

Application for Major Site Plan Review

Municipality of Anchorage
Planning Department
PO Box 196650
Anchorage, AK 99519-6650

PETITIONER*

Name (last name first)

Taylor Keegan, MOA Parks & Recreation

Mailing Address

632 W. 6th Avenue, Suite 630

Anchorage, AK 99501

Contact Phone: Day

Evening

907-343-4518

E-mail

taylor.keegan@anchorageak.gov

PETITIONER REPRESENTATIVE (if any)

Name (last name first)

Oona Martin, The Boutet Company (TBC)

Mailing Address

601 E. 57th Place, Suite 102

Anchorage, AK 99518

Contact Phone: Day

Evening

907-306-3457

E-mail

omartin@tbcak.com

*Report additional petitioners or disclose other co-owners on supplemental form. Failure to divulge other beneficial interest owners may delay processing of this application.

PROPERTY INFORMATION

Property Tax # (000-000-00-000): See attached LOA

Site Street Address: 544 W. 5th Avenue & 551 W. 6th Avenue

Current legal description: (use additional sheet if necessary)

Town Square Park

Original Townsite Block 5, Lots 2, 3, 4, 6B, and 7A, Per Plat 84-335,

Zoning: B-2A

Acreage: 1.71

Grid #: SW1230

Underlying plat #: 84-335

SITE PLAN APPROVAL REQUESTED

Use:

Park

☒ New SPR

☐ Amendment to approved site plan Original Case #:

I hereby certify that (I am)/(I have been authorized to act for) owner of the property described above and that I petition for a major site plan review in conformance with Title 21 of the Anchorage Municipal, Code of Ordinances. I understand that payment of the application fee is nonrefundable and is to cover the costs associated with processing this application, and that it does not assure approval of the site plan. I also understand that assigned hearing dates are tentative and may have to be postponed by Planning Department staff, the Planning and Zoning Commission, or Urban Design Commission for administrative reasons.

Signature

☒ Owner ☐ Representative (Agents must provide written proof of authorization)

Date

Tanya S. Hong, P.E.

Print Name

Accepted by:

E. Appleby

Poster & Affidavit:

3+1

Fee:

\$57665⁰⁰

Case Number:

2025-0142

Meeting Date: UDC:

12-10-2025

COMPREHENSIVE PLAN INFORMATIONImprovement Area (per AMC 21.08.050B.): ☒ Class A ☐ Class B**Anchorage 2040 Land Use Designation(s):**

- | | | |
|---|--|--|
| ☐ Large Lot Residential | ☐ Single and Two-family Residential | ☐ Compact Mixed Residential – low |
| ☐ Compact Mixed Residential–Medium | ☐ Urban Residential – High | ☐ Neighborhood Center |
| ☐ Town Center | ☐ Regional Commercial Center | ☐ City Center |
| ☐ Commercial Corridor | ☐ Main Street Corridor | ☐ Open Space |
| ☐ Facilities and Institutions | ☐ Industrial | |

Anchorage 2040 Growth Supporting Features:

- | | |
|---|---|
| ☐ Transit-supportive Development | ☐ Residential Mixed-use Development |
| ☐ Greenway-supported Development | ☐ Traditional Neighborhood Development |

Chugiak-Eagle River Land Use Classification:

- | | | | |
|---|--|---|--|
| ☐ Commercial | ☐ Industrial | ☐ Parks | ☐ Community Facility |
| ☐ Town Center | ☐ Transportation facility | ☐ Special study area | ☐ Development reserve |
| ☐ Residential at _____ dwelling units per acre | | | |

Girdwood- Turnagain Arm Land Use Classification:

- | | | | |
|---|--|---|--|
| ☐ Commercial | ☐ Industrial | ☐ Parks/open space | ☐ Public lands/institutions |
| ☐ Resort | ☐ Transportation facility | ☐ Special study area | ☐ Reserve |
| ☐ Commercial/Residential | ☐ Commercial Recreation | | |
| ☐ Residential at _____ dwelling units per acre | | | |

Neighborhood, District or Other Area-Specific Plan: Downtown Comprehensive Plan**ENVIRONMENTAL INFORMATION** (All or portion of site affected)

- | | | | | |
|--------------------------------|---------------------------------------|--------------------------------------|--------------------------------|---|
| Wetland Classification: | ☒ None | ☐ "C" | ☐ "B" | ☐ "A" |
| Avalanche Zone: | ☒ None | ☐ Blue Zone | ☐ Red Zone | |
| Floodplain: | ☒ None | ☐ 100 year | ☐ 500 year | |
| Seismic Zone (Harding/Lawson): | ☐ "1" | ☒ "2" | ☐ "3" | ☐ "4" ☐ "5" |

- | | |
|---|---|
| ☐ Steep Slope > _____% | ☐ Riparian Stream Setback Area |
|---|---|

RECENT REGULATORY INFORMATION (Events that have occurred in last 5 years for all or portion of site)

- | |
|--|
| ☐ Rezoning - Case Number: |
| ☐ Preliminary Plat ☐ Final Plat - Case Number(s): |
| ☐ Conditional Use - Case Number(s): |
| ☐ Zoning variance - Case Number(s): |
| ☐ Land Use Enforcement Action for |
| ☐ Building or Land Use Permit for |
| ☐ Wetland permit: ☐ Army Corps of Engineers ☐ Municipality of Anchorage |

APPLICATION REQUIREMENTS (Only one copy of applicable items is required for initial submittal)

- 1 copy required:** ☒ Signed application (original)
☒ Watershed sign off form, completed
☒ 8 1/2" by 11" copy of site plan/building plans submittal

14 copies required:

- ☒ Signed application (copies)
- ☒ Project narrative explaining:
 - ☒ the project ☒ planning objectives
 - ☒ addressing the site plan review criteria on page 3 of this application
- ☒ Site plan to scale depicting, with dimensions:

☐ building footprints	☐ parking areas	☒ vehicle circulation and driveways
☒ pedestrian facilities	☒ lighting	☒ grading
☒ landscaping	☐ loading facilities	☒ freestanding sign location(s)
☒ required open space	☒ drainage	☒ snow storage area or alternative strategy
☐ trash receptacle location and screening detail	☐ fences	
☒ significant natural features	☒ easements	☒ project location
- ☐ Building plans to scale depicting, with dimensions:

☐ building elevations	☐ floor plans	☐ exterior colors and textures
--	--------------------------------------	---
- ☐ Assembly Ordinance enacting zoning special limitations, if applicable
- ☒ Summary of community meeting(s)

(Additional information may be required.)

GENERAL SITE PLAN REVIEW STANDARDS (AMC 21.03.180F.)

The Urban Design Commission or the Planning and Zoning Commission shall review the proposed site plan governed by the general site plan approval criteria for consistency with conformity to the requirements of this title, and the effects of the proposal on the area surrounding the site. Each standard must have a response in as much detail as it takes to explain how your project satisfies the standard. The burden of proof rests with you.

1. The site plan is consistent with any previously approved subdivision plat, planned development master plan, or any other precedent plan or land use approval;
2. The site plan complies with all applicable development and design standards set forth in this title, including but not limited to the provisions in chapter 21.04, *Zoning Districts*, chapter 21.05, *Use Regulations*, chapter 21.06, *Dimensional Standards and Measurements*, and chapter 21.07, *Development and Design Standards*;
3. The site plan addresses any significant adverse impacts that can reasonably be anticipated to result from the use, by mitigating or offsetting those impacts to the maximum extent feasible; and
4. The development proposed in the site plan is consistent with the goals, objectives, and policies of the comprehensive plan.

