
 Building or Land Use Permit for  
 Wetland permit:  Army Corps of Engineers  Municipality of Anchorage

**SUBMITTAL REQUIREMENTS**

(One copy of applicable items is required for initial submittal; additional copies required after initial submittal)  
 1 copy required:  Signed application (original)  Ownership and beneficial interest form  
 Watershed sign off form  Underlying plat  
 Special limitations from the underlying zoning, if applicable

16 copies required:

- Signed application (copies)
- Map of area surrounding petition site within 500 feet, including zoning and existing uses
- Map of existing conditions, to scale, including:
  - land uses                       structures                       utilities                       vegetation                       soils
  - natural features                       drainage                       topography                       site access                       pedestrian facilities
  - vehicle circulation and driveways                       easements and/or reservations
- Project narrative explaining:
  - the project                       planning objectives                       facility operations
  - an analysis of how the proposal meets the standards on page 3 of this application
  - construction and operation schedule                       final ownership
  - gross and net density (PUDs only)
- Site plan(s) to scale depicting, with dimensions:
  - building footprints                       parking areas                       vehicle circulation and driveways
  - pedestrian facilities                       lighting                       grading                       landscaping
  - loading facilities                       fences                       drainage                       required open space
  - snow storage area or alternative strategy                       trash receptacle location and screening detail
  - easements                       significant natural features                       freestanding sign location(s)
- Building plans to scale depicting, with dimensions:
  - floor plans                       building elevations                       exterior colors and textures
- Summary of community meeting(s)

(Additional information may be required.)

**GENERAL CONDITIONAL USE STANDARDS (AMC 21.03.080D.)**

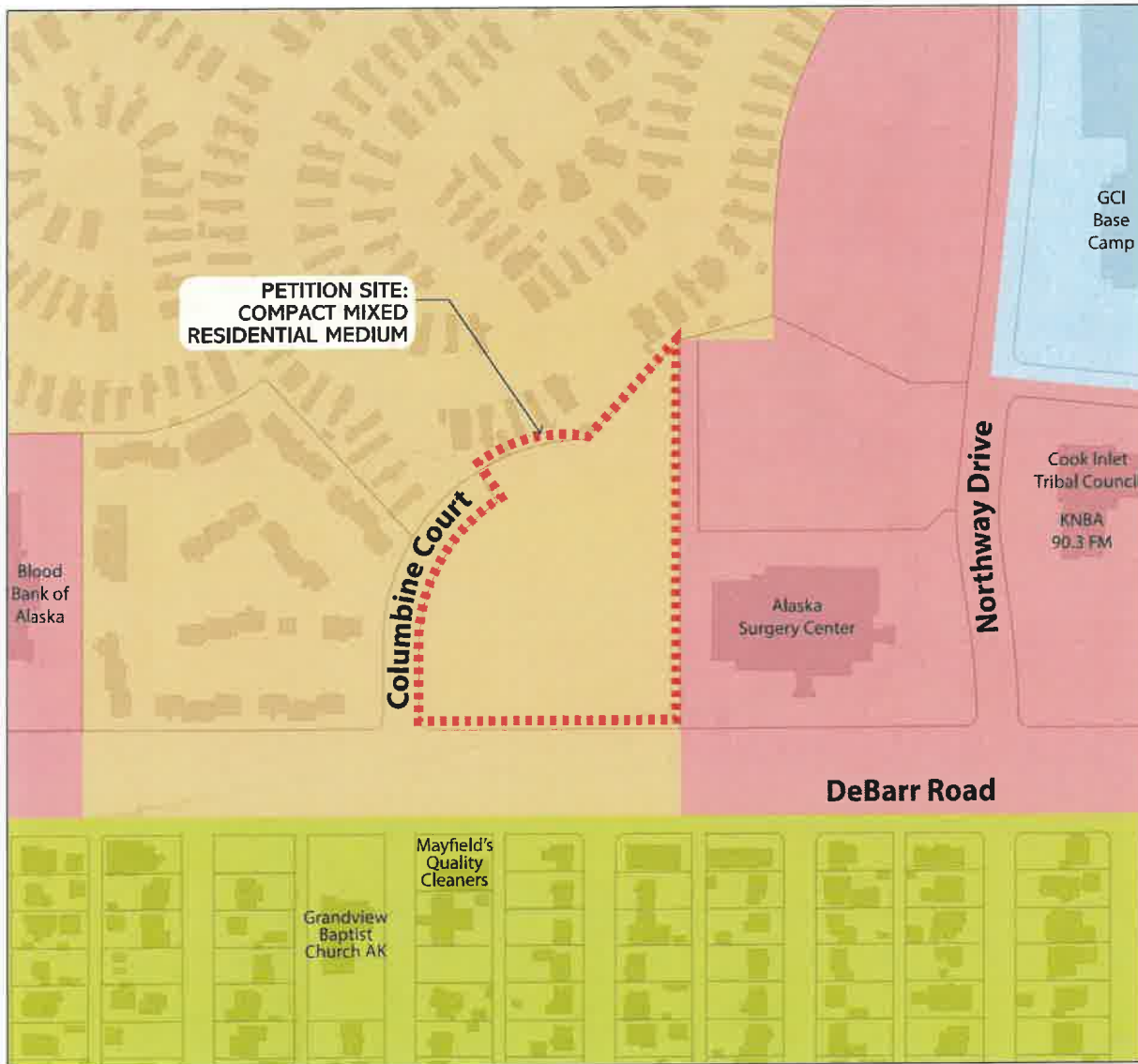
The Planning and Zoning Commission may only approve the conditional use if the Commission finds that **all** of the approval criteria are satisfied. Each standard must have a response in as much detail as it takes to explain how your project satisfies the standard. The burden of proof rests with you.

1. The proposed use is consistent with the comprehensive plan and all applicable provisions of this title and applicable state and federal regulations;
2. The proposed use is consistent with the purpose and intent of the zoning district in which it is located, including any district-specific standards set forth in chapter 21.04;
3. The proposed use is consistent with any applicable use-specific standards set forth in chapter 21.05;
4. The site size, dimensions, shape, location, and topography are adequate for the needs of the proposed use and any mitigation needed to address potential impacts;
5. The proposed use will not alter the character of the surrounding area in a manner which substantially limits, impairs, or prevents the use of surrounding properties for the permitted uses listed in the underlying zoning district;
6. The proposed use is compatible with uses allowed on adjacent properties, in terms of its scale, site design, operating characteristics (hours of operation, traffic generation, lighting, noise, odor, dust, and other external impacts);
7. Any significant adverse impacts anticipated to result from the use will be mitigated or offset to the maximum extent feasible;
8. The proposed use is appropriately located with respect to the transportation system, including but not limited to existing and/or planned street designations and improvements, street capacity, access to collectors or arterials, connectivity, off-site parking impacts, transit availability, impacts on pedestrian, bicycle, and transit circulation, and safety for all modes; and
9. The proposed use is appropriately located with respect to existing and/or planned water supply, fire and police protection, wastewater disposal, storm water disposal, and similar facilities and services.

**SPECIFIC CONDITIONAL USE STANDARDS (AMC 21.05)**

Certain conditional uses have detailed standards that relate only to that type of conditional use. When there are detailed standards, the Planning and Zoning Commission may only approve the conditional use if the Commission finds that **all** general standards listed in the previous section and detailed standards listed for that conditional use in AMC 21.05 are satisfied. Each detailed standard must have a response in as much detail as it takes to explain how your project satisfies the standard. The burden of proof rests with you.

# COOK INLET HOUSING AUTHORITY AIRPORT HEIGHTS: SENIOR HOUSING CONDITIONAL USE PERMIT



## LAND USE MAP



Petition Site



Parcels

### Zoning Land Use Categories



Multiple Family Residential



Commercial



Two Family Residential



Light Industrial

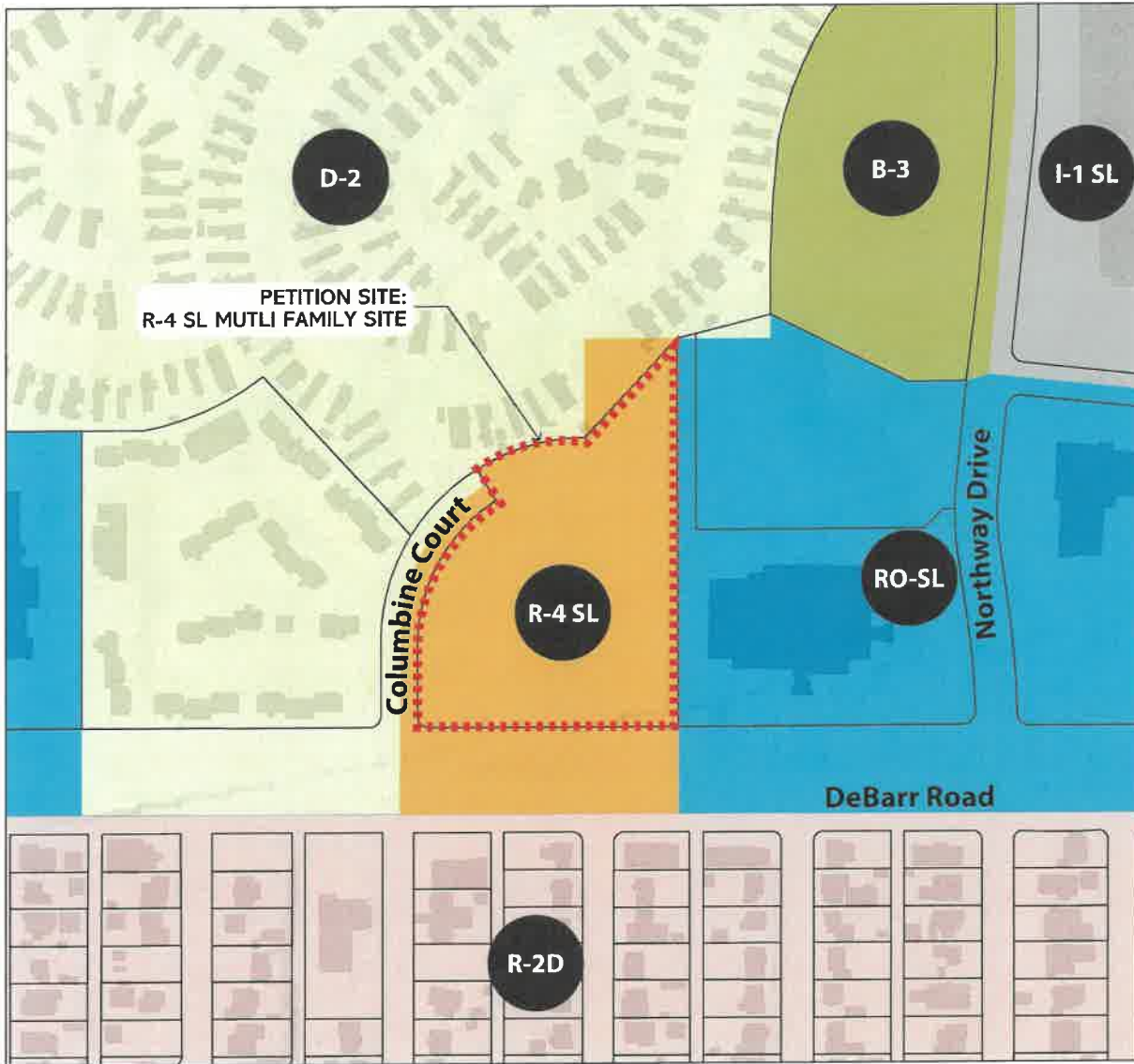










N

500 feet

**COOK INLET HOUSING AUTHORITY  
AIRPORT HEIGHTS: SENIOR HOUSING CONDITIONAL USE PERMIT**

**ZONING MAP**

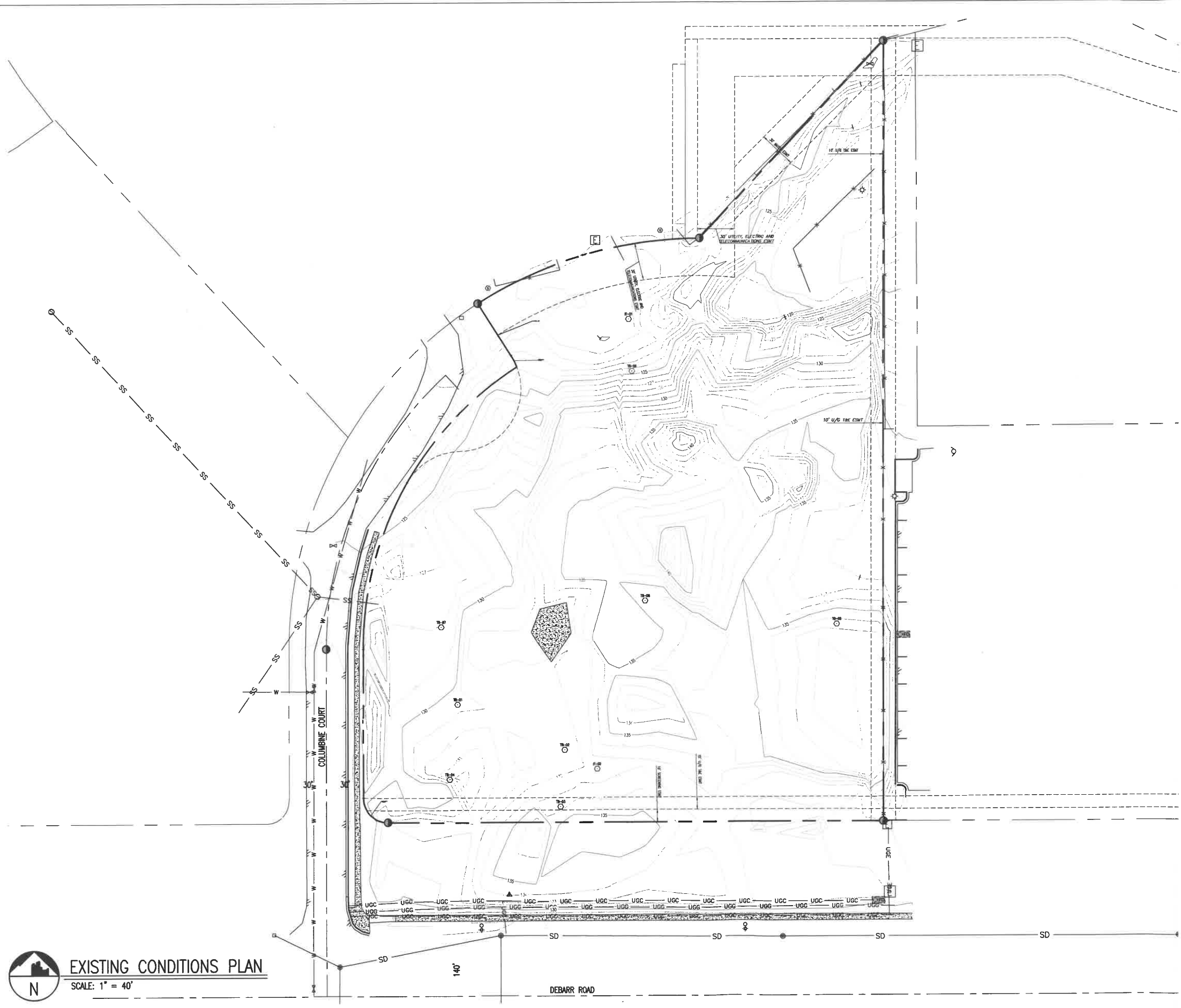


-  Petition Site
-  Parcels
-  D-2: Residential Development
-  RO-SL: Residential Office District with Special Limitations
-  R-2D: Two-Family Residential
-  I-1 SL: Light Industrial with Special Limitations
-  R-4 SL: Multifamily Residential with Special Limitations
-  B-3: General Business

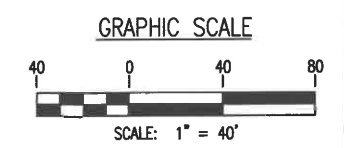


500 feet

### 3. Map of Existing Conditions



**EXISTING CONDITIONS PLAN**  
 SCALE: 1" = 40'



**BIG CITY ENGINEERS**  
 P.O. BOX 92946  
 ANCHORAGE, ALASKA 99509  
 907/360-0985  
 LICENSE # 102525

**CIHA AIRPORT HEIGHTS**  
 DEBARR ROAD  
 SEWARD TOWERS TRACT 1, NORTHWAY BUSINESS PARK SUBDIVISION

| REVISION | DATE | DESCRIPTION | BY |
|----------|------|-------------|----|
|          |      |             |    |
|          |      |             |    |
|          |      |             |    |

|          |            |
|----------|------------|
| DATE     | 12.12.2025 |
| PN       | TBA        |
| GRID     | SW1335     |
| SCALE    | AS SHOWN   |
| ENGINEER | MAB        |
| DRAFTER  | MAB        |

SHEET TITLE  
 EXISTING CONDITIONS PLAN  
 SHEET NUMBER  
**C2.0**

## 4. Project Narrative

**Project Narrative: Airport Heights Senior Housing**

Cook Inlet Housing Authority (CIHA) is applying for a Conditional Use Permit (CUP) due to a special limitation (AO 82-148) requiring a CUP and public hearing site plan review.

**Project Description**

Cook Inlet Housing Authority is an Alaska Regional Housing Authority and Tribally Designated Housing Entity in the CIRI region. CIHA owns and manages more than 1,700 housing units in Anchorage and the Mat-Su Valley, as well as a number of commercial properties.

CIHA purchased the 4.3 acre parcel in early 2025 to advance a multi-phased affordable elder housing campus. The parcel is accessed via Columbine Court north of DeBarr Road in the Airport Heights neighborhood. CIHA is advancing the first of eight buildings (Building A) for the 2026 construction season as well as the master site plan for a 72-unit housing development.

The first building is located along Columbine Court and is a 3-story, 24-unit multi-family building consisting of studios, one-bedroom, and two-bedroom apartment homes. The east end of the building contains common amenity spaces including a site office, mail room, lobby, and common gathering area with kitchen. Additional common areas for residents are provided on the second and third floors. A second 24-unit building (Building B) will be constructed immediately to the east. The building will be mirrored and identical to Building A except the first floor common area spaces will be programmed differently and complement the spaces provided in Building A. The Building B common area program has not yet been finalized but will be appropriate for a senior population and will likely incorporate some combination of workshop spaces, resident services staff office, an exercise room, meeting room, and a small library/reading room.

Building A and B entries and common amenity spaces will face each other around a drop off area and outdoor plaza. These common areas and plaza will be available to all residents of the Airport Heights elder campus. The remainder of the site will include six ranch-style four-plex buildings (Buildings C-H). Each building will have four one-bedroom apartment homes and a common area for tenant storage, refuse, and mechanical room. All buildings will be connected via a private drive and pedestrian network. The campus connects to Columbine Court at two driveway locations.

**Site Landscaping**

The goal of the site layout and landscaping is to create a residential setting that is welcoming, walkable, and compatible with the surrounding area.

- **Site Perimeter Landscaping:** Anchorage Title 21 “L1” Site Perimeter Landscaping is provided along the west, south, and east boundaries due to adjacent roadways and zoning districts, as noted in the landscape diagram.
- **Existing Landscaping:** The south edge of the site is adjacent to an existing large swath of landscaping within the right-of-way. The landscape plan identifies this area for preserving existing vegetation to the extent feasible. Where existing vegetation must be removed for grading purposes, L1 landscaping will be planted in its place (1 tree and 6 shrubs every 20 feet).
- **Pedestrian Experience:** The site includes sidewalks along the building frontages to support residents and encourage safe, comfortable pedestrian circulation.
- **Shared Open Space:** Shared open space is provided to support resident gathering and outdoor passive recreation. Per 21.07.030B.4, the development is required to provide 50 square feet of open space for each unit. With 72 units, the development will provide over 3,600 square feet as shown on the landscape diagram.
- **Parking Lot Landscaping:** The parking area will be broken up with landscape beds to reduce the visual impact of large paved areas, create landscaped “nodes” at parking lot corners, and meet interior parking lot landscaping requirements.
- **Refuse screening:** No refuse screening is required. Buildings A and B include trash chutes with roll out dumpsters. Building C-H will utilize cans that are stored in common rooms in each building and rolled out to curb for collection.
- **Plant Selection:** Proposed species will be hardy for the Anchorage Bowl and designed to blend with surrounding landscaping.
- **Bicycle Parking:** Bicycle parking will be provided for the multifamily buildings in accordance with table 21.07-11, meeting the standard and long-term space stipulations.
- **Residential Design Standards:** The specific residential standards outlined in AMC 21.01.110 are suspended at the time of application and therefore do not apply to this design. The site design enhances the residential use by incorporating aesthetic landscaping and providing accessible outdoor spaces and pedestrian walkways.

### **Building Design and Exteriors**

The vision for the Airport Heights Senior Housing development is rooted in CIHA’s mission to create housing opportunities that empower our people and build our community. The development will include a mix of unit types: 2-bedroom units, 1-bedroom units, and studio apartments. Additional one-bedroom units are located in ranch-style townhouses and appeal to those who prefer individual entries and townhouses over multi-family living.

The design of the multi-family and townhouse ranches feature multiple materials, colors, and textures on building facades. All entries and exits are protected from the weather. For the multi-family buildings (Building A and B) a combination of Phenolic Laminate Panels (wood look with white and black options) and vertical metal siding with staggered box rib are shown. The rooflines of the buildings modulate across the façades while entrances and common areas are articulated by large areas of glazing. The common areas are oriented adjacent to each other across an outdoor plaza. Additionally special care has been paid to ensure the units are provided with privacy from the parking lot and roadways.

The four-plex townhome units are laid out through the site and orient to the private driveway and sidewalks. Building placement and orientation are designed to create privacy, opportunities for interaction, and a varied and interesting site. Units have opportunities for front and/or back patios depending on their orientation. Each building incorporates a combination of OSB plank lap siding and smooth paneling at the entrance to the shared storage room which also allows for different applications of color on the different buildings.

### **Traffic and Site Lighting**

CIHA's review of our other affordable senior housing developments shows parking usage of about one car per every two units. While parking will be refined with each phase of the development, the anticipated layout is to provide parking spaces near each building, including accessible spaces for ease of travel.

Per review of the ITE Trip Generation Manuals for affordable and senior adult housing (multifamily), trips are less than 100 vehicles in the peak hour. A Traffic Impact Analysis (TIA) is not required.

Site lighting plan will be provided as a condition of building permit and will be installed as the site is developed in phases. Phase I and subsequent lighting plans will be provided to Planning at time of building permit submittal.

### **Drainage**

MOA Anchorage Stormwater Manual (ASM) Volume 1 requirements must be met for the development. These include treating the first 0.52-inch of any rain event (including roofs) through the use of green infrastructure, metering release so the site doesn't discharge more than 1.05 times both the 10-year and 100-year, 24-hour events, and safe conveyance. The existing storm drain system in DeBarr Road is 18-inches and is in the north curblin of the roadway.

Given the size of the overall development, we are proposing an 18-inch storm drain connection to the DeBarr system. A new catch basin in the DeBarr curb line will be

constructed with the new service extending north between Buildings A and B on the property.

For Buildings A and B (first two phases), the roof runoff will discharge into a swale with a perforated subdrain on the south side of the buildings. The swale inverts will be set lower than the catch basin invert to allow for treatment and storage before flowing into the piped storm drain connection. The parking area will likely incorporate a subgrade infiltration system to provide treatment and metering.

With Phase 3 (Buildings C-H), we anticipate roofs will discharge to swales (with subdrains if needed) between the buildings. The swales will have overflow connections to the on-site piped storm drain system. Paved areas will have subgrade infiltration as well.

Snow storage at full build-out will be located in the northeast corner of the property. It is a natural low spot that will allow infiltration; existing vegetation is to be retained around the perimeter. We do not anticipate this area being drained/connected to the on-site storm drain system that will ultimately flow into DeBarr Road.

Drainage arrows are included on the Master Site Plan exhibit. We will refine the drainage design with each phase of development to address MOA requirements as part of the building permitting.

### **Fire**

Buildings A and B exceed 30 feet in height which thus require an aerial apparatus fire lane. The fire lane must be 26-foot wide and be located within 15 to 30 feet of the building. The Phase 3 buildings are less than 30 feet in height, so a standard 20-foot wide fire lane is required. The fire lane maneuvering is shown on the site plan.

Fire hydrants will be located where needed to provide the required fire coverage with the water service extension through the site.

### **Planning Objectives**

- Provide needed housing for population 55 and older.
- Include a variety of housing options for elders on the campus including studios, one-bedroom, and two-bedroom units, as well as units within a 24-unit multi-family building and units with individual entries in ranch style townhomes.
- Provide interior campus amenities including gathering spaces, meeting rooms, exercise rooms, lobby, staff on-site office, and resident lounges.
- Provide exterior campus amenities including a plaza, individual patios in the 4-plex units, central drop off area and pedestrian network throughout the campus.
- Develop housing and elder campus that helps address Anchorage's housing needs and is designed appropriately for its surroundings.

## **Facility Operations**

When completed the development will contain 72 units of independent senior living. CIHA will own and maintain the development.

## **Conditional Use Standard Analysis**

*Criteria 1. The proposed use is consistent with the comprehensive plan and all applicable provisions of this title and applicable state and federal regulations.*

The development is consistent with the comprehensive plan. Anchorage 2020 identifies DeBarr Road as a transit supportive development corridor encouraging medium to high residential densities. The Anchorage 2040 Land Use Plan Map identifies the site as Compact Mixed-Residential-Medium which calls for 10 to 30 housing units per acre. The development is planned to have just under 17 units per acre. The development will be permitted as new construction; and as a result, it will be required to meet all applicable regulations.

The standard is met.

*Criteria 2. The proposed use is consistent with the purpose and intent of the zoning district in which it is located, including any district specific standards set forth in chapter 21.04.*

The property is zoned R-4 SL. The use is consistent with the R-4 zoning district of multi-family medium to high residential densities. The special limitation restricts the height of buildings to three-stories. The development includes one- and three-story multi-family buildings.

The standard is met.

*Criteria 3. The proposed use is consistent with applicable use-specific standards set forth in chapter 21.05.*

There are no additional use-specific standards. The development will meet standards for multi-family residential.

The standard is met.

*Criteria 4. The site size, dimensions, shape, location, and topography are adequate for the needs of the proposed use and any mitigation needed to address potential impacts.*

A master development plan will guide all three phases of development including grading, drainage, circulation, and landscaping. The site plan locates larger buildings to the south and smaller buildings to the north adjacent to the trailer court. An easement and

somewhat irregular parcel shape to the north provides an opportunity for snow storage. We are not aware of any negative impacts from this residential use.

The standard is met.

*Criteria 5. The proposed use will not alter the character of the surrounding area in a manner which substantially limits, impairs, or prevents the use of surrounding properties for the permitted uses listed in the underlying zoning district.*

The proposed use is on an undeveloped parcel that has been zoned for medium to high density residential uses since 1982. There are D-2 parcels to the north and west developed with medium density residential; garden style apartments to west and a mobile home park to the north. The surgery center property zoned R-O SL is located east of the property. The proposed residential use is compatible with the surrounding zoning and land uses.

The standard is met.

*Condition 6. The proposed use is compatible with uses allowed on adjacent properties in terms of scale, site design, operating characteristics (hours of operation, traffic generation, lighting, noise, odor dust, and other external impacts).*

The proposed residential use is compatible with surrounding residential and medical office uses. When completed, the site will be landscaped and fenced and will function as a senior independent living campus. The larger buildings are placed to the south and set back 40 feet from the property line; due to a large DOT right-of-way the buildings will be approximately 114 feet from the sidewalk on DeBarr Road. Smaller buildings are located to the north to “step down” to the lower density Penland Park.

The standard is met.

*Criteria 7. Any significant adverse impacts anticipated to result from the use will be mitigated or offset to the maximum extent feasible.*

We are not aware of any anticipated significant adverse impacts resulting from senior housing.

The site plan is designed to create a senior campus with both inside and outside amenities provided for residents. The larger three-story buildings are located on the south end of the site over 100 feet from DeBarr Road (due in part to 75 feet of undeveloped right-of-way between the property line and the developed sidewalk on DeBarr). This placement helps mitigate traffic noise from the nearly 18,000 vehicles per day that travel along DeBarr Road.

The standard is met.

*Criteria 8. The proposed use is appropriately located with respect to the transportation system, including but not limited to existing and/or planned street designations and improvements, street capacity, access to collectors or arterials, connectivity, off-site parking impacts, transit availability, impacts on pedestrian, bicycle, and transit circulation, and safety for all modes;*

The proposed site is well connected to the transportation network. The development is located along a transit supportive development corridor and has access from Columbine Court. Columbine Court is a local road serving two other residential developments. There is a sidewalk on a portion of Columbine Court; our development will connect to this sidewalk via on-site sidewalk network which connects to the sidewalk along DeBarr Road. The nearest People Mover bus stop is located at the corner of Columbine Court and DeBarr. There is no reason for our residents to walk to the north along Columbine Court given that Penland Park is private property.

The standard is met.

*Criteria 9. The proposed use is appropriately located with respect to existing and/or planned water supply, fire and police protection, wastewater disposal, storm water disposal, and similar facilities and services.*

All utilities are available nearby. The site is located in urban Anchorage and is served by fire, police, and other city services.

The standard is met.

### **Construction and Operation Schedule**

Contingent upon funding and financing outcomes, the proposed construction schedule could take 3 to 5 years. Currently construction is anticipated as follows:

- Phase I, Building A. Begin construction summer of 2026 for completion Fall of 2027.
- Phase II, Building B. Begin construction summer of 2027 for completion Fall of 2028.
- Phase III, Buildings C-H. Begin construction summer of 2028 for completion Fall of 2029.

### **Final Ownership**

CIHA will remain the owner of the land and the buildings and will manage leasing and maintenance. Since we anticipate utilizing a Low Income Housing Tax Credit financing structure, CIHA would be the managing General Partner in one or more Limited Partnerships.

## 5. Site Plans

**WMS WATERCOURSE MAPPING SUMMARY**

Per the requirements for watercourse verification outlined in Project Management and Engineering Operating Policy and Procedure #8 and Planning Department Operating Policy and Procedure #1 (effective June 18, 2007), MOA Watershed Management Services has inspected the following location for the presence or absence of stream channels or other watercourses, as defined in Anchorage Municipal Code (21.35).

- Project Case Number or Subdivision Name: 2026-0033
- Project Location, Tax ID, or Legal Description: 004-091-87-000  
Tract-1, Seward Towers, Northway Business Park
- Project Area (if different from the entire parcel or subdivision): \_\_\_\_\_

In accordance with the requirements and methods identified, WMS verifies that this parcel, project area, or application:

**DOES NOT** contain stream channels and/or drainageways, as identified in WMS field or archival mapping information.\*

**DOES** contain stream channels and/or drainageways **AND** these are located and identified on submittal documents in general congruence with WMS field and archival mapping information.  
*New or additional mapping **IS NOT REQUIRED**.*\*

Contains stream channels and/or drainageways **BUT** one or more streams or other watercourses:  

- are **NOT** shown on submittal documents, or
- are **NOT** depicted adequately on submittal documents for verification, or
- are **NOT** located or identified on submittal documents in general congruence with WMS field and archival mapping information.

*New or additional mapping **IS REQUIRED** and must be re-submitted for further review and verification.*\*

Presence of stream channels and/or drainageways is unknown **AND** field verification is not possible at this time. WMS will verify as soon as conditions and prioritized resources allow.