SPECIAL LIMITATION STANDARDS (if applicable)

The applicable commission shall review the proposed site plan governed by special limitation for consistency with the special limitations, goals, policies and land use designations of the comprehensive development plan and other municipal plans adopted by the assembly, conformity to the requirements of this title, and the effects of the proposal on the area surrounding the site. Each special limitation standard must have a response in as much detail as it takes to explain how your project satisfies the standard. The burden of proof rests with you.



MUNICIPALITY OF
ANCHORAGE

Municipality of Anchorage, Alaska
Parks & Recreation Department

632 W. 6th Avenue, Suite 630

P.O. Box 196650

Anchorage, AK 99519

Tel 907-343-4355

URL www.muni.org/departments/parks



September 16, 2025

Planning Department
P.O. Box 196650
Anchorage, AK. 99519-6650

Re: Letter of Authorization – Town Square Park Improvements

Dear Ms. Appleby,

The Municipality of Anchorage (MOA) Parks and Recreation Department is the owner of Town Square Park, located on 5 Lots between 5th and 6th Avenues, at 544 West 5th Avenue and 551 West 6th Avenue, Anchorage, Alaska, 99501.

Town Square Park encompasses 4 properties on the Original Townsite Block 51.

- Lot 2 – Tax Id# 002-101-21-000, 544 West 5th Avenue
- Lot 3 – Tax Id# 002-101-22-000, 544 West 5th Avenue
- Lot 4 – Tax Id# 002-101-23-000, 544 West 5th Avenue
- Lot 6b – Tax Id# 002-101-37-0000, 544 West 5th Avenue
- Lot 7a – Tax Id# 002-101-38-000, 551 West 6th Avenue

We authorize The Boutet Company, Inc. to act on our behalf as the Petitioner's Representative for the Major Site Plan Review application for the Town Square Park Improvements Project.

Sincerely,

Tanya S. Hong, PE,
Project Manager
Municipality of Anchorage

cc: Shanna Gamble, Director MOA Parks & Recreation
Taylor Keegan, PLA, Parks Superintendent, MOA
Loren Becia, PE, The Boutet Company, Inc.
Oona Martin, The Boutet Company, Inc.

WMS WATERCOURSE MAPPING SUMMARY

Per the requirements for watercourse verification outlined in Project Management and Engineering Operating Policy and Procedure #8 and Planning Department Operating Policy and Procedure #1 (effective June 18, 2007), MOA Watershed Management Services has inspected the following location for the presence or absence of stream channels or other watercourses, as defined in Anchorage Municipal Code (21.35).

- Project Case Number or Subdivision Name: Original Townsite Block 51 - Town Square Park
- Project Location, Tax ID, or Legal Description: 002-101-21-000; 002-101-22-000;
002-101-23-000; 002-101-37-000; 002-101-38-000
- Project Area (if different from the entire parcel or subdivision): _____
544 W. 5th Avenue & 551 W. 6th Avenue

In accordance with the requirements and methods identified, WMS verifies that this parcel, project area, or application:

X **DOES NOT** contain stream channels and/or drainageways, as identified in WMS field or archival mapping information.*

_____ **DOES** contain stream channels and/or drainageways **AND** these are located and identified on submittal documents in general congruence with WMS field and archival mapping information.

New or additional mapping **IS NOT REQUIRED**.*

_____ Contains stream channels and/or drainageways **BUT** one or more streams or other watercourses:

- are **NOT** shown on submittal documents, or
- are **NOT** depicted adequately on submittal documents for verification, or
- are **NOT** located or identified on submittal documents in general congruence with WMS field and archival mapping information.

New or additional mapping **IS REQUIRED** and must be re-submitted for further review and verification.*

_____ Presence of stream channels and/or drainageways is unknown **AND** field verification is not possible at this time. WMS will verify as soon as conditions and prioritized resources allow.

* Streams omitted in error by WMS or others remain subject to MOA Code and must be shown in new mapping upon identification of the error.

ADDITIONAL INFORMATION:

- | | | |
|---|--|---|
| ☐ Y ☐ N | WMS written drainage recommendations are available. | ☐ Preliminary ☐ Final |
| ☐ Y ☐ N | WMS written field inspection report or map is available. | ☐ Preliminary ☐ Final |
| ☐ Y ☐ N | Field flagging and/or map-grade GPS data is available. | |

Inspection Certified By:

Date:

Kenna Biller

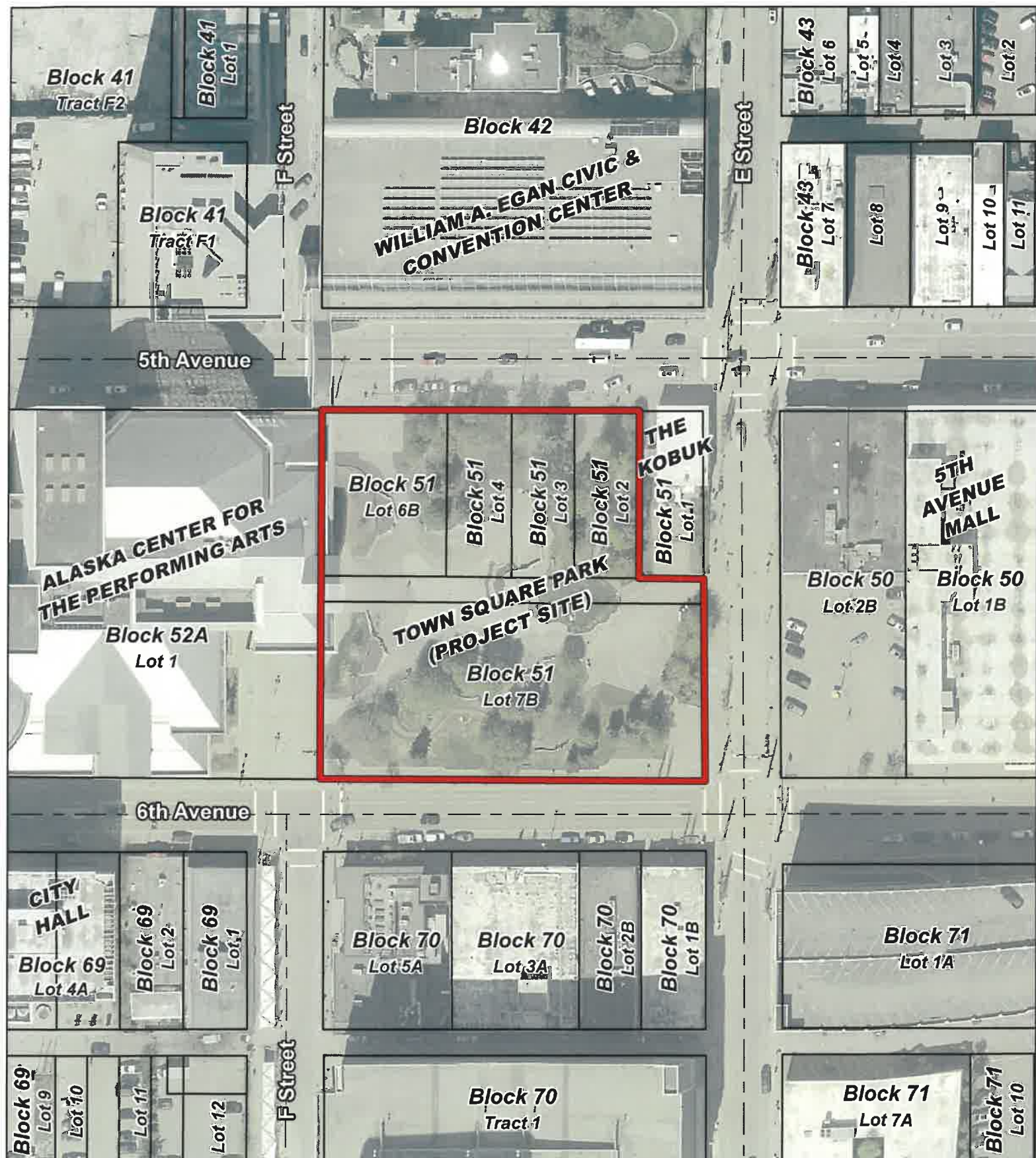
09-25-2025

WMS Archive File Name:

_25TownSq_____

Kenna Billey

09-25-2025



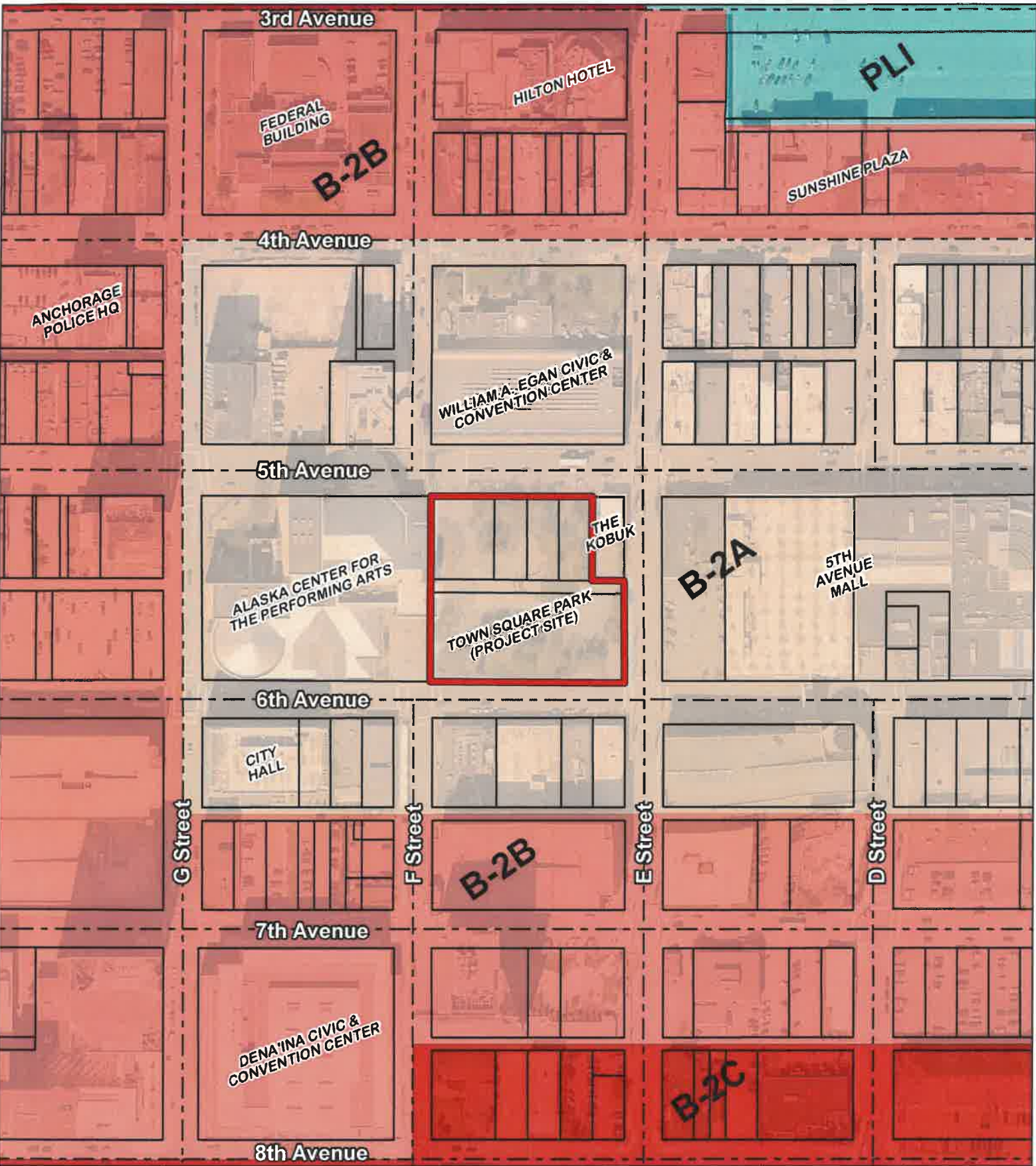
2026 TOWN SQUARE PARK REDEVELOPMENT
EXISTING CONDITIONS

ORIGINAL TOWNSITE
BLOCK 51, LOTS 2,3,4,6B & 7A
ANCHORAGE, AK, 99501

tbc
The Boutet Co.



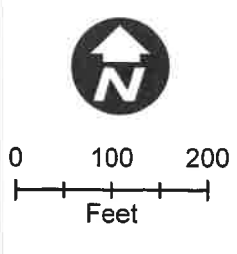
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Feet