\* *Streams omitted in error by WMS or others remain subject to MOA Code and must be shown in new mapping upon identification of the error.*

**ADDITIONAL INFORMATION:**

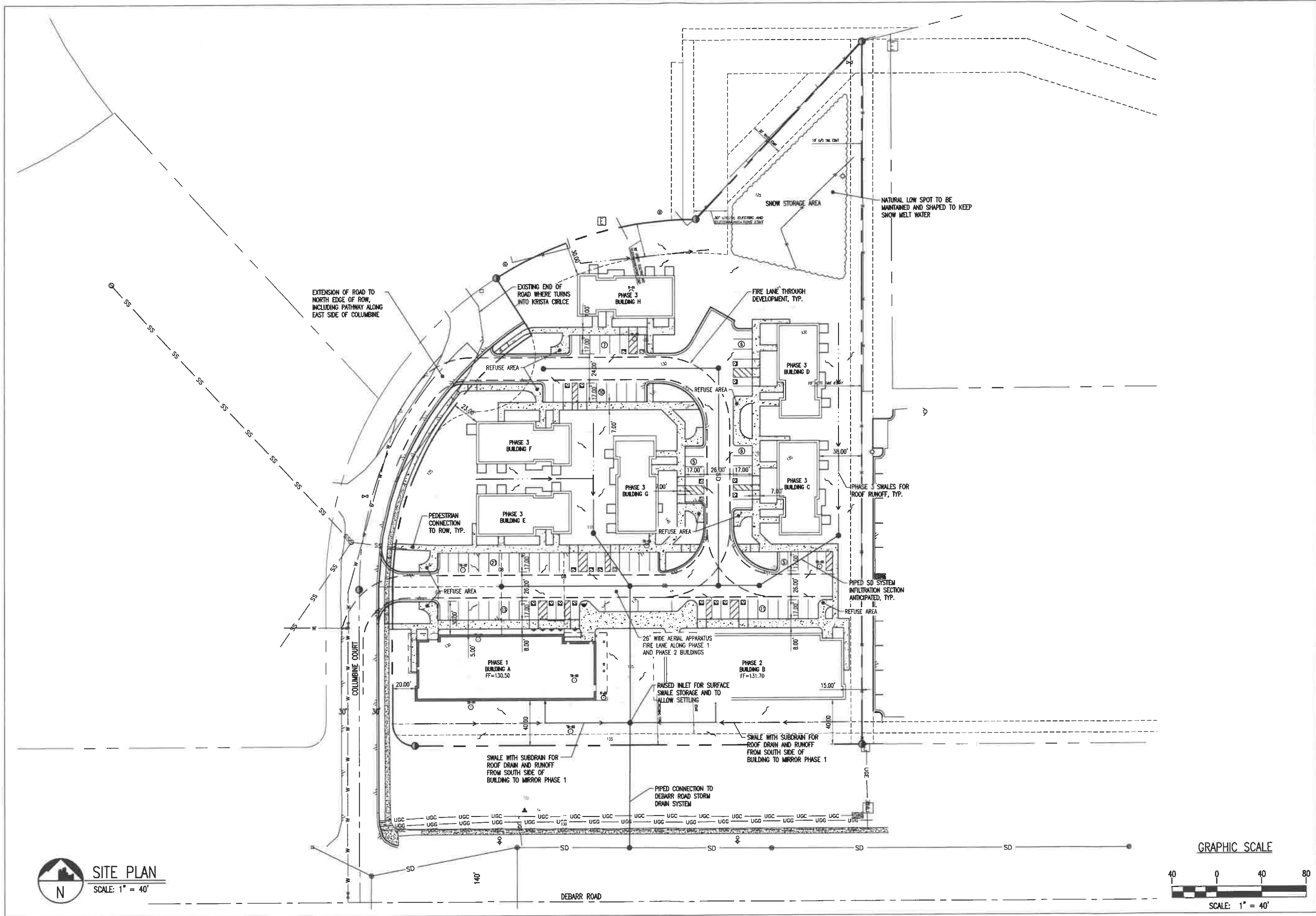
- Y N WMS written drainage recommendations are available. Preliminary Final
- Y N WMS written field inspection report or map is available. Preliminary Final
- Y N Field flagging and/or map-grade GPS data is available.

Inspection Certified By:

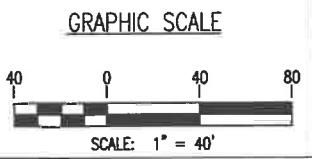
Date:

*Kenna Bilkey*

12-29-2025



**SITE PLAN**  
SCALE: 1" = 40'





**BIG CITY ENGINEERS**

P.O. BOX 92946  
ANCHORAGE, ALASKA 99509  
907/360-0985  
LICENSE # 102525

---

**CIHA AIRPORT HEIGHTS**  
DEBARR ROAD

SEWARD TOWERS TRACT 1, NORTHWAY BUSINESS PARK SUBDIVISION

| REVISION | DATE | DESCRIPTION | BY |
|----------|------|-------------|----|
|          |      |             |    |
|          |      |             |    |
|          |      |             |    |

|              |            |
|--------------|------------|
| DATE         | 12.18.2025 |
| PN           | TBA        |
| GRID         | SW1335     |
| SCALE        | AS SHOWN   |
| ENGINEER     | MAB        |
| DRAFTER      | MAB        |
| SHEET TITLE  |            |
| SITE PLAN    |            |
| SHEET NUMBER |            |
| <b>C3.0</b>  |            |



## 6. Building Plans

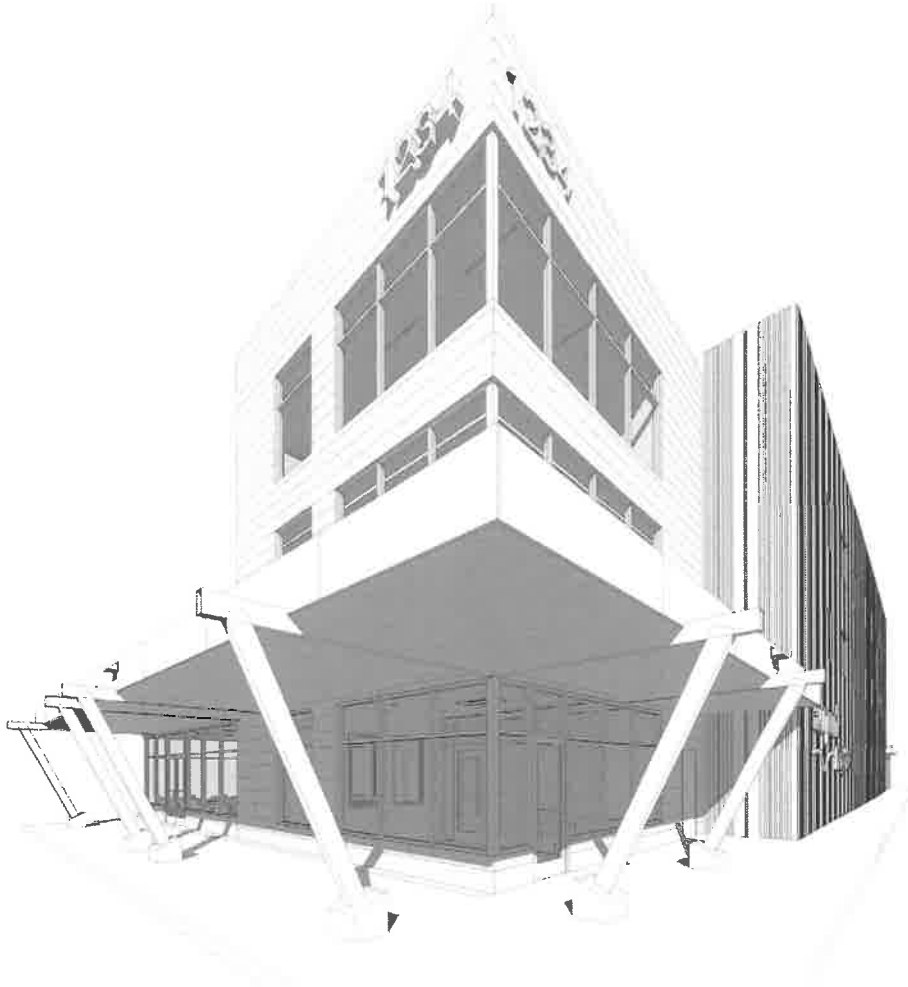
# COOK INLET HOUSING AUTHORITY AIRPORT HEIGHTS MULTIFAMILY HOUSING ANCHORAGE, ALASKA

35%  
REVIEW  
NOT FOR  
CONSTRUCTION

35% DESIGN DOCUMENTS

SEPTEMBER 3, 2025

CONTACT INFORMATION



**OWNER**

**COOK INLET HOUSING AUTHORITY**  
3510 SPENARD ROAD, #100  
ANCHORAGE, AK 99503  
  
p. (907) 793-3000

**ARCHITECTURAL**

**SPARK DESIGN, LLC**  
5401 CORDOVA STREET, SUITE 301  
ANCHORAGE, AK 99518  
  
p. (907) 344-3424

**CIVIL**

**BIG CITY ENGINEERS**  
301 CALISTA COURT, STE. 100  
ANCHORAGE, AK 99518  
  
p. (907) 360-0985

**LANDSCAPE**

**HUDDLE AK**  
605 W 2ND AVENUE  
ANCHORAGE, AK 99501  
  
p. (907) 223-0136

**STRUCTURAL**

**DEVISE ENGINEERING, INC.**  
8301 SCHOON STRT, STE. 200  
ANCHORAGE, AK 99518  
  
p. (907) 302-0455

**STRUCTURAL**

**T3 ALASKA, LLC**  
301 CALISTA COURT, STE. 100  
ANCHORAGE, AK 99518  
  
p. (907) 865-7900

**MECHANICAL**

**T3 ALASKA, LLC**  
301 CALISTA COURT, STE. 100  
ANCHORAGE, AK 99518  
  
p. (907) 865-7900

**FLOOR PLAN: GENERAL NOTES**

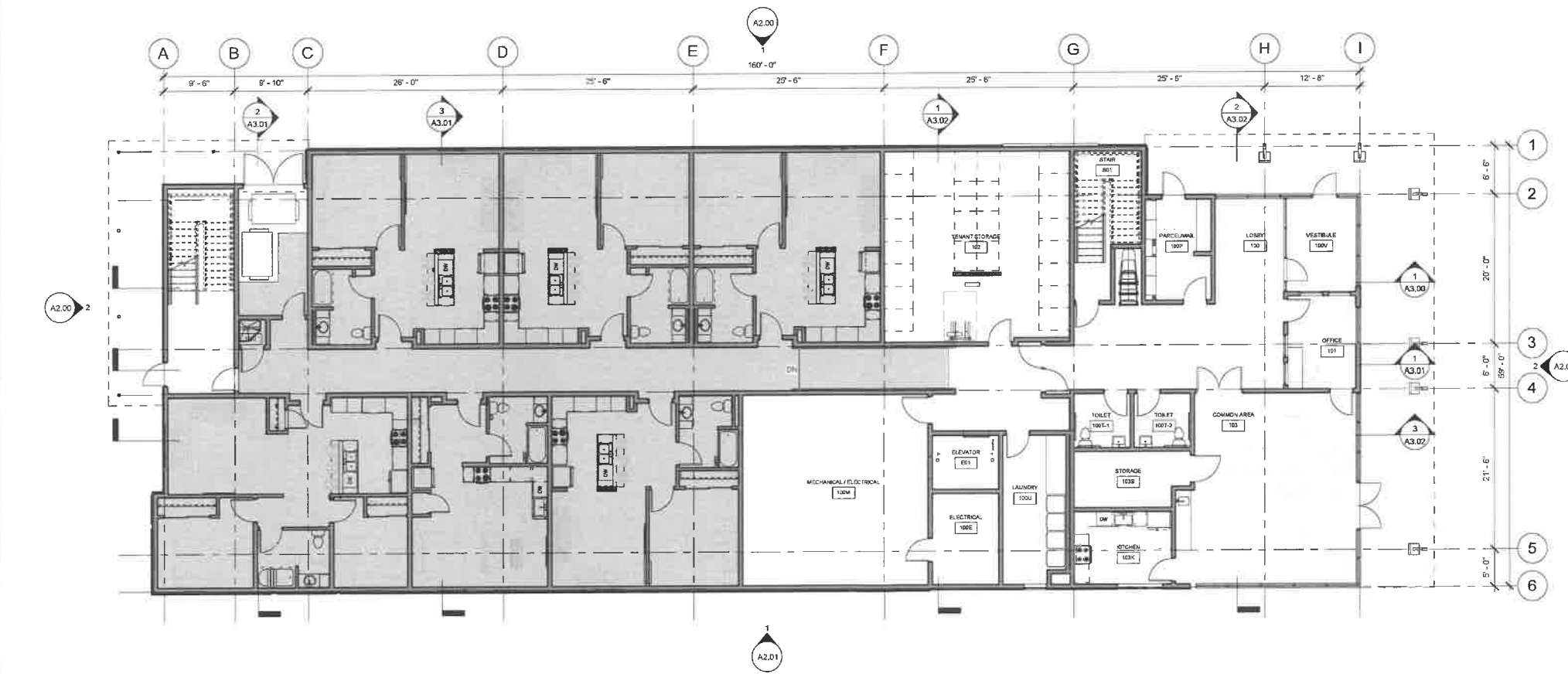
1. REFERENCE G1.00 FOR RATED WALLS AND/OR CEILINGS.
2. REFERENCE G2.00 FOR WALL ASSEMBLIES AND NOTES.
3. REFERENCE A5.00 FOR DOOR SCHEDULE, WINDOW TYPES AND FINISHES.
4. ALL DIMENSIONS ARE TO FACE OF STUD OF NEW CONSTRUCTION, FACE OF FINISH OF EXISTING CONSTRUCTION OR TO GRID LINE.
5. ALL DOORS SHALL BE INSTALLED 5" FROM ADJACENT FACE OF STUD, UNLESS OTHERWISE NOTED ON FLOOR PLAN OR DOOR SCHEDULE.
6. PATCH AND REPAIR EXISTING WALLS AND WINDOW MULLIONS FOR NEW FINISHES WHERE DEMOLITION OCCURS.
7. PROVIDE BLOCKING FOR ALL WALL MOUNTED CASEWORK, COUNTERTOPS AND WALL MOUNTED ACCESSORIES. GENERAL CONTRACTOR SHALL COORDINATE LOCATIONS WITH SUBCONTRACTORS.
8. WOOD BLOCKING SHALL BE FIRE TREATED IN ACCORDANCE WITH LOCAL CODES AND AMENDMENTS.
9. GENERAL CONTRACTOR SHALL COORDINATE REQUIREMENTS WITH MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS.
10. GENERAL CONTRACTOR SHALL PROVIDE AND INSTALL FIRE EXTINGUISHER CABINET(S) IN ACCORDANCE WITH APPLICABLE CODES AND AMENDMENTS.

**FLOOR PLAN: LEGEND**

- AREA NOT IN CONTRACT
- EXISTING WALLS AND COLUMNS TO REMAIN
- NEW PARTITIONS, REFERENCE G1.00 FOR WALL ASSEMBLIES

**FLOOR PLAN: SHEET NOTES**

1 xxx



**1 LEVEL 0 - OVERALL**  
1/8" = 1'-0"

**KEY PLAN**



35% DESIGN DOCUMENTS

35%  
REVIEW  
NOT FOR  
CONSTRUCTION

CERTIFICATE OF AUTHORIZATION NO. SPARK-050827-LLC-REC-1324

**spark design, llc**  
architecture • interiors • design-build  
5401 cordova street, suite 301  
anchorage, alaska 99518  
p. 907.344.3424 f. 907.771.9776

COOK INLET HOUSING AUTHORITY  
AIRPORT HEIGHTS SENIOR HOUSING  
ANCHORAGE, ALASKA

**REVISION SCHEDULE**

| # | DESCRIPTION | DATE |
|---|-------------|------|
|   |             |      |

CSJ:HC 25-0-12  
DATE September 03 2025  
DRAWN Author  
REVIEWED DTW

SHEET NAME  
FLOOR PLAN - LEVEL 0 OVERALL

SHEET NO.  
**A1.00**

HALF SCALE WHEN PRINTED AT 11x17

**FLOOR PLAN: GENERAL NOTES**

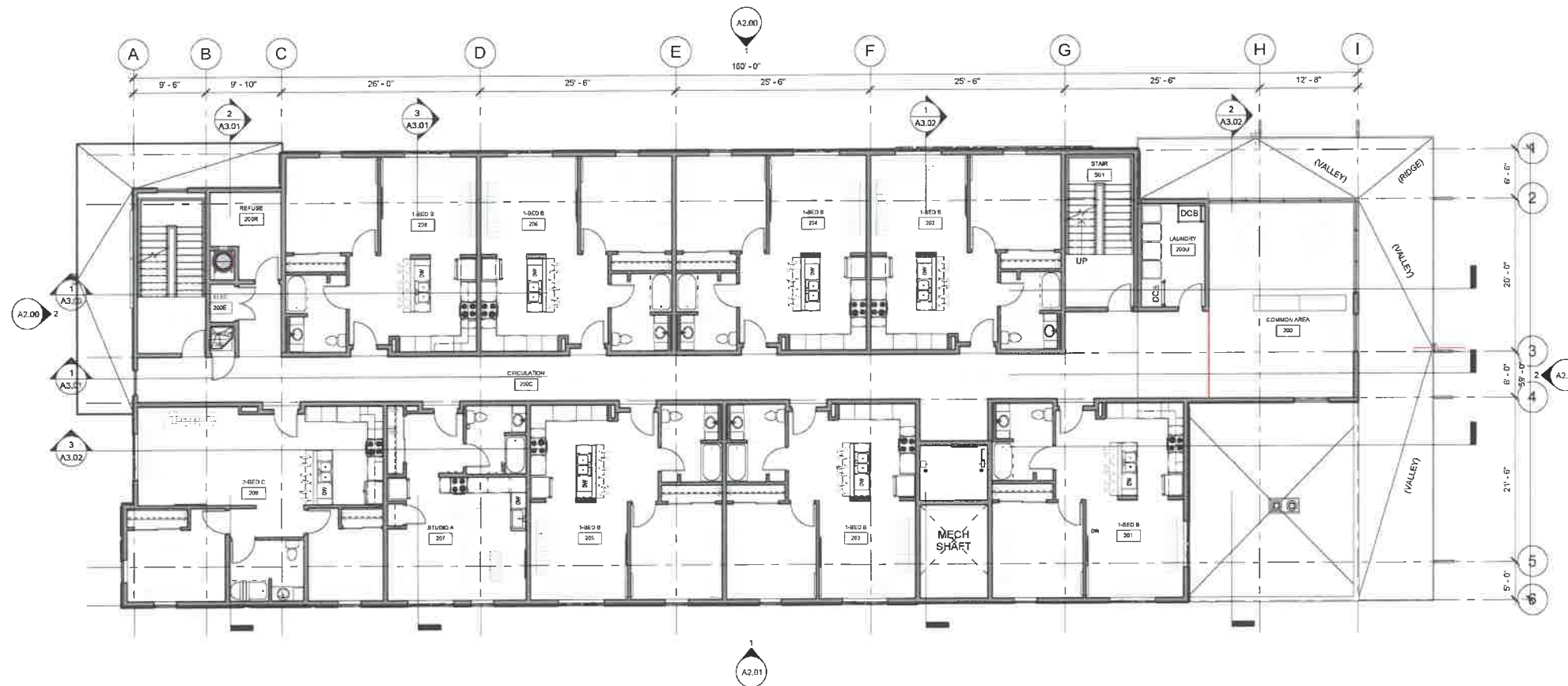
1. REFERENCE G1.00 FOR RATED WALLS AND/OR CEILINGS.
2. REFERENCE G2.00 FOR WALL ASSEMBLIES AND NOTES.
3. REFERENCE A5.00 FOR DOOR SCHEDULE, WINDOW TYPES AND FINISHES.
4. ALL DIMENSIONS ARE TO FACE OF STUD OF NEW CONSTRUCTION, FACE OF FINISH OF EXISTING CONSTRUCTION OR TO GRID LINE.
5. ALL DOORS SHALL BE INSTALLED 5" FROM ADJACENT FACE OF STUD, UNLESS OTHERWISE NOTED ON FLOOR PLAN OR DOOR SCHEDULE.
6. PATCH AND REPAIR EXISTING WALLS AND WINDOW MULLIONS FOR NEW FINISHES WHERE DEMOLITION OCCURS.
7. PROVIDE BLOCKING FOR ALL WALL MOUNTED CASEWORK, COUNTERTOPS AND WALL MOUNTED ACCESSORIES. GENERAL CONTRACTOR SHALL COORDINATE LOCATIONS WITH SUBCONTRACTORS.
8. WOOD BLOCKING SHALL BE FIRE TREATED IN ACCORDANCE WITH LOCAL CODES AND AMENDMENTS.
9. GENERAL CONTRACTOR SHALL COORDINATE REQUIREMENTS WITH MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS.
10. GENERAL CONTRACTOR SHALL PROVIDE AND INSTALL FIRE EXTINGUISHER CABINET(S) IN ACCORDANCE WITH APPLICABLE CODES AND AMENDMENTS.

**FLOOR PLAN: LEGEND**

- AREA NOT IN CONTRACT
- EXISTING WALLS AND COLUMNS TO REMAIN
- NEW PARTITIONS, REFERENCE G1.00 FOR WALL ASSEMBLIES

**FLOOR PLAN: SHEET NOTES**

1 xxx



1 LEVEL 2 - OVERALL  
1/8" = 1'-0"

**KEY PLAN**



35% DESIGN DOCUMENTS

35%  
REVIEW  
NOT FOR  
CONSTRUCTION

CERTIFICATE OF AUTHORIZATION NO.  
SPARK DESIGN, LLC W/EC1324

**spark design, llc**  
architecture • interiors • design-build  
5401 cordova street, suite 300  
anchorage, alaska 99518  
p. 907.344.3424 f. 907.771.9776

COOK INLET HOUSING AUTHORITY  
AIRPORT HEIGHTS SENIOR HOUSING  
ANCHORAGE, ALASKA

**REVISION SCHEDULE**

| # | DESCRIPTION | DATE |
|---|-------------|------|
|   |             |      |

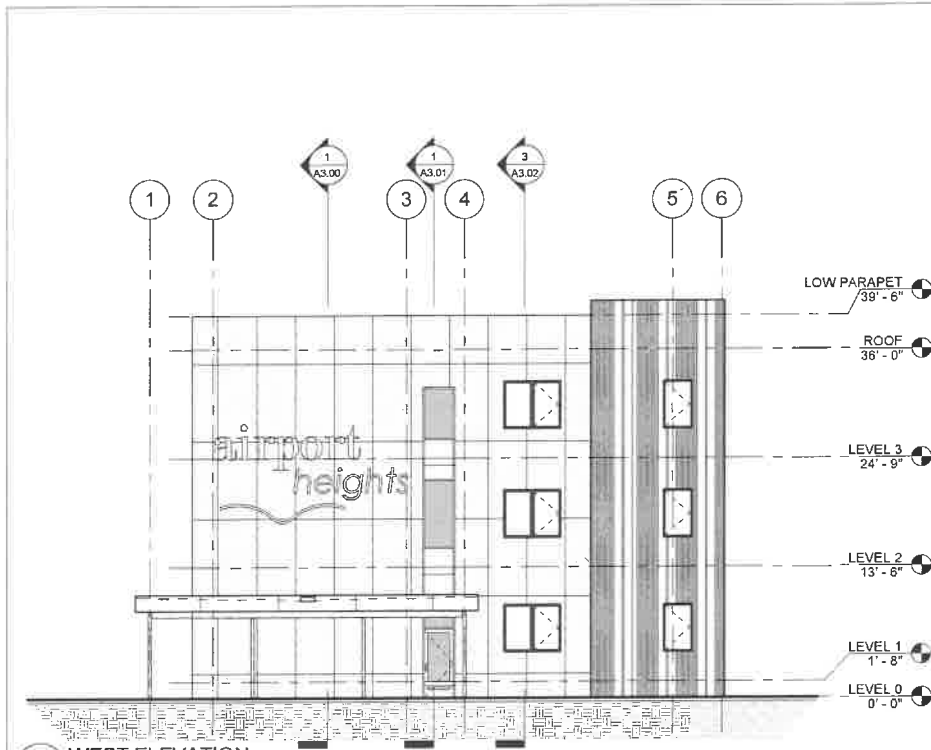
JOB NO. 25-012  
DATE September 03, 2025  
DRAWN Author  
REVIEWED DTW

SHEET NAME  
FLOOR PLAN - LEVEL 2 OVERALL

SHEET NO.  
A1.02

HALF SCALE WHEN PRINTED AT 11x17

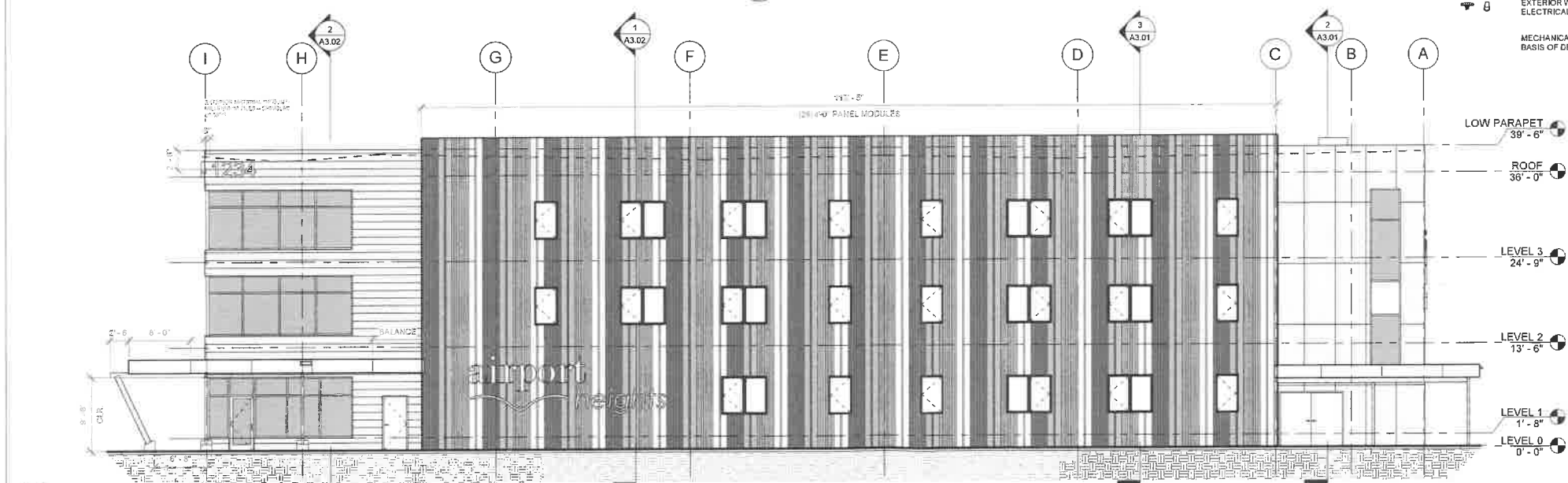




2 WEST ELEVATION  
1/8" = 1'-0"



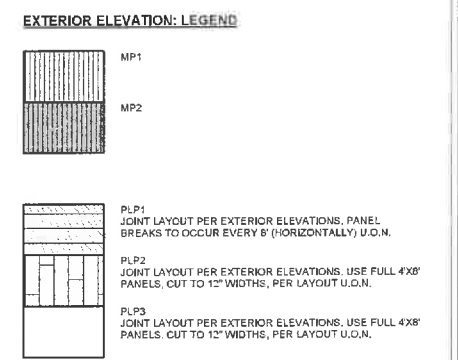
3 PERSPECTIVE\_NORTHWEST CORNER



1 NORTH ELEVATION  
1/8" = 1'-0"

- EXTERIOR ELEVATION: GENERAL NOTES**
1. REFER TO A5.10 FOR EXTERIOR MATERIALS AND COORDINATING TRIM PAINT.
  2. ALL EXHAUST LOCATIONS REQUIRE 3'-0" MINIMUM CLEARANCE FROM ANY OPERABLE OPENING PER IMC.
  3. REFER TO MECHANICAL FOR ALL VENTS, LOUVER AND EXHAUST SIZES, LOCATIONS AND MOUNTING HEIGHTS.
  4. ALL UNISTRUT SUPPORTING UTILITY EQUIPMENT SHALL BE PAINTED TO MATCH THE ADJACENT BUILDING FINISH.
  5. ALL BLOCKING FOR HOSE BIBBS, WALL MOUNTED LIGHTS, RECEPTACLES, ETC. SHALL BE CLAD IN THE SAME SIDING MATERIAL AS THE BUILDING. REFER TO DETAILS.
  6. ALL ADDRESSING AND OTHER SIGNAGE SHALL BE INCLUDED IN BID.

- EXTERIOR ELEVATION: SHEET NOTES**
- (01) PAINT ELECTRICAL EQUIPMENT ENCLOSURE TO MATCH ADJACENT SIDING. COORDINATE COLOR WITH ARCHITECT. COVER LABELS, STICKERS AND OTHER SAFETY NOTICES ON EQUIPMENT TO PREVENT OVER SPRAYING OR PAINTING.



- [Symbol] EXTERIOR WALL MOUNTED LIGHTING. REFER TO ELECTRICAL FOR BASIS OF DESIGN
- [Symbol] MECHANICAL WALL CAP. REFER TO MECHANICAL FOR BASIS OF DESIGN

**spark design, llc**  
 architecture • interiors • design-build  
 5401 S. Aurora Suite 201  
 Anchorage, Alaska 99518  
 p. 907.344.3424 f. 907.771.9776

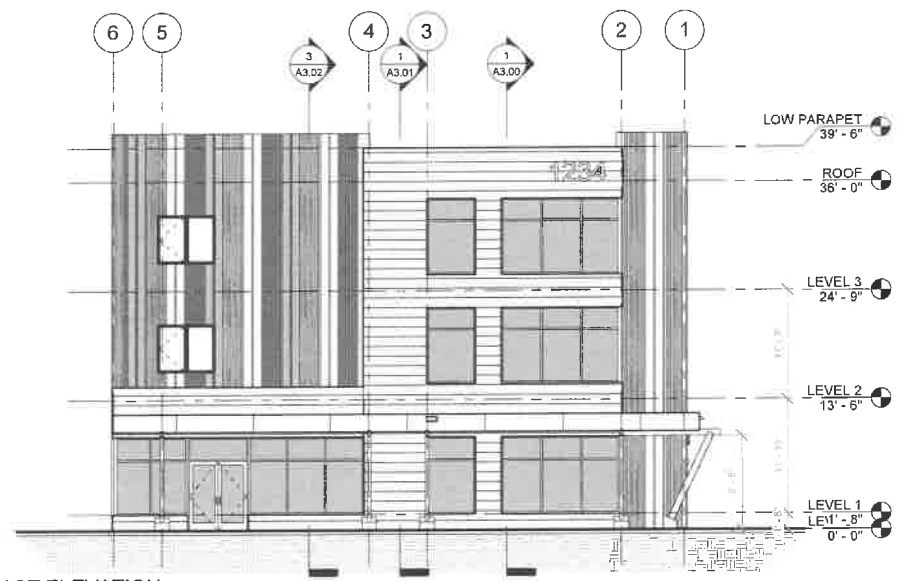
COOK INLET HOUSING AUTHORITY  
 AIRPORT HEIGHTS SENIOR HOUSING  
 ANCHORAGE, ALASKA

| REVISION SCHEDULE |      |
|-------------------|------|
| DESCRIPTION       | DATE |
|                   |      |
|                   |      |