2026 TOWN SQUARE PARK REDEVELOPMENT

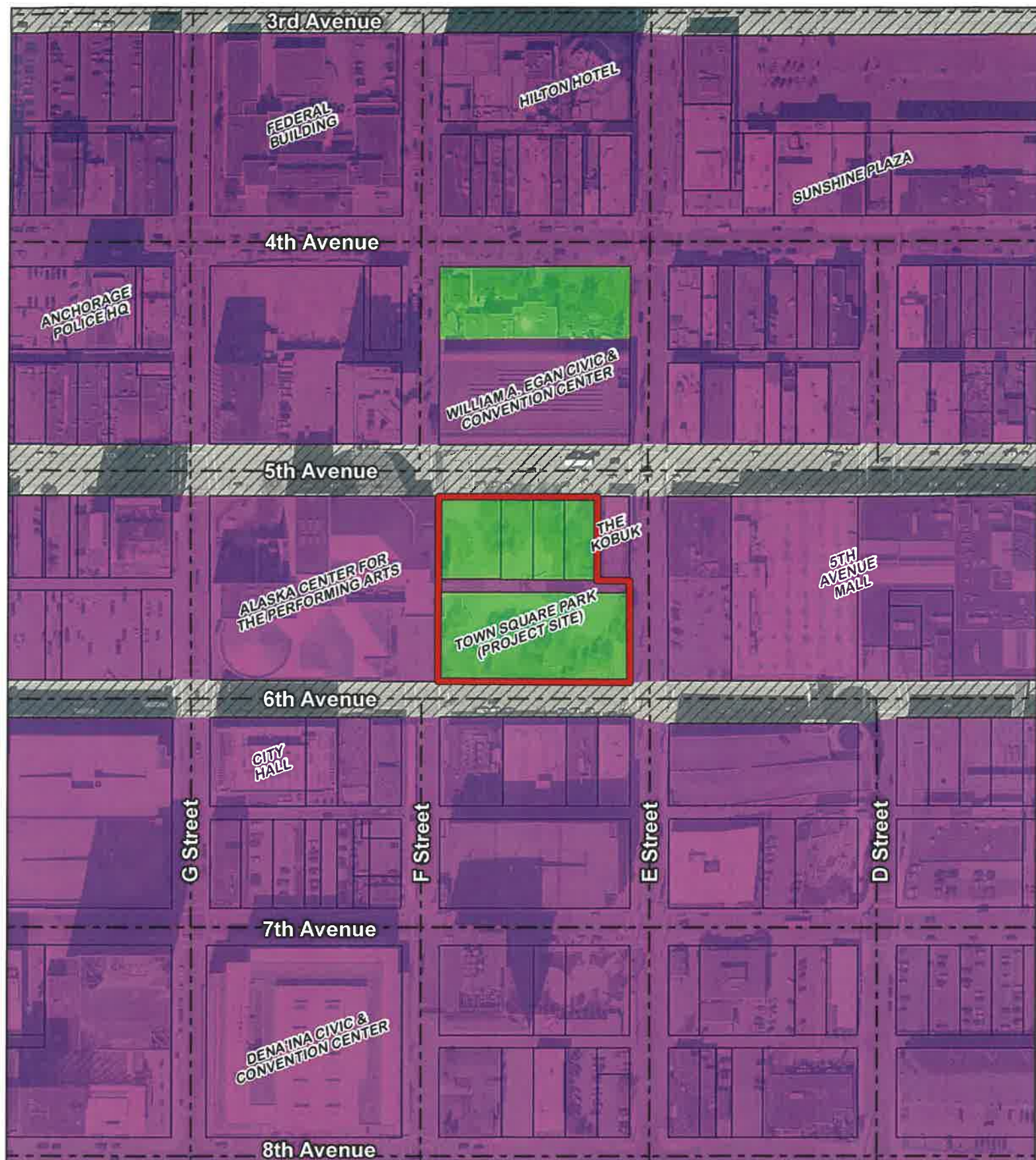
ZONING

ORIGINAL TOWNSITE
 BLOCK 51, LOTS 2,3,4,6B & 7A
 ANCHORAGE, AK, 99501



ZONING	
	B-2A
	B-2B
	B-2C
	PLI





2026 TOWN SQUARE PARK REDEVELOPMENT

LAND USE

ORIGINAL TOWNSITE
 BLOCK 51, LOTS 2,3,4,6B & 7A
 ANCHORAGE, AK, 99501

LAND USE

-  City Center
-  Park or Natural Area
-  ROW

tbx
 The Boutet Co.



0 100 200
 Feet

1. Project Overview

Town Square Park (TSP), Block 51, is Anchorage's only park that was dedicated by Anchorage Charter, Article XX, Section 20.01.04. In 2019, following two years of public involvement and plan development, the Town Square Park Master Plan was approved by the Planning and Zoning Commission. The TSP master plan provides a 20-year vision that seeks to address issues, prioritize improvements, and identify strategies to ensure that TSP is a safe and thriving public space for all.

The Master Plan Vision states, "Town Square Park is a safe and welcoming destination in the heart of downtown Anchorage, where residents and visitors gather year-round for celebration, socializing, cultural exchange, and community building.

The Parks and Recreation Department (PRD) proposes to implement several of the master plan's guiding principles, including the following:

- Activate Town Square Park with Programming and Events;
- Improve the relationship of the Park to Surroundings and Surroundings to the Park;
- Create a Park for all Seasons;
- Improve Access, Circulation, and Connectivity;
- Flowers and Green Space are a Valued Asset;
- Manage the Park as an Important Asset;
- Improve Safety & Security;
- Incorporate an Iconic Feature;
- Provide Amenities; and
- Promote a Strong Identity and Purpose.

2. Background, History, and Existing Conditions

Background/History

Town Square Park is an important park and civic space located in the heart of downtown Anchorage. More than a park, Town Square Park is a catalyst for the development of Downtown Anchorage's commerce and cultural exchange.

Town Square Park was created in 1984 through a citizen-led initiative, being the only park dedicated by Anchorage Charter. At the time, the park was envisioned as an oasis from the urban environment of Alaska's largest city. Over the years, use of the park has evolved, as have public preferences for what Town Square Park should be.

Today, Anchorage residents envision TSP not only as a green oasis but also as an active and vibrant public space, a hub for activity downtown, and a place where friends meet, families gather, and the community celebrates.

Located in the heart of downtown Anchorage, Town Square Park is a popular destination and central gathering space. The park is situated between 5th and 6th Avenues, west of E Street and adjacent to the Alaska Center for the Performing Arts (PAC). The park is part of the original Anchorage Townsite and, prior to development in the 1980s, was occupied by small businesses and a parking lot.

Town Square Park is classified as a Community Use Park and is intended to meet the recreational needs of the larger community. Unlike other Community Use Parks, Town Square Park is unique in its urban setting and role as a hub for citywide events.

Town Square Park is surrounded by a mix of land uses including civic and cultural institutions, office, retail, restaurants, and transportation. Major civic and cultural institutions include the PAC to the west, the Egan Center to the north, and the Dena'ina Center one block to the south. Other major institutions include City Hall to the west and the Anchorage Museum two blocks east of the park.

In addition to its close proximity to major civic and cultural institutions, Town Square Park benefits from having a wealth of eating and shopping options within a few blocks of the park. Directly south of the park, at F St and 6th Avenue, is a cluster of bars, restaurants, and live music venues. East of the park is the 5th Avenue Mall, a regional shopping center featuring over 100 stores. One block north of the park is 4th Avenue, Anchorage's historic main street. 4th Avenue is a hub for tourist activity and features gift shops and fine art galleries as well as popular bars and restaurants.

Town Square Park benefits from its central location and close proximity to complimentary land uses. However, busy transportation corridors bordering the park impact overall connectivity. Town Square Park is bordered to the north and south by 5th and 6th Avenues. These major one-way arterial roadways bring high volumes of traffic past the park creating a disconnection between the park and the rest of downtown.

Existing Conditions

The Parks and Recreation Department (PRD) has been working to improve safety within the park through event activation, lighting upgrades, and improving sight lines into the park.

During the summer of 2025, several safety and security enhancements were completed. Select trees were cleared/limbed and invasive tree species were removed, which has greatly improved sightlines and visibility into the park.

Concurrently, seven security cameras were purchased and installed around the perimeter of the park and once live will be monitored by the Anchorage Police Department's (APD's) Real-Time Crime Center. APD and MOA IT are collaborating to ensure system readiness.

Additionally, PRD planned (in collaboration with private partners) several events over the summer to energize the park:

- **Biker Buddies Tuesdays:** A youth cycling program
- **Farmers Market Wednesdays** (10 AM–2 PM): Featuring local makers, food vendors, and artisans
- **Live After Five Thursdays:** Hosted by Anchorage Downtown Partnership
- **Friday Night Market:** After-work events with music, vendors, and food until 9 PM
- **Showdown:** Summer Concert Series (Maoli, Nelly, Yung Gravy, cont.)

In April 2025, a \$2.9 million Anchorage Parks and Recreation bond was passed for the implementation of the 2019 master plan. The efforts moving forward will incorporate the goals expressed in the master plan document alongside historical, current, and future context and budgetary considerations. It is anticipated that the April 2026 ballot will also include proposed funding for additional master plan implementation improvements.

The MOA Parks and Recreation Department led a community planning process to identify and prioritize the proposed improvements at Town Square Park. This process included multiple citizen advisory group meetings with Downtown Stakeholders, Master Plan Working Group, numerous individual/small group meetings, one open house, two presentations at the Downtown Community Council, and approval at the Parks and Recreation Commission. (Reference Appendix A for Public Involvement Materials).