JOB NO: 25-012  
 DATE: September 03, 2025  
 DRAWN: KS  
 REVIEWED: DTW

SHEET NAME  
 EXTERIOR ELEVATIONS

SHEET NO.  
**A2.00**



2 EAST ELEVATION  
1/8" = 1'-0"



3 PERSPECTIVE - NORTHEAST CORNER

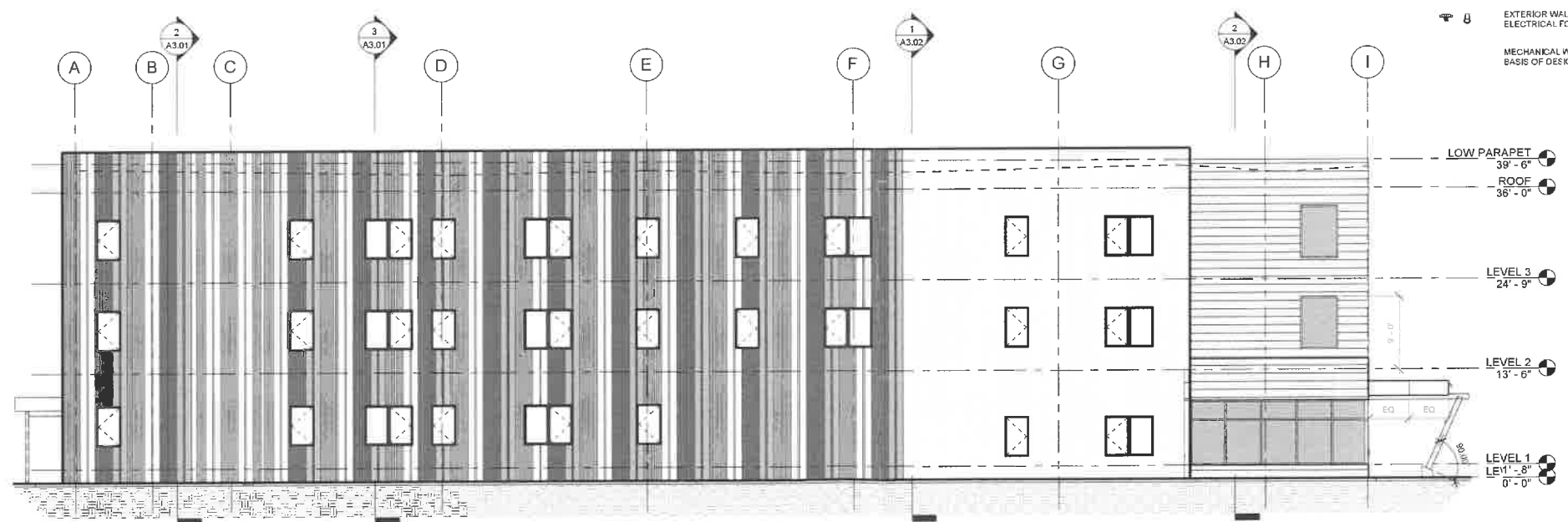
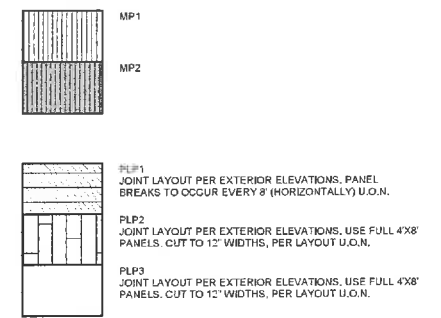
**EXTERIOR ELEVATION: GENERAL NOTES**

1. REFER TO A5.10 FOR EXTERIOR MATERIALS AND COORDINATING TRIM PAINT.
2. ALL EXHAUST LOCATIONS REQUIRE 3'-0" MINIMUM CLEARANCE FROM ANY OPERABLE OPENING PER IMC.
3. REFER TO MECHANICAL FOR ALL VENTS, LOUVER AND EXHAUST SIZES, LOCATIONS AND MOUNTING HEIGHTS.
4. ALL UNISTRUT SUPPORTING UTILITY EQUIPMENT SHALL BE PAINTED TO MATCH THE ADJACENT BUILDING FINISH.
5. ALL BLOCKING FOR HOSE BIBBS, WALL MOUNTED LIGHTS, RECEPTACLES, ETC. SHALL BE CLAD IN THE SAME SIDING MATERIAL AS THE BUILDING. REFER TO DETAILS.
6. ALL ADDRESSING AND OTHER SIGNAGE SHALL BE INCLUDED IN BID.

**EXTERIOR ELEVATION: SHEET NOTES**

- ① PAINT ELECTRICAL EQUIPMENT ENCLOSURE TO MATCH ADJACENT SIDING. COORDINATE COLOR WITH ARCHITECT. COVER LABELS, STICKERS AND OTHER SAFETY NOTICES ON EQUIPMENT TO PREVENT OVER SPRAYING OR PAINTING.

**EXTERIOR ELEVATION: LEGEND**



1 SOUTH ELEVATION  
1/8" = 1'-0"

**spark design, llc**  
 architecture • interiors • design-build  
 5401 Cordova Street, Suite 300  
 Anchorage, Alaska 99518  
 p. 907.344.3424 f. 907.771.9776

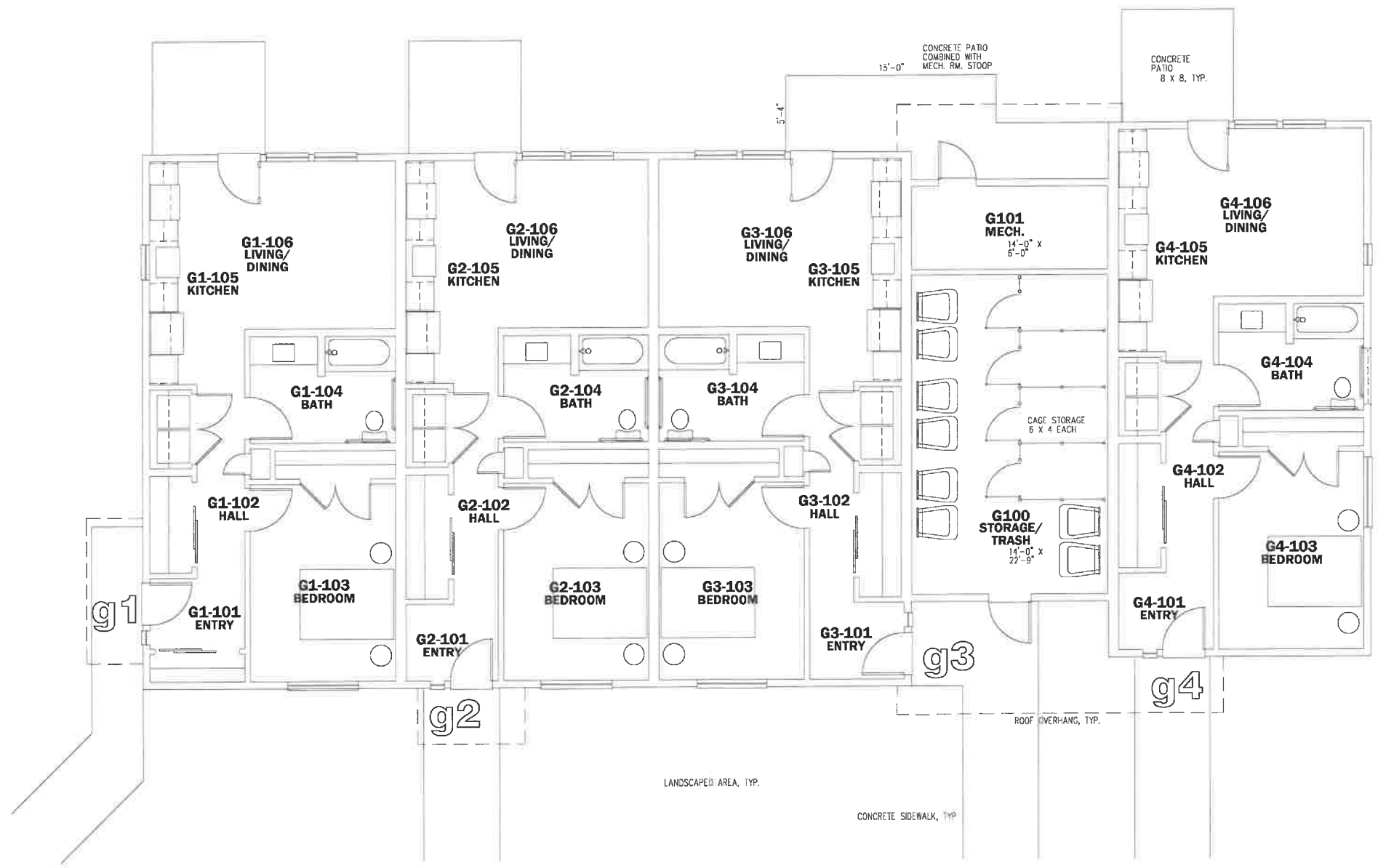
COOK INLET HOUSING AUTHORITY  
 AIRPORT HEIGHTS SENIOR HOUSING  
 ANCHORAGE, ALASKA

| # | REVISION | SCHEDULE | DATE |
|---|----------|----------|------|
|   |          |          |      |

JOB NO. 25-012  
 DATE September 03, 2025  
 DRAWN BY KA  
 REVIEWED DTN

SHEET NAME  
 EXTERIOR ELEVATIONS

SHEET NO.  
**A2.01**



50  
25  
10  
5  
0

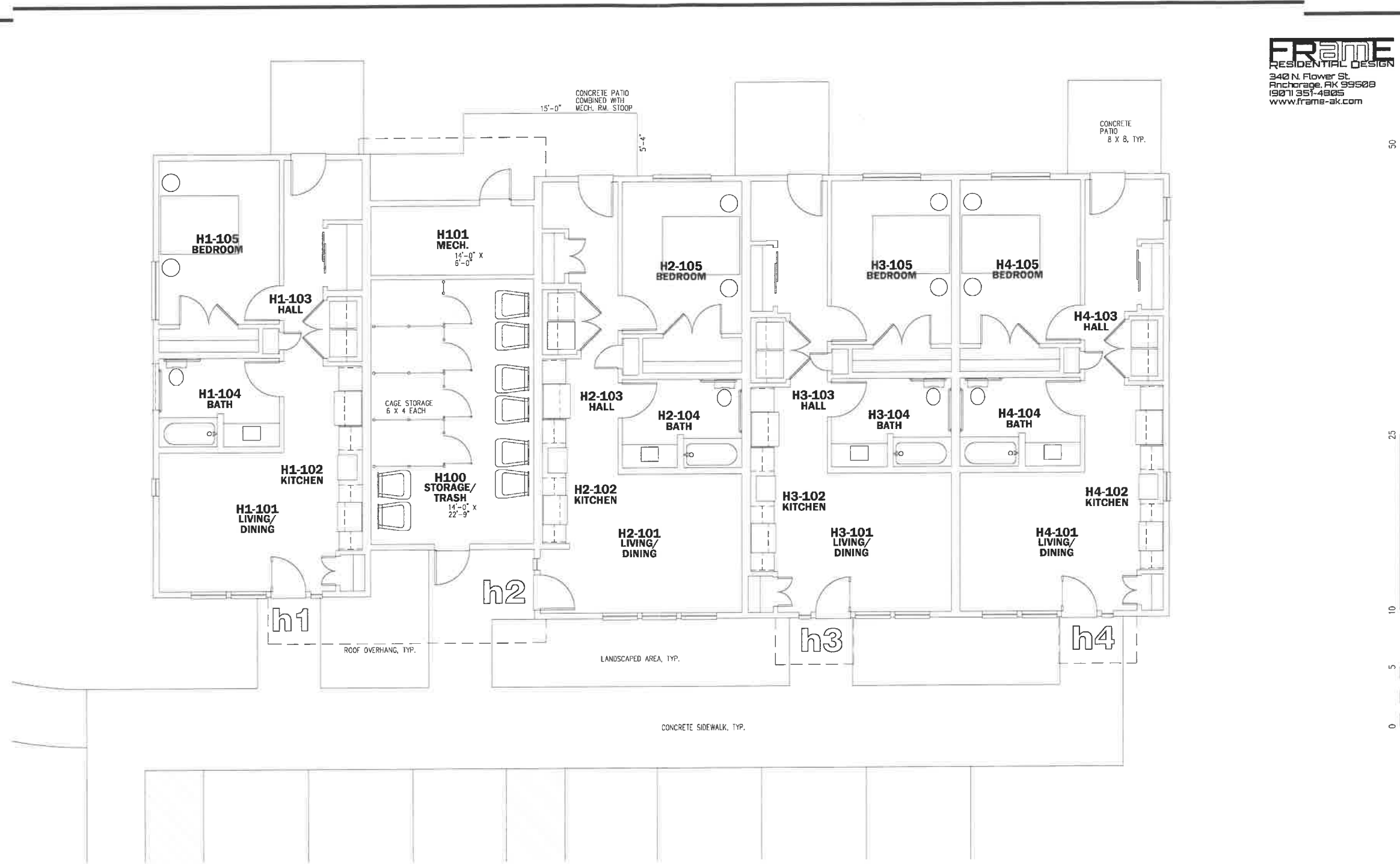
BUILDING G  
**Overall**  
Floor Plan  
BLDG. C, D, E AND F  
SIMILAR OR OPPOSITE HAND



COOK INLET HOUSING AUTHORITY  
AIRPORT HEIGHTS SENIOR HOUSING  
PHASE II FOURPLEXES  
Northway Business Park, Seward Towers Tract 1  
NHN Columbine Court  
ANCHORAGE, ALASKA

DR. BY: CLARK  
DATE: 14 DEC 25

**A3**  
3 of 6



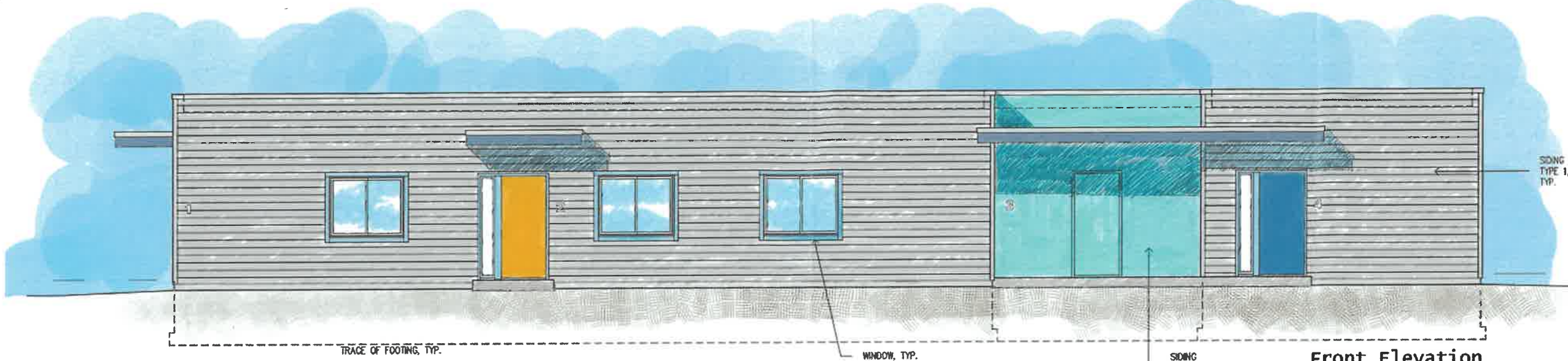
BUILDING H  
**Overall**  
Floor Plan



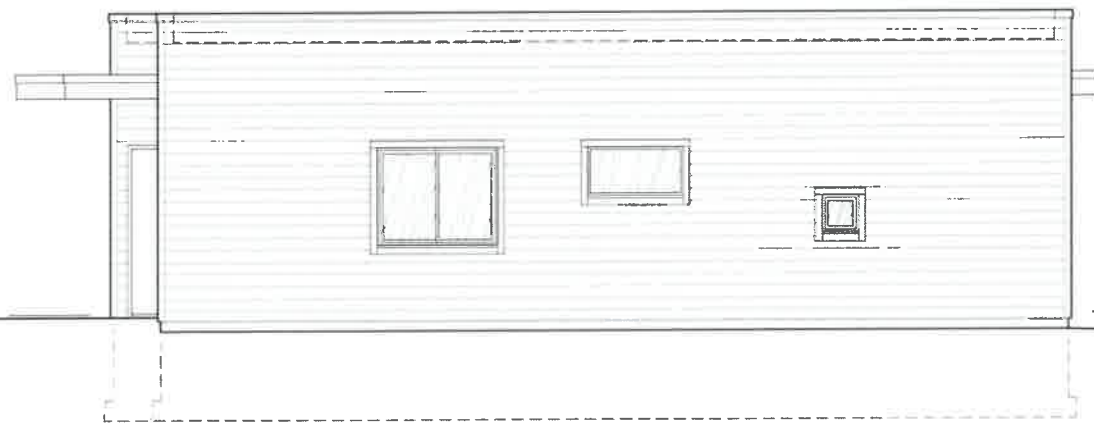
COOK INLET HOUSING AUTHORITY  
AIRPORT HEIGHTS SENIOR HOUSING  
PHASE II FOURPLEXES  
Northway Business Park, Seward Towers Tract 1  
NHN Columbine Court  
ANCHORAGE, ALASKA

DR. BY: CLARK  
DATE: 14 DEC 25

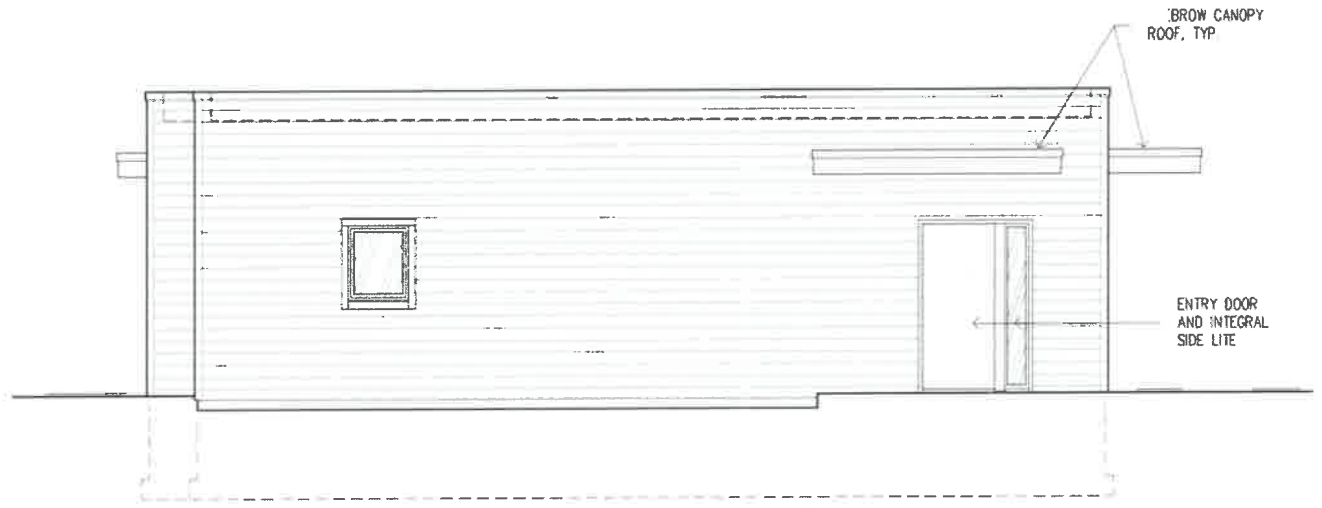
**A4**  
4 of 5



Front Elevation



Right Side Elevation



Left Side Elevation



Rear Elevation

COOK INLET HOUSING AUTHORITY  
AIRPORT HEIGHTS SENIOR HOUSING  
PHASE II FOURPLEXES  
Northway Business Park, Seward Towers Tract 1  
NHN Columbine Court  
ANCHORAGE, ALASKA

DR. BY CLARK  
DATE: 14 DEC 25

50  
25  
10  
5  
0

## 7. Community Meeting Summary

## **Summary of the Airport Heights Community Council Presentation**

### **Cook Inlet Housing Authority – Senior Housing Airport Heights - Conditional Use Permit**

**Location:** Virtual (Zoom)

**Date:** Thursday, December 18, 2025

**Time:** 7:00 p.m.

---

#### **Notification**

Community members were notified of the project presentation and meeting via mailed postcard to residents within a 500-foot radius of the project site, in accordance with AMC 21.03.020H. Postcards were received before November 27 (21 days prior to the meeting). A copy of the postcard is attached for reference.

#### **Presentation Summary**

Tyler Robinson, representing the Cook Inlet Housing Authority (CIHA), explained that CIHA is seeking a Conditional Use Permit to develop a multi-phased, affordable senior housing campus in the Airport Heights neighborhood. CIHA, a regional housing authority, recently purchased the 4.3-acre site and is advancing the first phase of what will ultimately be a 72-unit senior housing development. The project is intended to help meet Anchorage's growing housing needs for residents age 55 and older while creating a well-designed, community-oriented campus.

#### **Key Talking Points**

- The existing zoning is R-4 SL, Multifamily Residential with Special Limitations.
  - The Conditional Use Permit is due to the Special Limitations associated with the site.
  - The project will provide a total of 72 units of independent senior housing for residents age 55 and older.
  - Development will occur in phases, beginning with a three story, 24-unit apartment building (Building A).
  - The campus will include a mix of housing types, including multifamily apartment buildings and ranch style four plex units.
  - Shared indoor and outdoor amenities will support community living, including gathering spaces, a central plaza, and pedestrian connections.
  - CIHA will own, operate, and maintain the development long term to ensure affordability and quality management.
-

## **Community Questions**

**Question:** Will there be intersection improvements, such as a signalized intersection, at Columbine Court and DeBarr Road?

**Response:** The proposed use and density do not trigger a requirement for traffic improvements along DeBarr Road. If such improvements were required, the project would likely become infeasible. An attending Assembly member noted that the Municipality is exploring ways to reduce infrastructure burdens on development projects, particularly housing projects.

**Question:** What is the construction timeline?

**Response:** CIHA is optimistic that Phase 1, the first three story, 24-unit building, will begin construction in 2026. The second 24-unit building is anticipated in 2027 to 2028, with the ranch style four plex units constructed in a subsequent phase.

**Question:** Is the housing open to anyone?

**Response:** The development will comply with Fair Housing Act requirements. As an affordable housing project, many units will be income restricted, though CIHA typically includes some market rate units in its developments.

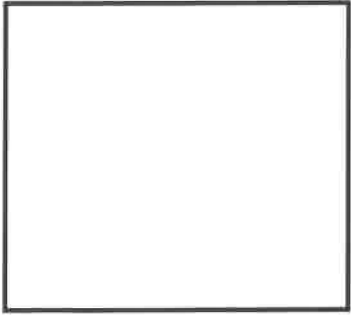
**Question:** Will advanced or assisted care be provided on site?

**Response:** The housing is designed for independent senior living. While CIHA is not a care provider, the design allows space for resident services and community partner programming.

**Question:** Will solar energy be incorporated into the project?

**Response:** A final determination has not yet been made. CIHA typically evaluates solar and other sustainability features during later design phases, depending on site specific conditions and feasibility.

HUDDLE  
605 W. 2nd Ave  
Anchorage, AK 99501



**NOTICE OF PUBLIC PRESENTATION**  
**at Airport Heights Community**  
**Council Meeting**

Application for Conditional Use Permit

Name  
Address  
Address

**WHEN:** Thursday, December 18, 2025

**TIME:** 7:00 pm - 9:00 pm

**WHERE:** Zoom Meeting - Online Only

**FOR MEETING LINK VISIT:**

<https://communitycouncils.org/airport-heights/>



# **NOTICE OF PUBLIC PRESENTATION at Airport Heights Community Council Meeting**

## **CIHA - Airport Heights Senior Housing Application for Conditional Use Permit**

Cook Inlet Housing Authority (CIHA) is applying for a Conditional Use Permit (CUP) for a multifamily development, in accordance with Special Limitation requirements for the site. The parcel is located at DeBarr Road and Columbine Court (Northway Business Park Seward Towers Tract-1). A project representative will speak at the Airport Heights Community Council meeting about the CUP request.

### **Public Presentation of Proposed**

#### **Conditional Use Permit**

This is an opportunity for the public to learn more about the CUP request, and ask questions about the project.

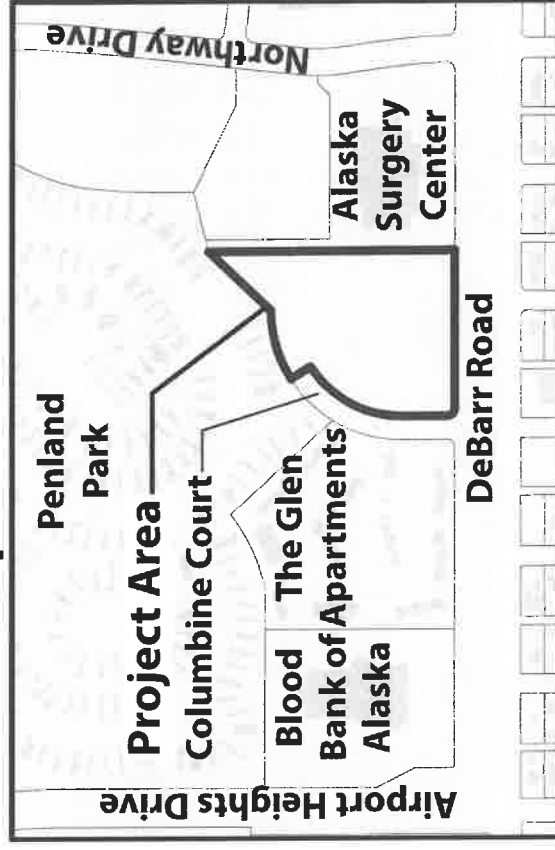
**Airport Heights Community Council Meeting  
Thursday, December 18, 2025, 7:00 - 9:00 pm**

**Zoom Meeting - Online Only**



**For meeting  
link visit:**

### **Location Map**



For more information about this project, contact Bri Keifer at [Bri@HuddleAK.com](mailto:Bri@HuddleAK.com) or 907-885-9199.

## 8. Submittal Requirements

AMENDED AND APPROVED  
DATE 9-28-82

Submitted by: Chairman of the Assembly  
At the Request of  
the Mayor  
Prepared by: Department of  
Community Planning  
For Reading: August 31, 1982

Anchorage, Alaska  
AO No. 82- 148

AN ORDINANCE AMENDING THE ZONING MAP AND PROVIDING FOR THE REZONING FROM D-2 (MULTIPLE FAMILY RESIDENTIAL DISTRICT, UP TO 8 UNITS ON 20,000 SQUARE FEET) TO R-4 (MULTIPLE FAMILY RESIDENTIAL DISTRICT) S.L. AND I-1 (LIGHT INDUSTRIAL DISTRICT) S.L. FOR TRACTS L, K, J, G-1, G-2, G-3, G-4, AND F-1 OF PENLAND SUBDIVISION. (PENLAND PARK, RUSSIAN JACK PARK, AIRPORT HEIGHTS COMMUNITY COUNCILS.)

THE ANCHORAGE ASSEMBLY ORDAINS:

SECTION 1. The zoning map be amended by designating the following described property as a R-4 (Multiple Family Residential District) S.L.:

A portion of Penland Park Subdivision located in the Southeast one-quarter (SE 1/4) of Section 16, Township 13 North, Range 3 West, Seward Meridian, Alaska, and more particularly described as follows:

From the Southeast corner of Section 16, Township 13 North, Range 3 West, Seward Meridian, Alaska; thence S. 89°58'50" W., along the line between Sections 16 and 21, for a distance of 1670.10 feet, to the intersection with the centerline of Columbine Court, the True Point of Beginning; thence N. 00°01'10" W., along the centerline of Columbine Court, for a distance of 280.00 feet to a point; thence from a tangent bearing N. 00°01'10" W., along a 300.00 foot radius curve to the right, through a central angle of 57°52'47", for a distance along the curve of 303.06 feet to a point; thence N. 32°08'23" W., along a line radial to said curve, for a distance of 30.00 feet to a point; thence from a tangent bearing N. 57°51'37" E., along a 330.00 foot radius curve to the right, through a central angel of 32°07'13", for a distance along the curve of 185.00 feet to a point; thence N. 00°01'10" W., for a distance of 160.00 feet; thence N. 89°58'50" E., for a distance of 150.00 feet to a point; thence S. 00°01'10" E., for a distance of 770.00 feet to a point on the line between Sections 16 and 21; thence S. 89°58'50" W. along said line, for a distance of 450.00 feet to the Point of Beginning. Parcel described contains 275,484 square feet (6.324 acres) more or less.

SECTION 2. The zoning map amendment for the R-4 (Multiple Family Residential District) S.L. zone designations for the property described in Section 1 above is restricted with the following limitations:

1. A Public Hearing site plan review under the provisions of AMC Section 21.15.030 Procedures for Obtaining a Conditional Use is required before issuance of a building permit.
2. A maximum height limitation of 3 stories.

SECTION 3. The zoning map be amended by designating the following described property as an I-1 S.L. (Light Industrial District) zone:

A portion of Penland Park Subdivision located within the Southeast one-quarter (SE 1/4) of Section 16, Township 13 North, Range 3 West, Seward Meridian, Alaska, and more particularly described as follows:

From the Southeast corner of Section 16, Township 13 North, Range 3 West, Seward Meridian, Alaska; thence S. 89°58'50" W., along the line between Sections 16 and 21, for a distance of 249.82 feet to the True Point of Beginning; thence S. 89°58'50" W., continuing along the line between Sections 16 and 21, for a distance of 970.28 feet; thence N. 00°01'10" W., for a distance of 770.00 feet; thence N. 89°58'50" E., for a distance of 147.81 feet; thence N. 00°11'50" W., for a distance of 212.09 feet; thence N. 05°25'40" E., for a distance of 108.09 feet; thence N. 16°40'40" E., for a distance of 108.09 feet; thence N. 27°55'40" E., for a distance of 108.09 feet; thence N. 39°10'40" E., for a distance of 108.09 feet; thence N. 44°48'10" E., for a distance of 70.43 feet; thence N. 00°11'50" W., for a distance of 412.35 feet; thence N. 14°46'41" W., for a distance of 91.64 feet; thence N. 75°13'19" E., for a distance of 160.00 feet; thence S. 14°46'41" E., for a distance of 20 feet; thence from a tangent bearing S. 14°46'41" E., along a 720.00 foot radius curve to the right, through a central angle of 4°13'17", for a distance along the curve of 53.05 feet to a point; thence N. 79°26'36" E., along a radial to said curve, for a distance of 60.00 feet; thence N. 89°48'10" E., for a distance of 651.32 feet to a point on the line between Sections 15 and 16; thence S. 00°11'50" E., along said line, for a distance of 1515.92 feet; thence S. 89°58'50" W., for a distance of 248.61 feet;

SECTION 4. The zoning map amendment for the I-1 (Light Industrial District) S.L. zone designations for the property described in Section 3 above is restricted with the following limitations:

1. A Public Hearing site plan review under the provisions of AMC Section 21.15.030 Procedures for Obtaining a Conditional Use is required before issuance of a building permit.
2. A maximum height limitation of 4 stories.
3. The following permitted principal uses and structures under Section 21.40.200 (B)(1) are prohibited.
  - v. Taxi cab stands and dispatching offices.
  - dd. Gasoline service stations.
  - gg. Farm equipment and garden supply stores.
  - ii. Automobile display lots, new and used.
  - uu. Mobile home display lots, new and used.
  - kk. Aircraft and boat display lots, new and used.
  - ll. Motorcycle and snowmachine lots, new and used.
  - mm. Automobile and truck and trailer rental agencies.
  - nn. Lumber yards and builders supply and storage.
  - oo. Fuel dealers.
  - qq. Automobile car washes
  - rr. Bus terminals, air passenger terminals.
  - ss. Amusement arcades, billiard parlors, (bowling alleys will be allowed).
  - uu. Funeral services and including crematoriums.
4. The following permitted principal uses and structures under Section 21.40.200(B)(2) are prohibited:
  - a. Airplane, automobile or truck assembly, remodeling or repair.
  - b. Beverage manufacturing, including breweries.
  - g. Manufacture, service or repair of light consumer goods such as appliances, batteries, furniture, garments, or tires.
  - h. Metal working or welding shops.
  - i. Motor freight terminals.
  - k. Steel fabrication shops or yards.
  - n. (1) Any open storage or repair yard, excluding yards for orderly display of new or reconditioned heavy equipment, shall be entirely enclosed within a fence of at least 8 feet high. The fence shall be of

chainlink, concrete block, or other appropriate construction approved by the administrative official. The fence shall be maintained in a sound and orderly condition and shall be free of any advertising matter other than signs permitted by this title.