3. General Site Plan Review Standards

1. ***The site plan is consistent with any previously approved subdivision plat, planned development master plan, or any other precedent plan or land use approval.***

In keeping with the 2019 Town Square Park Master Plan, "Setting the Stage" improvements proposed in Phase 1 of the Project include the following:

- **Demolition** of concrete "sun bowl" and stairs, removal of donor bricks, and lowering of existing earthen mounds down to three feet maximum height to provide clear sight lines across the Park.
- **Walkways & entrances** that are wide and ADA accessible, improving pedestrian circulation, sight lines, and safety.
- **Plazas (Flex Area)** that are sized for civic space uses such as markets, concerts (local and national), and city-wide events.
- **Market space and additional food truck vendor** spaces (with electrical receptacles) are proposed along the PAC frontage to activate the area and strengthen the F Street pedestrian connection.
- An **additional food truck vendor area** is also planned along 5th Avenue to provide another activation spaces and "eyes on the Park."
- **Seat walls & terraced lawns** are proposed along the north and south perimeters of the Park, providing open green space for passive recreation and spectating during events. A gentle slope away from the central plaza offers a subtle sense of separation, while also keeping clear sight lines across the Park.
- **Site electrical w/ LED pedestrian lighting and flood lighting** is proposed to illuminate the park for year-round use and safety.
- **Trees, lawn areas (w/ irrigation), perennial landscaping, and Horticulture annual flower beds** are proposed throughout the park. Flowers in the Park continue to be one of the most celebrated and memorable features of the Park.
- **Utility extensions** for future potential restrooms/buildings are proposed, pending funding & subdivision platting/AWWU tariff requirements.

Pending future funding, Phase 2, "Bringing the Park to Life" improvements may include:

- **String lighting and additional lighting features** are anticipated, and electrical services are planned and designed to accommodate the additional potential power load. Additional lighting features being considered include **lighted focal points** and artistic/vertical elements for the **iconic site feature(s)**.
- **Playful site features** such as a Nature Play Area and rocking swings are currently proposed adjacent to the Kobuk to promote positive activity and provide sensory-rich elements encouraging creative and active play.
- **Indigenous place naming and wayfinding** elements are being developed with ongoing collaboration between the Downtown Wayfinding Project and the Indigenous Place Naming Project.
- The existing **Donor bricks** are a valued element of the park, yet many are damaged, illegible or missing. Bricks may be returned to donors if desired and feasible. There are ~13,458 bricks. At this time, it is envisioned that donor names and messages be recorded in a different way - on a series of lighted structures for example - or perhaps in a way where more names can be added over time.

2. ***The site plan complies with all applicable development and design standards set forth in this title, including but not limited to the provisions in chapter 21.04, Zoning Districts, Chapter 21.05, Use Regulations, chapter 21.06, Dimensional Standards and Measurements, and chapter 21.07, Development and Design Standards.***

21.04 Zoning Districts: This site is zoned B2A Central Business District Core; however, Town Square Park was dedicated as a Park in the Anchorage Charter, as noted previously.

21.05 Use Regulations: Since this property is located Downtown, Title 21 Chapter 11 Downtown governs use. Table 21.11-2 Table of Allowed Uses – Downtown Districts, lists Parks (Public or Private) as a permitted land use. Additionally, per AMC 21.05.040.G.2.b.ii(C), Park (public or private) development projects costing more than \$1,000,000 or disturbing more than 1 acre are subject to major site plan review.

21.06 Dimensional Standards and Measurements: Since this property is located Downtown, Title 21 Chapter 11 Downtown governs dimensional standards. There are no permanent structures proposed. Lot coverage is unrestricted in the B-2A zoning district.

21.07 Development and Design Standards: Since this property is located Downtown, Title 21 Chapter 11 Downtown governs development and design standards. This Project seeks to obtain **Alternative Equivalent Compliance** of the Downtown Development and Design Standards, as the proposed design site plan is equal to or better than the strict application of design standards.

21.11.070.C Tower Mass Reductions

Not Applicable

21.11.070.D Pedestrian-Oriented Frontage Standards

Not Applicable

21.11.070.E Parking Lot Landscaping Requirements

Not Applicable

21.11.070.F Screening

Not Applicable

21.11070.G Downtown Street Landscaping

Not Applicable

21.11070.H Off-Street Parking and Loading

Not Applicable

Alternative Equivalent Compliance

Entrances/Access Points/Circulation

Entrance walkways are wide and provide clear sight lines to locate activities, amenities and adjacent uses along the perimeter of the park, like local businesses. Open, welcoming entrances with colorful flower beds greet visitors, and Downtown Core Wayfinding information may be provided at all main entrances. (Reference Appendix B for Site Furnishing Product Information Sheet Materials.)

The Ruth Moulton memorial plaque mounted on a boulder will remain in the location at the park entrance at 6th Ave and E Street. The master plan recommends similar boulders with plaques honoring Avis Cupples and Shirley Brundage recognizing their work alongside the Anchorage Garden Club to establish Town Square Park. These are proposed to be installed within a dedicated garden space at the northeast park entrance near the Kobuk, fulfilling Anchorage Assembly AR 2007-216.

Walkways throughout the park are designed to encourage visitors to move freely about the park. Clear sight lines and wayfinding help park guests to make decisions about where to go next and bottlenecks are removed by providing multiple, wide walkways. Likewise, the park is also designed to allow for access for emergency and service vehicles, snow removal, and event support equipment.

PAC Access

Formal plans for passenger drop off and loading for the Performing Arts Center in the formerly platted F Street right-of-way are subject to review and approval by the Planning department, in conjunction with the Traffic Engineer, and subsequent review and approval of the Planning and Zoning Commission. (Reference Appendix C for Planning Department Memo, June 23, 2025.)

The 2019 Master Plan and preferred concept were approved without showing vehicular access and passenger loading and drop off to the PAC, siting that this issue would need to be addressed by Planning and Zoning and abide by the Planning and Zoning Commission Resolution 81-104C.

The proposed Project is designed to serve the Park's needs first and foremost and seeks to follow the direction of the 2019 Master Plan while not precluding PAC access.

Long-range plans for bi-directional, lower speeds for 5th/ and 6th/ Avenue are being evaluated, and new drop-off patterns to the PAC could be possible with these changes.

On-Site Landscaping

Trees and flowers are an important part Town Square Park's identity. At this time, all existing trees will be removed due to the extreme grade changes applied to the existing mounds to improve sight lines, accessibility and utility changes. We are strategizing ways to keep the smaller, more recently planted trees and replant them in the park or on other park projects.

New tree plantings aim to balance safety, wind, shade and sun, as well as giving space to each tree to reach its full width and height. The master plan recommends a mix of non-invasive and native species, predominantly deciduous trees. Deciduous trees are preferred as they offer seasonal color and movement and have branch structures that allow for clear sight lines.

For understory planting, the planting plan strives to invoke naturalistic, Alaskan landscape themes such as Birch Understory, Fireweed Belt, Lupine Beach Belts, Silver Shrubs and Rain Garden areas. Each planting theme will consist of characteristic plant types and aim to have rotating peak moments of interest. By using these themes in a balanced way around the park, the plantings can provide year-round interest and a diversity of plant species while also unifying the space. This application of these themes and coverage will be guided by the labor availability of Park Horticulture and Maintenance.

Horticulture display beds for annual planting beds are a celebrated, memorable part of the park and will continue to be a distinguishing feature. The current plan matches the amount of proposed horticulture bed area with the existing, keeping expectations in line with what the Horticulture department greenhouse can produce.