SECTION 5. In accordance with Section 21.20.045 (I) of the Anchorage Municipal Codes of Ordinances, all district and supplementary district regulations that are applicable to an R-4 (Multiple Family Residential District) and I-1 (Light Industrial District) zone not specifically affected by the restrictions and standards set forth in Sections 2 and 4 above, respectively, shall apply to the subject property in the same manner as if the District were not subject to special limitations.

SECTION 6. This ordinance becomes effective in ten days after approval.

SECTION 7. The Director of Community Planning is hereby directed to change the zoning map accordingly.

28<sup>th</sup> PASSED AND APPROVED by the Anchorage Assembly this day of September, 1982.

Joy Smith  
Chairman

ATTEST:

Ruby E. Smith  
Municipal Clerk

js2/ro8

(ZP82-52)

Assembly Amendment: The Assembly amended this ordinance to conform with the map which is attached at exhibit "A".



# MUNICIPALITY OF ANCHORAGE

## ASSEMBLY MEMORANDUM

No. AM 963-82

**Meeting Date:** August 31, 1982

**From:** Mayor

**Subject:** Ordinance AO No. 82- 148 Rezoning from D-2 to R-4 and I-1 S.L. for 40.22 acres generally located at the northwest corner of DeBarr Road and Bragaw Street.

The Planning and Zoning Commission has recommended Denial of the referenced rezoning ordinance. Under the provision of AMC 21.20 the findings of the Planning Commission are advisory only and the Assembly may therefore adopt or reject the proposed ordinance in accordance with the standards enumerated in Chapters 21.05 (Comprehensive Plan) and 21.20 (Procedures for Zoning Map Amendments). The subject case, however, presents a situation where the area to be rezoned to an industrial district does not lie within the appropriate classification area of the Comprehensive Plan Map. Consequently, before the Assembly may act to adopt the proposed rezoning ordinance certain provisions of the code pertaining to such circumstances must be specifically addressed.

Municipal Code Section 21.05.090(E) and 21.05.095(B) explain in part the role of the land use classification map:

21.05.090(E). Land Use Categories

...Future land use decisions made by the Municipality such as areawide zoning, or other land use controls, changes in established zoning districts and approvals of conditional uses should be in accordance with the guidelines established by this section and the plan map...

21.05.095(B). Land Use Classification Map

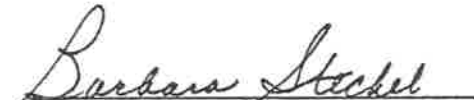
The land use classification maps identify those areas which, on the basis of the entire Comprehensive Plan, are best suited for the functional classification indicated. The functional categories neither affect current zoning regulations nor place additional regulations on specific property. Future land use decisions such as rezoning, subdivision approval and conditional uses must conform to the indicated functional categories in the absence of exceptional circumstances.

Conditional Uses could be recognized where existing uses are compatibly integrated into the area or where future uses could comply as compatible land uses by meeting appropriate standards pertaining to access, noise, landscaping, screening, structural or other improvements required by circumstances.

In order to eliminate possible confusion, the Assembly, if it decides to approve the subject rezoning based on all available evidence, should clearly indicate on the record that exceptional circumstances exist, that the standards contained in AMC 21.05.095 have been considered, and that the rezoning is in accordance with such standards.

Concurred by:

Prepared by:

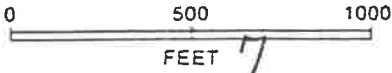
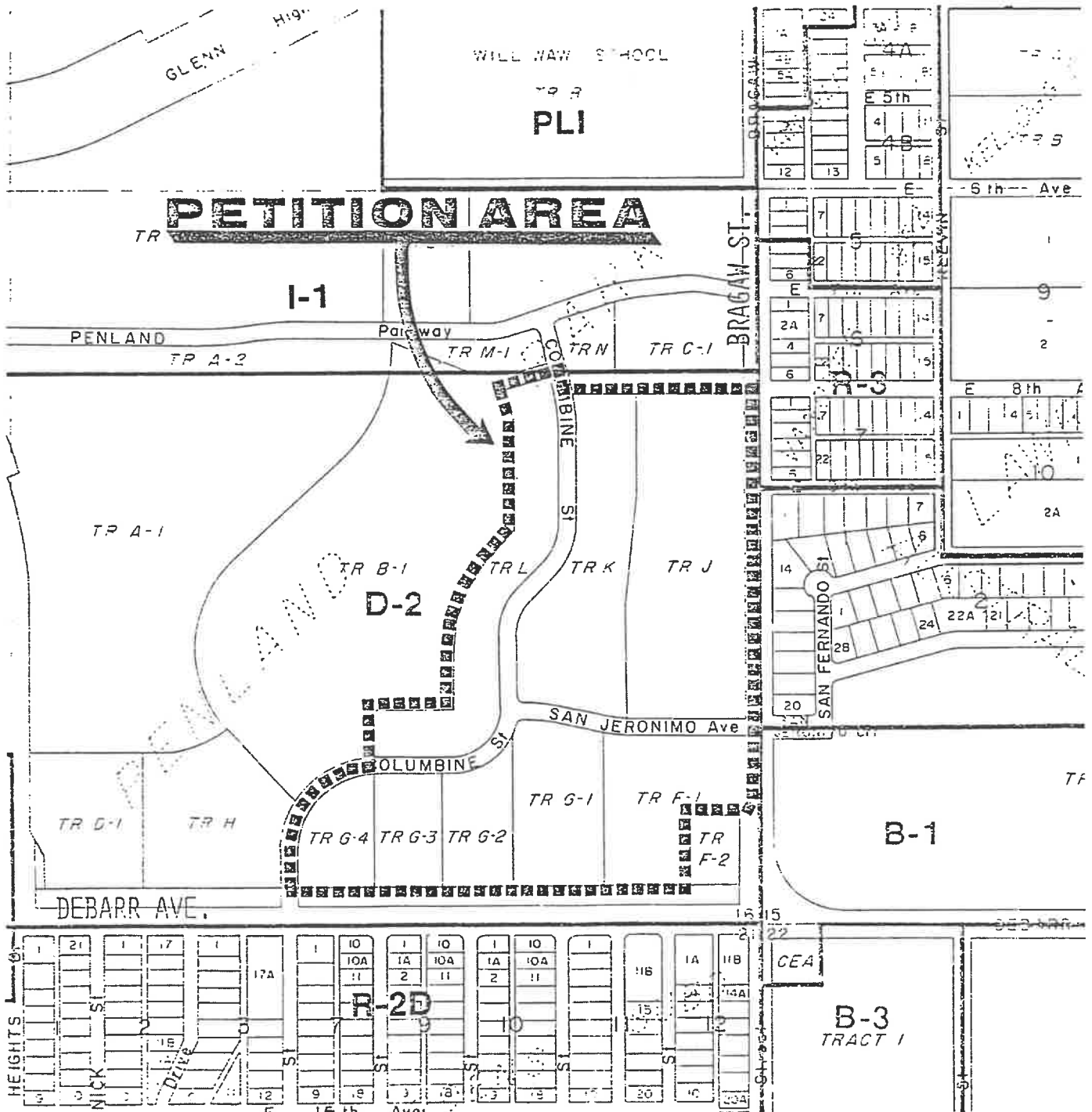
  
Barbara Steckel  
Municipal Manager

  
Michael J. Meenan  
Director of Community Planning

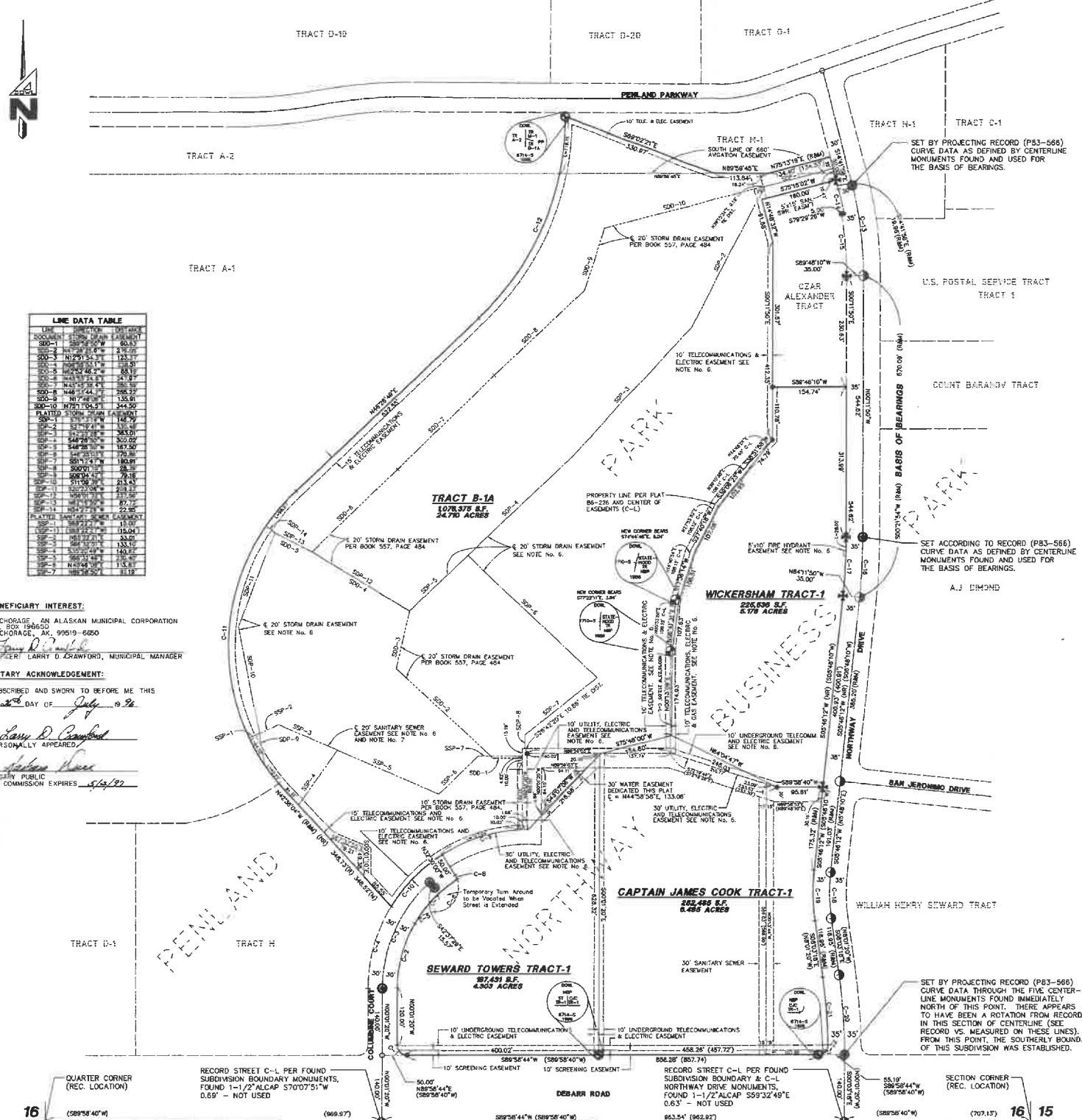
Respectfully submitted,

  
Tony Knowles  
Mayor

ZP 82-52  
REZONING



005



**LINE DATA TABLE**

| LINE    | DOCUMENT | DATE    | DESCRIPTION |
|---------|----------|---------|-------------|
| 100-1   | 100-1    | 100-1   | 100-1       |
| 100-2   | 100-2    | 100-2   | 100-2       |
| 100-3   | 100-3    | 100-3   | 100-3       |
| 100-4   | 100-4    | 100-4   | 100-4       |
| 100-5   | 100-5    | 100-5   | 100-5       |
| 100-6   | 100-6    | 100-6   | 100-6       |
| 100-7   | 100-7    | 100-7   | 100-7       |
| 100-8   | 100-8    | 100-8   | 100-8       |
| 100-9   | 100-9    | 100-9   | 100-9       |
| 100-10  | 100-10   | 100-10  | 100-10      |
| 100-11  | 100-11   | 100-11  | 100-11      |
| 100-12  | 100-12   | 100-12  | 100-12      |
| 100-13  | 100-13   | 100-13  | 100-13      |
| 100-14  | 100-14   | 100-14  | 100-14      |
| 100-15  | 100-15   | 100-15  | 100-15      |
| 100-16  | 100-16   | 100-16  | 100-16      |
| 100-17  | 100-17   | 100-17  | 100-17      |
| 100-18  | 100-18   | 100-18  | 100-18      |
| 100-19  | 100-19   | 100-19  | 100-19      |
| 100-20  | 100-20   | 100-20  | 100-20      |
| 100-21  | 100-21   | 100-21  | 100-21      |
| 100-22  | 100-22   | 100-22  | 100-22      |
| 100-23  | 100-23   | 100-23  | 100-23      |
| 100-24  | 100-24   | 100-24  | 100-24      |
| 100-25  | 100-25   | 100-25  | 100-25      |
| 100-26  | 100-26   | 100-26  | 100-26      |
| 100-27  | 100-27   | 100-27  | 100-27      |
| 100-28  | 100-28   | 100-28  | 100-28      |
| 100-29  | 100-29   | 100-29  | 100-29      |
| 100-30  | 100-30   | 100-30  | 100-30      |
| 100-31  | 100-31   | 100-31  | 100-31      |
| 100-32  | 100-32   | 100-32  | 100-32      |
| 100-33  | 100-33   | 100-33  | 100-33      |
| 100-34  | 100-34   | 100-34  | 100-34      |
| 100-35  | 100-35   | 100-35  | 100-35      |
| 100-36  | 100-36   | 100-36  | 100-36      |
| 100-37  | 100-37   | 100-37  | 100-37      |
| 100-38  | 100-38   | 100-38  | 100-38      |
| 100-39  | 100-39   | 100-39  | 100-39      |
| 100-40  | 100-40   | 100-40  | 100-40      |
| 100-41  | 100-41   | 100-41  | 100-41      |
| 100-42  | 100-42   | 100-42  | 100-42      |
| 100-43  | 100-43   | 100-43  | 100-43      |
| 100-44  | 100-44   | 100-44  | 100-44      |
| 100-45  | 100-45   | 100-45  | 100-45      |
| 100-46  | 100-46   | 100-46  | 100-46      |
| 100-47  | 100-47   | 100-47  | 100-47      |
| 100-48  | 100-48   | 100-48  | 100-48      |
| 100-49  | 100-49   | 100-49  | 100-49      |
| 100-50  | 100-50   | 100-50  | 100-50      |
| 100-51  | 100-51   | 100-51  | 100-51      |
| 100-52  | 100-52   | 100-52  | 100-52      |
| 100-53  | 100-53   | 100-53  | 100-53      |
| 100-54  | 100-54   | 100-54  | 100-54      |
| 100-55  | 100-55   | 100-55  | 100-55      |
| 100-56  | 100-56   | 100-56  | 100-56      |
| 100-57  | 100-57   | 100-57  | 100-57      |
| 100-58  | 100-58   | 100-58  | 100-58      |
| 100-59  | 100-59   | 100-59  | 100-59      |
| 100-60  | 100-60   | 100-60  | 100-60      |
| 100-61  | 100-61   | 100-61  | 100-61      |
| 100-62  | 100-62   | 100-62  | 100-62      |
| 100-63  | 100-63   | 100-63  | 100-63      |
| 100-64  | 100-64   | 100-64  | 100-64      |
| 100-65  | 100-65   | 100-65  | 100-65      |
| 100-66  | 100-66   | 100-66  | 100-66      |
| 100-67  | 100-67   | 100-67  | 100-67      |
| 100-68  | 100-68   | 100-68  | 100-68      |
| 100-69  | 100-69   | 100-69  | 100-69      |
| 100-70  | 100-70   | 100-70  | 100-70      |
| 100-71  | 100-71   | 100-71  | 100-71      |
| 100-72  | 100-72   | 100-72  | 100-72      |
| 100-73  | 100-73   | 100-73  | 100-73      |
| 100-74  | 100-74   | 100-74  | 100-74      |
| 100-75  | 100-75   | 100-75  | 100-75      |
| 100-76  | 100-76   | 100-76  | 100-76      |
| 100-77  | 100-77   | 100-77  | 100-77      |
| 100-78  | 100-78   | 100-78  | 100-78      |
| 100-79  | 100-79   | 100-79  | 100-79      |
| 100-80  | 100-80   | 100-80  | 100-80      |
| 100-81  | 100-81   | 100-81  | 100-81      |
| 100-82  | 100-82   | 100-82  | 100-82      |
| 100-83  | 100-83   | 100-83  | 100-83      |
| 100-84  | 100-84   | 100-84  | 100-84      |
| 100-85  | 100-85   | 100-85  | 100-85      |
| 100-86  | 100-86   | 100-86  | 100-86      |
| 100-87  | 100-87   | 100-87  | 100-87      |
| 100-88  | 100-88   | 100-88  | 100-88      |
| 100-89  | 100-89   | 100-89  | 100-89      |
| 100-90  | 100-90   | 100-90  | 100-90      |
| 100-91  | 100-91   | 100-91  | 100-91      |
| 100-92  | 100-92   | 100-92  | 100-92      |
| 100-93  | 100-93   | 100-93  | 100-93      |
| 100-94  | 100-94   | 100-94  | 100-94      |
| 100-95  | 100-95   | 100-95  | 100-95      |
| 100-96  | 100-96   | 100-96  | 100-96      |
| 100-97  | 100-97   | 100-97  | 100-97      |
| 100-98  | 100-98   | 100-98  | 100-98      |
| 100-99  | 100-99   | 100-99  | 100-99      |
| 100-100 | 100-100  | 100-100 | 100-100     |