The north and south lawns provide green space for passive recreation such as socializing with friends and enjoying the sun. Park visitors may eat lunch brought from home or a local restaurant outside on a nice day. The space is also suited to event watching, where visitors can sit either on the provided seat walls or set up a chair on the gentle rise. A gentle slope away from the central plaza offers a subtle sense of separation, while also keeping clear sight lines across the park.

A pedestrian allée is a tree lined walkway. The 2019 Preferred Concept showed this feature buffering 6th Avenue by diverting pedestrians away from the busy traffic and into the park. The Project keeps both the allée and the existing 11-foot sidewalk to allow for improvements along 6th Avenue in the future.

Winter Design & Lighting

Snow removal strategies are important considerations for a winter-city park. Looking for opportunities to store snow for average years, as well as surplus snow helps snow removal crews quickly clear snow from the park, ensuring daily use and safety. Snow storage will currently remain in the Ruth Moulton plaza for scheduled pickup for Fur Rondy activities.

Maintaining ice for skating in Town Square is challenging and impedes day-day park use. The new design provides space for a small ice-skating rink if conditions allow and demand remains.

The 2019 master plan recognizes the importance of a holiday tree at Town Square Park. In the new design, it is not feasible to keep the existing holiday tree which sits atop the concrete terraced sunbowl, 7' above the central plaza. A solution proposed by the master plan is similar to a model of the National Christmas Tree, where a new tree is brought to Town Square Park each winter. Trees could be locally sourced or donated.

As part of the base bid, a full site lighting plan is proposed to include pedestrian light poles and architectural flood lights to illuminate the park for year-round use and safety. Future lighting upgrades are anticipated so electrical services are planned to be provided for future lighting such as overhead string lights and lighted focal points. Additional elements being considered include integrated bench lighting and artistic, vertical elements for the iconic site features. (Reference Appendix D for Site Lighting Cutsheets Materials.)

3. The site plan addresses any significant adverse impacts that can reasonably be anticipated to result from the use, by mitigating or offsetting those impacts to the maximum extent feasible.

A safe and secure environment is essential to the continued use and long-term success of Town Square Park. The Project design proposes significant changes to the site topography, lowering the earthen mounds to provide clear sight lines across the entire Park, improving visibility and safety within the Park. Additionally, lighting, signage, and amenities to support positive use and activation throughout the seasons.

4. The development proposed in the site plan is consistent with goals, objectives and policies of the comprehensive plan.

The table below presents key policies and strategies promulgated in the 2006 Anchorage Bowl Park, Natural Resources, and Recreation Facility Plan, the 2007 Anchorage Downtown Comprehensive Plan, Anchorage 2020, Anchorage Comprehensive Plan, the 2040 Land Use Plan, and the 2021

Our Downtown: Anchorage Downtown District Plan, as well as other additional Adopted Elements per Anchorage Municipal Code (AMC) 21.01.080, and describes how the proposed Project fulfills these policies and strategies.

Comprehensive Plan Elements Policies and Strategies

Comprehensive Plan Element	#	Policy	Discussion of Consistency
Anchorage Bowl Park, Natural Resources, and Recreation Facility Plan, 2006		<i>Park Classification: Community Use.</i>	Town Square Park is a community park, more specifically meeting the definition of a "Town Center Park.
Anchorage 2020, Anchorage Bowl Comprehensive Plan	42	Northern city design concepts shall guide the design of all public facility project, including parks and roads.	The Project paid special attention to snow storage, winter activities, and providing site lighting and additional lighting elements.
	44	<i>Design and build public improvements for long-term use.</i>	Town Square Park is designed to meet ADA standards, as well as meeting the goals of the 2019 Master Plan.
	47	<i>Provide distinctive public landmarks</i>	The Project proposes to install distinctive Iconic design elements to the Park, as well as Downtown Wayfinding, and Indigenous Place Naming installations.
	86	<i>Encourage public/private collaboration</i>	The Project has been engaging with public Downtown stakeholders. As well as private funding collaborate with the Anchorage Park Foundation.
Anchorage 2040 Land Use Plan	8.1	<i>Ensure all neighborhoods and communities have access to nearby parks and recreational opportunities that support well-being.</i>	Town Square Park is located within the heart of Downtown Anchorage, providing an oasis from the urban environment of Alaska's largest city.
Anchorage Downtown Comprehensive Plan, 2007		<i>Land Use & Economic Development Goal 1: Establish Economic Development Strategies</i>	Town Square Park plans to continue providing fun attractions and events to draw visitors Downtown.
Our Downtown, Anchorage Downtown District Plan, 2021		<i>Quality of Life Action Item #16 Fund and implement the Town Square Park Master Plan</i>	This Project implements this goal, as well as overlaps with other early action items, such as completing the Downtown Streets Engineering Study, the Downtown Wayfinding Project, creative indigenous placemaking, urban design, and promoting downtown.

4. Special Limitation Standards

The property has no Special Limitations, and this section is not applicable.

5. Phase 1 Development Schedule

Task	Activity Milestone	Completion Date
Planning	Park Bond Passes	April 2025
	Park Activation	Summer 2025
Design	Public Engagement	Summer/Fall 2025
	Park Design Plan Review	Fall 2025
	Bid Documents	Spring 2026
Construction	Construction	Summer 2026 – Spring 2027

6. Community Meeting Summary

Throughout the planning and design phases of this Project, the project team has coordinated multiple community meetings with stakeholders:

- Downtown Stakeholder Advisory Group (*April 21, 2025 & July 14, 2025*);
- Master Plan Working Group (*April 30, 2025 & July 22, 2025*);
- Downtown Community Council (May 7, 2025 & September 3, 2025); and
- Numerous individual/small group stakeholder meetings with the Anchorage Downtown Partnership (ADP), Northern Compass Group, Visit Anchorage, Anchorage Community Development Authority (ACDA), Anchorage Park Foundation (APF), Anchorage Convention Centers, APD, Kobuk, Performing Arts Center (PAC), Cupples, SALT, Indigenous Place Naming (IPN) Committee, Santos, and Showdown;
- Several tabling events within the park (Biker Buddies, Live After Five, & Friday Night Market);
- Internal municipal department coordination with Planning and Traffic Departments, as well as Parks Maintenance and Horticulture Divisions;
- Community Public Open House (September 9, 2025); and
- Parks and Recreation Commission (September 11, 2025).

Reference Appendix A for Public Involvement documents, including announcements, meeting minutes, summaries, and mailer distribution list.

Appendix A

2026 Town Square Park Improvements Project Application for Major Site Plan Review

Public Involvement Documents

Town Square Park 2026 Implementation

Stakeholder Advisory Group (SAG) Meeting #1

Date: April 21, 2025

Time: 12:10 pm- 1:00 pm

Location: City Hall – Conference Room 830 (Mayor's Conference Room)

Overview

The Anchorage Parks and Recreation Department (P&R) is continuing the development of the 2026 Implementation concept for Town Square Park (TSP). The TSP Master Plan was adopted in 2019 and provides a 20-year vision for the future of the park. The plan will identify current and future needs, address issues and concerns, and establish a framework for future management, maintenance, and park development. To ensure the master plan aligns with the desires of the community, Parks and Recreation has created a Stakeholder Advisory Group (SAG).

The TSP Stakeholder Advisory Group (SAG) was formed to help guide the development of the design. SAG members represent a broad spectrum of community interest groups, including business owners, downtown organizations, and citizens.

The first SAG meeting for the Town Square Park 2026 Implementation took place on Monday, April 21, 2025, at the Anchorage City Hall, Conference Room 830.

Attendees

Project Team:

The Boutet Company

The Boutet Company

Huddle AK

MOA Parks & Recreation

MOA Parks & Recreation

Loren Becia, Project Manager

Oona Martin, Landscape Architect

Lucy Wittlinger, Public Engagement

Taylor Keegan, Park Superintendent

Tanya Hickok, Civil Engineer

MOA Advisory Team Members:

Anchorage Mayor

Office of the Municipal Manager

MOA Parks & Recreation

Mayor's Office

MOA Info/Tech Department

Anchorage Police Department

Suzanne LaFrance, Mayor

Rebecca Windt Pearson, Municipal Manager

Shana Gamble, Acting Director

Graham Downey, Acting Chief of Staff

Sioux Marshall, Chief Info/Tech Officer

Brian Fuchs, Lieutenant

Stakeholder Advisory Group:

Anchorage Center Performing Arts

Northern Compass Group

The Kobuck

Anchorage Park Foundation

Codie Costello, President

Mark Begich, President/CEO

Deborah Bonito, Owner

Beth Nordlund, Executive Director

Peach Investments
Anchorage Convention Centers
ACDA
Anchorage Downtown Partnership
Visit Anchorage
Santos

Derrick Chang, Owner
Steve Rader, General Manager
Melinda Gant, External Affairs Director
Radhika Krishna, Executive Director
Julie Saupe, President & CEO
Sherri Gould

Guests:

Anchorage Park Foundation
Anchorage Downtown Partnership

Michelle LeBeu
Erin Gallagher

Meeting Summary

The SAG meeting began at 12:10 pm Graham Downey from the mayor's office welcomed everyone and led introductions. Taylor Keegan, P&R Superintendent, introduced the project, and Oona Martin from The Boutet Company reviewed the meeting objective. Lucy Wittlinger, with Huddle, gave an overview of the meeting agenda and project schedule. Discussed the opportunity to schedule an individual stakeholder interview and to volunteer at summer tabling events for project awareness.

The presentation continued with information regarding Phase 1 of the project, including the activation of the Park. Taylor reviewed several activities that will be taking place this summer, which include biker buddies, a youth bicycling program, and a Farmers Market, including makers, vendors, and food on Wednesdays from 10:00 am to 2:00 pm. On Thursday will be the Anchorage Downtown Partnership Live at 5 event, and on Friday's a "Friday Night Market" from after work till 9:00 pm to include, including music, vendors, and food. P&R is waiving fees to encourage vendors to activate the space.

Brian Fuch, the Lieutenant with the Anchorage Police Department (ADP), attended the meeting and spoke about what ADP has been doing to help with the design. He explained some of the design methods that could be used to increase sightlines into the park, and the terrain is designed for public safety. He also spoke about the seven cameras that will be installed and monitored by ADP and the real-time crime center. APD and MOA IT are working together to make sure the cameras are up and operational. The cameras are scheduled to be installed in the summer of 2025; the equipment has been purchased. He encouraged everyone to reach out with concerns and report any activity so they can respond.

The presentation continued with Phase 2, the Implementation of the park design. Oona gave a brief overview of the implementation concept. This concept overlays the preferred 2019 master plan concept on a current survey, locating existing trees and features that may be retained as discussed in the master plan. This implementation concept was an exercise in cost estimation, helping inform what could be possible with the allocated 2.9 million bond. At this time, this is limited to demolition, walkways and plaza areas, curbs and concrete structures, some site lighting, and minimal landscaping. Future Upgrades will need additional sources of funding to realize amenities, string lighting, artful and playful features, and 1% for art and event tents. The 2019 master plan design concept, inclusive of all proposed improvements shown, was nearly 10 million in today's dollars.

Major goals were creating inviting entrances to the park with increased sightlines from 5th and 6th Avenue into the park, and ADA compliance. The design retains some features of the park, such as the crabapple trees along the winding pathway, while lowering the grades to increase views into the park. Following the presentation, Lucy led the group discussion,

At the end of the discussion, Lucy reviewed the next steps with the group and reviewed the SAG meeting schedule. To conclude the meeting, Lucy thanked everyone for participating.

Discussion Comments

Below is a summary of comments expressed during the group breakout sessions. Comments are organized by topic or general theme.

General Comments

- Provide more visual renderings to help illustrate the design, including winter use.
- Donor names (bricks) need to be incorporated into the design.
- Restrooms are needed for the main park in Downtown Anchorage.
- ADP is working with DOT to utilize the light pole banners around the park.
- The group was happy about the lighting elements being added to the park.
- Include pedestrian wayfinding, coordinate with the Downtown Wayfinding project.
- Include an operating plan for the park to understand who is managing what for the success of the park.

Alaska Center for the Performing Arts (PAC) – ADA Drop-off

- Where the F Street Market space is located, provide flexibility to accommodate an ADA drop-off zone for the PAC.
 - The original master plan does not allow for an official drop-off zone; however, this design allows for the flexibility of the space for a possible drop-off area at the PAC and vehicle access for the market vendors. This space would be designed for fire truck access.
- Concerns that the planters on the southwest corner of the park would impede future vehicular circulation for the F Street Market access.
 - The planters are designed to allow for single vehicle passage in and out of the F Street Market space near 6th Avenue.
- The PAC needs a safe drop-off zone for accessibility. Especially since most programming takes place during the winter months.
- If 5th and 6th Avenue were turned over to the MOA, a drop-off through the park might not be needed. Good to design this as flexible.

Park Access

- The design needs to address how the park is accessed. 5th and 6th Avenues are highways with fast-moving vehicles. The design should encourage people to access the park and not only use it as a cut-through.

- Improve the entrances to attract more visitors to the park.
- Consider removing parking around the park and designating it ADA or loading/offloading.
- Strengthen the connection between the two convention centers.

Winter Use

- The park needs to be designed for year-round use, as a winter city. Consider heating elements.
- Include outlets throughout the park for more winter use activities, such as winter markets, to encourage year-round vendors.

Public Safety

- Consider pedestrian crossing at 5th and 6th Ave with flashing lights to make it safer for pedestrians.
- Traffic calming could be integrated into the design of the park if 5th and 6th Avenues were MOA roads.
- The arcade on the PAC is too tight and doesn't feel safe; it is dark, not well lit. Incorporate the plaza and the arcade into the park to make it more welcoming.
- Santos discourages visitors from accessing their building through the park due to concerns for public safety.

Project Phasing

- The design should show a full build-out with a phased approach, otherwise, it would be required to go back to the Urban Design Commission. Don't miss anything in this process, otherwise it will delay the progress.
- Consider putting another round of funding on the bond for 2026 for additional construction funding, maintenance, and operations funds. For public safety and daily maintenance.

Phase 2 Funding Elements

- The Anchorage Park Foundation will pursue fundraising through the Rasmuson Foundation for decorative lighting, play features, site amenities, and art.
- Consider a permanent stage structure for more year-round use.

Business Opportunities

- Consider yearly rental spaces in the park to generate revenue.
- Could a curling and bocce court be integrated into the park where a vendor could operate this activity and charge a small fee? Also consider pickleball or other opportunities to bring activation and revenue to offset operating expenses.

Comment Sheets

Comment Sheets were distributed; however, none were collected.

Next Steps

- Schedule individual stakeholder meetings
- Pop-up and Community Tabling Events for Phase 1 Activation
- Next Stakeholder Advisory Group meeting is scheduled for Tuesday, July 15, 2025
 - The meeting could take place at the PAC or The Kobuck in the evening to allow for more time for a site visit.