**BENEFICIARY INTEREST:**  
 ANCHORAGE AN ALASKAN MUNICIPAL CORPORATION  
 P.O. BOX 196650  
 ANCHORAGE, AK, 99519-6650  
 OFFICER: LARRY D. DRAWFORD, MUNICIPAL MANAGER

**NOTARY ACKNOWLEDGEMENT:**  
 SUBSCRIBED AND SWORN TO BEFORE ME THIS 22<sup>nd</sup> DAY OF July 1996  
 Larry D. Drafword  
 PERSONALLY APPEARED  
 My Commission Expires 6/24/97

**CERTIFICATE OF OWNERSHIP AND DEDICATION**  
 WE HEREBY CERTIFY THAT WE HOLD THE HEREIN SPECIFIED PROPERTY INTEREST IN THE PROPERTY DESCRIBED HEREON. WE HEREBY DEDICATE TO THE MUNICIPALITY OF ANCHORAGE ALL AREAS DEPICTED FOR USE AS PUBLIC UTILITY EASEMENTS, STREETS, ALLEYS, THOROUGHFARES, PARKS, AND OTHER PUBLIC AREAS SHOWN HEREON. THERE SHALL BE RESERVED ADJACENT TO THE DEDICATED STREETS SHOWN HEREON, A SLOPE RESERVATION EASEMENT SUFFICIENT TO CONTAIN CUT AND FILL SLOPES OF 1.5 FEET HORIZONTAL FOR EACH 1 FOOT VERTICAL (1.5 TO 1) OF CUT OR FILL FOR THE PURPOSE OF PROMOVING AND MAINTAINING THE LATERAL SUPPORT OF THE CONSTRUCTED STREETS. THERE IS RESERVED TO THE GRANTORS, THEIR HEIRS, SUCCESSORS AND ASSIGNS, THE RIGHT TO USE SLOVE AREAS AT ANY TIME UPON PROMOVING AND MAINTAINING OTHER ADEQUATE LATERAL SUPPORT AS APPROVED BY THE MUNICIPALITY.

WE HEREBY AGREE TO THIS PLAT, AND TO ANY RESTRICTION OR COVENANT APPEARING HEREON AND ANY SUCH RESTRICTION OR COVENANT SHALL BE BINDING AND ENFORCEABLE AGAINST PRESENT AND SUCCESSIVE OWNERS OF THIS SUBDIVIDED PROPERTY.

**PROPERTY OWNER**  
 ROBERT C. FLETCHER  
 3520 PENLAND PARKWAY  
 ANCHORAGE, ALASKA 99508

**NOTARY ACKNOWLEDGEMENT**  
 SUBSCRIBED AND SWORN TO BEFORE ME THIS 23<sup>rd</sup> DAY OF July 1996  
 Robert C. Fletcher  
 PERSONALLY APPEARED  
 8-2-97  
 MY COMMISSION EXPIRES

**CURVE DATA TABLE**

| CURVE | DELTA      | RADIUS   | LENGTH  | TANGENT | CHORD   | BEARING     |
|-------|------------|----------|---------|---------|---------|-------------|
| C-1   | 89°59'36"  | 20.00'   | 31.42'  | 20.00'  | 28.38'  | H43°11'18"W |
| C-2   | 90°00'00"  | 20.00'   | 31.42'  | 20.00'  | 28.38'  | H43°11'18"W |
| C-3   | 23°44'41"  | 270.00'  | 162.40' | 71.87'  | 158.90' | H43°33'07"E |
| C-4   | 47°23'51"  | 300.00'  | 248.17' | 131.68' | 241.15' | H23°40'50"E |
| C-5   | 31°13'34"  | 330.00'  | 179.85' | 99.22'  | 177.83' | H19°39'25"E |
| C-6   | 13°15'15"  | 350.00'  | 182.28' | 92.28'  | 172.28' | H15°58'45"E |
| C-7   | 59°14'30"  | 80.00'   | 81.70'  | 26.42'  | 48.42'  | H26°29'38"E |
| C-8   | 59°14'30"  | 80.00'   | 81.70'  | 26.42'  | 48.42'  | H26°29'38"E |
| C-9   | 100°36'30" | 50.00'   | 95.99'  | 71.40'  | 81.91'  | H34°02'07"E |
| C-10  | 27°27'45"  | 270.00'  | 129.54' | 62.06'  | 129.54' | H43°32'02"E |
| C-11  | 11°32'17"  | 50.00'   | 10.07'  | 5.05'   | 10.05'  | H26°43'48"W |
| C-12  | 11°32'17"  | 50.00'   | 10.07'  | 5.05'   | 10.05'  | H26°43'48"W |
| C-13  | 32°45'37"  | 330.00'  | 188.72' | 97.02'  | 188.72' | H19°25'27"W |
| C-14  | 28°17'46"  | 330.00'  | 151.46' | 77.06'  | 150.12' | H44°21'08"W |
| C-15  | 28°17'46"  | 330.00'  | 151.46' | 77.06'  | 150.12' | H44°21'08"W |
| C-16  | 89°59'36"  | 20.00'   | 31.42'  | 20.00'  | 28.38'  | H43°11'18"W |
| C-17  | 89°59'36"  | 20.00'   | 31.42'  | 20.00'  | 28.38'  | H43°11'18"W |
| C-18  | 13°49'30"  | 435.00'  | 104.96' | 52.74'  | 104.71' | H10°10'13"E |
| C-19  | 13°49'30"  | 435.00'  | 104.96' | 52.74'  | 104.71' | H10°10'13"E |
| C-20  | 09°00'00"  | 1200.00' | 125.86' | 62.86'  | 125.81' | H2°48'10"E  |
| C-21  | 09°00'00"  | 1185.00' | 122.00' | 61.06'  | 121.84' | H2°48'10"E  |
| C-22  | 13°49'30"  | 435.00'  | 104.96' | 52.74'  | 104.71' | H10°10'13"E |
| C-23  | 13°49'30"  | 435.00'  | 104.96' | 52.74'  | 104.71' | H10°10'13"E |
| C-24  | 09°00'00"  | 1200.00' | 125.86' | 62.86'  | 125.81' | H2°48'10"E  |
| C-25  | 09°00'00"  | 1185.00' | 122.00' | 61.06'  | 121.84' | H2°48'10"E  |
| C-26  | 81°02'10"  | 20.00'   | 31.76'  | 20.37'  | 38.54'  | H44°27'38"W |
| C-27  | 81°02'10"  | 20.00'   | 31.76'  | 20.37'  | 38.54'  | H44°27'38"W |

- NOTES**
- ALL BEARINGS AND DISTANCES NOT SHOWN TO BE RECORD (R) OR MEASURED (M) ARE BOTH RECORD AND MEASURED (R/M).
  - NO TRACT SHALL HAVE DIRECT VEHICULAR ACCESS TO DEBARR ROAD.
  - TRACT LINES ARE NOT RADIAL TO INTERSECTED CURVES UNLESS NOTED BY (R) FOR RADIAL.
  - ALL STREET RIGHT OF WAY WIDTHS SHOWN HEREON TO THE NEAREST FOOT ARE ACTUALLY MEASURED TO THE HUNDRETH, I.E. 30' = 30.00'.
  - THIS PLAT IS EXECUTED TO CONFORM THE COMMON PROPERTY LINE BETWEEN TRACT B-1, PENLAND PARK (75-83) AND WICKERSHAM TRACT, NORTHWAY BUSINESS PARK (86-226), SEWARD TOWERS TRACT & CAPTAIN JAMES COOK TRACT, NORTHWAY BUSINESS PARK (83-566) WITH THE CURRENT LAND USES, FENCING AND INSTALLED LANDSCAPING.
  - ALL EASEMENTS SHOWN ARE RECORD PER THE ORIGINAL PLAT FOR TRACT B-1, PENLAND PARK (75-83), WICKERSHAM TRACT, NORTHWAY BUSINESS PARK (86-226), AND SEWARD TOWERS TRACT & CAPTAIN JAMES COOK TRACT, NORTHWAY BUSINESS PARK (83-566) UNLESS OTHERWISE NOTED.
  - SANITARY SEWER SEGMENTS SSP-1, SSP-2, SSP-3 AND SSP-4 ARE HEREBY WIDENED TO A TOTAL WIDTH OF 30 FEET, 15 FEET ON EACH SIDE OF THE SHOWN CENTERLINE, EXCLUSIVE OF ANY TRAILER FOOTPRINT WHICH ENROACHES INTO THE 30 FOOT WIDTH ALONG SEGMENT SSP-4.
  - ALL PROPERTIES SUBJECT TO THIS PLAT ARE SUBJECT TO A BLANKET EASEMENT FOR ELECTRICAL AND/OR TELEPHONE DISTRIBUTION AND INCIDENTAL PURPOSES PER BOOK 101, PAGE 124 AND FURTHER MODIFIED BY MISCELLANEOUS BOOK 04, PAGE 195.
  - WICKERSHAM TRACT-1, SEWARD TOWERS TRACT-1 AND CAPTAIN JAMES COOK TRACT-1, NORTHWAY BUSINESS PARK ARE SUBJECT TO COVENANTS, CONDITIONS AND RESTRICTIONS PER DOCUMENT RECORDED BOOK 1194, PAGE 886.
  - ALL EASEMENTS REFERENCED BY A BOOK AND PAGE ARE DOCUMENT EASEMENTS AND ARE NOT DEDICATED BY THIS PLAT.

96 59  
 RECORDED-FILED  
 ANCHORAGE REC. DIST.  
 DATE 7-20-96  
 TIME 10:53 AM  
 PREPARED BY A.J. DOW

**SURVEYOR'S CERTIFICATE**  
 I, STANLEY E. PENNESS, PROFESSIONAL LAND SURVEYOR, HEREBY CERTIFY THAT THE PLAT SHOWN HEREON IS A TRUE AND CORRECT REPRESENTATION OF LANDS ACTUALLY SURVEYED AND THAT THE DISTANCES AND BEARINGS ARE SHOWN CORRECTLY AND LOT CORNERS HAVE BEEN SET OR STAKED, OR IF FINAL COMPLETION IS ASSURED BY SUBDIVISION AGREEMENT, THEY WILL BE SET AS SPECIFIED IN SAID SUBDIVISION AGREEMENT. NO SUBDIVISION AGREEMENT.

Stanley E. Penness  
 7/19/96

- LEGEND**
- FOUND 1-1/2" ALCAP PER PLAT 83-566, STAMPED
  - FOUND CONC. NAIL IN SIDEWALK OR CURB
  - FOUND "X" IN CONC. SIDEWALK OR CURB
  - FOUND 5/8" REBAR - ADDED YELLOW PLASTIC CAP STAMPED
  - COMPUTED POINT - NOTHING SET THIS SURVEY
  - FOUND MONUMENT AS DESCRIBED
  - SET 3" DIA. ALUMINUM CAP ON 2-1/4"x30" ALUM. PIPE FLUSH W/GROUND, STAMPED AS SHOWN
  - SET 2" ALCAP FLUSH WITH GRADE OR PAVEMENT, STAMPED
- REMAINING CORNERS ARE SET WITH 5/8" x 30" REBAR WITH YELLOW PLASTIC CAP FLUSH W/ GROUND.
- (R) RECORD PER PLAT 75-83, 83-566, OR 86-226  
 (M) MEASURED  
 (C) COMPUTED  
 (NR) NOT RADIAL

**TAX CERTIFICATION**  
 ALL REAL PROPERTY TAXES LEVIED BY THE MUNICIPALITY OF ANCHORAGE ON THE AREA SHOWN ON THIS PLAT HAVE BEEN PAID IN FULL. IF APPROVAL IS SOUGHT BETWEEN JANUARY 1 AND THE TAX DUE DATE, THERE IS ON DEPOSIT WITH THE CHIEF FISCAL OFFICER AN AMOUNT SUFFICIENT TO PAY ESTIMATED REAL PROPERTY TAX FOR THE CURRENT YEAR.

7-25-96  
 DATE  
 AUTHORIZED OFFICIAL

**PLAT APPROVAL**  
 PLAT APPROVED BY THE MUNICIPAL PLATTING AUTHORITY THIS 26th DAY OF July 1996

7/29/96  
 AUTHORIZED OFFICIAL

**ACCEPTANCE OF DEDICATION**  
 THE MUNICIPALITY OF ANCHORAGE HEREBY ACCEPTS FOR PUBLIC USES AND FOR PUBLIC PURPOSES THE REAL PROPERTY DEDICATED ON THIS PLAT, INCLUDING BUT NOT LIMITED TO THE EASEMENTS, RIGHTS OF WAY, ALLEYS, ROADWAYS, THOROUGHFARES AND PARKS SHOWN HEREON.

DATED AT ANCHORAGE, ALASKA, THIS 25<sup>th</sup> DAY OF July 1996

Mayor  
 MUNICIPAL CLERK

**APPROVALS**  
 PLATTING OFFICER: [Signature]  
 MUNICIPAL SURVEYOR: [Signature]  
 DATE: 7-29-96

**PLAT OF**  
 TRACT B-1A, PENLAND PARK; SEWARD TOWERS TRACT-1, CAPTAIN JAMES COOK TRACT-1 AND WICKERSHAM TRACT-1, NORTHWAY BUSINESS PARK

A 40.676 ACRE RESUBDIVISION OF TRACT B-1, PENLAND PARK (75-83); SEWARD TOWERS TRACT & CAPTAIN JAMES COOK TRACT, NORTHWAY BUSINESS PARK (83-566); AND WICKERSHAM TRACT, NORTHWAY BUSINESS PARK (86-226) LOCATED WITHIN THE SE 1/4 OF SEC. 16, T.33N, R.06E, S.14E, ANCHORAGE RECORDING DISTRICT

**DOWL ENGINEERS**  
 4040 B STREET, ANCHORAGE, ALASKA 99503

DWN, TDM/TRM C-P: PR1A 35998 SCALE 1"=100' CASE S-9932  
 F.B. 1182 REF. P75-83, P83-566, P86-226 DOWL FILE NO.  
 GRID 1335 DATE 7/16/96 W.O. 055775 126-06

96 59