Town Square Park – 2026 Implementation

Stakeholder Advisory Group Kick-off Meeting

Monday, April 21, 2025

12:10 pm – 1:00 pm

City Hall - Conference Room 830, (Mayors Conference Room)

- **Introductions** – 5 minutes

- Project Team
- Stakeholders

- **Meeting Objective** – 5 minutes

In 2019, following two years of public involvement and plan development, the Town Square Park Master Plan was approved by the Planning and Zoning Commission. The master plan provides a 20-year vision that seeks to address issues, prioritize improvements, and identify strategies to ensure that Town Square Park is a safe and thriving public space for all.

In 2025, the proposed bond of \$2.9 million was passed for the implementation of the master plan. The efforts moving forward will incorporate the goals expressed in the master plan document alongside historical, current, and future context and budgetary considerations.

- **Project Schedule** – 5 minutes

- **Phase I – Summer Activation** – 5 minutes

- **Phase II – Implementation Concept** –

- Review the proposed concept – 5 minutes
- Discussion – 20 minutes

- **Wrap up and Next Steps** – 5 minutes

Public Involvement

Project Website

<https://www.muni.org/Departments/parks/pages/townsquareparkmasterplan.aspx>

Project Contacts

Tanya Hickok, P.E., Senior Park Planner
tanya.hickok@anchorageak.gov
907-343-4135

Lucy Wittlinger, Public Engagement
lucy@huddleak.com
907-215-8516

Town Square Park Implementation

STAKEHOLDER ADVISORY GROUP MEETING - SIGN IN

DATE & TIME: April 21, 2025, 12:10-1:00pm

LOCATION: City Hall - Conference Room 830 (Mayors Conference Room)

NAME	ORGANIZATION	PHONE NUMBER	EMAIL ADDRESS*	INDIVIDUAL MEETING SIGN UP**
Larry Hiltunen	Hutella AK			yes
Michelle Lisper	ANC Park Foundation			yes
Both Northing	"			\$
Chad Stouff	AK Center for the Arts			yes
Madie Costello	AK Center for the Arts			YES
DERICK CHANG	PEACH HOLDINGS			YES
Tulsi Saenger	Visit Anchorage			yes
Steve Rader	Anchorage Convention			yes
Ruthie Kishner	ADP			
Erin Gallagher	ADP			
Stixx Marshuk	ITD			
Shari Gould	Santos			yes
Maui Sp				yes
Deborah Bonito	The Kobuk			yes
Melinda Grant	ACDA			yes

* By providing your email or mailing address, you agree to sign up for project updates as they are available.
 ** If you would like the project team to contact you for an individual stakeholder meeting please check this box

Town Square Park 2026 Implementation

Stakeholder Advisory Group (SAG) Meeting #2 – 35% Design Review

Date: July 15, 2025

Time: 6:00 pm- 7:30 pm

Location: Alaska Center for Performing Arts – Second Level

Overview

The Anchorage Parks and Recreation Department (P&R) is continuing to advance the 2026 Implementation Concept for Town Square Park (TSP), a key milestone in the realization of the 2019 TSP Master Plan—a 20-year vision that outlines long-term strategies for park improvements, management, and community programming. As part of this effort, the project team presented the 35% Design Concept for TSP, sharing early-stage design details and gathering input to help shape the park's future.

The 35% Design provides a foundational layout that addresses existing challenges, identifies near- and long-term infrastructure needs, and proposes enhancements to support year-round use, accessibility, and vibrant community programming. This presentation marked a crucial step in confirming design direction and refining concepts based on technical feasibility and stakeholder feedback.

The second SAG meeting was held on Tuesday, July 15, 2025, at the Alaska Center for the Performing Arts. The project team presented the 35% Design and solicited additional input from stakeholders to inform the next phase of design development.

Attendees

Project Team:

The Boutet Company

The Boutet Company

Huddle AK

MOA Parks & Recreation

MOA Parks & Recreation

RSA Engineering

Loren Becia, Project Manager

Oona Martin, Landscape Architect

Lucy Wittlinger, Public Engagement

Taylor Keegan, Park Superintendent

Tanya Hickok, Civil Engineer

Channing Lillo, Electrical Engineer

Stakeholder Advisory Group:

Anchorage Center Performing Arts

Anchorage Center Performing Arts

Northern Compass Group

The Kobuk

The Kobuk

Anchorage Convention Centers

Anchorage Downtown Partnership

Santos

Codie Costello, President

Curtis Waller, Programming & Contracts Manager

Mark Begich, President/CEO

Nina Bonito Romine, Owner

Deborah Bonito, Owner

Steve Rader, General Manager

Radhika Krishna, Executive Director

Sherri Gould

Meeting Summary

The SAG meeting began at 6:15 pm, Lucy Wittlinger with Huddle welcomed everyone and led introductions. She then gave an overview of the meeting agenda, project schedule, and stakeholder engagement to date. Lucy then invited members to volunteer at summer tabling events for project awareness.

Oona Martin with The Boutet Company led a presentation of the 35% Design Concept. Each participant had an 11x17 double-sided print of the concept with support elevations and photos to illustrate the design, an agenda, and a comment form. Oona described how the public engagement throughout the process has helped inform the design. Throughout her presentation, participants asked questions, and meaningful conversations were had with the group.

Major goals were creating inviting entrances to the park with increased sightlines from 5th and 6th Avenue into the park, and ADA compliance. The design retains some features of the park, such as the crabapple trees along the winding pathway, while lowering the grades to increase views into the park. Following the presentation, Lucy led the group discussion,

At the end of the discussion, Lucy reviewed the next steps with the group and reviewed the SAG meeting schedule. The next SAG Meeting #3 to review the 65% Design will be held on Tuesday, October 7th. The 65% Design Review Open House with the community will take place on Wednesday, September 8th. To conclude the meeting, Lucy thanked everyone for participating. The group then exited the PAC for a walk-through of the park to discuss elements of the plan.

Discussion Comments

Below is a summary of comments expressed during the meeting. Comments are organized by topic or general theme.

General Comments

- What is the height of the proposed community stage? The stage was kept to 2 feet in height, so it doesn't require railings. The stage is ADA-compliant with an access ramp.
- It was asked how the potential future redevelopment of the JCPenney parking garage could affect the project.
- The new Downtown Library is looking into programming for children. Including a space in the park that could be used for daytime children's activities could benefit the library.

Utility & Infrastructure Elements

- The heated sidewalks surrounding the PAC have been turned off for several years. This has led to accessibility and access issues in the wintertime. The PAC would like to see these turned back on.
- Restroom Infrastructure: permanent building infrastructure is restricted by city charter; however, the plan could include a temporary structure as recommended in the Anchorage Areawide Public Restroom Project. Providing water and sewer connections in this phase would save money in the future if the charter were ever changed to allow structures.
- Recommend installing utility corridors with this project to make additions to the park easier in the future.

- The design may be able to accommodate future curb cuts along 5th and 6th Avenues (to be funded separately) to allow for a drop-off zone at the PAC. The design team will be meeting with the Planning and Traffic Departments to discuss design requirements.

Winter City Elements

- Winter city elements need to be included, such as gas heating elements, winter lighting, and electrical outlets to support winter festivals and events. Current gas line access is along 6th Avenue. The project team will discuss the idea of gas heating elements with the Parks & Recreation Department regarding maintenance concerns.
- The design addresses the need for pathways from the corner of 6th Avenue and E Street that would be free of ice during the winter months.

Visibility & Safety

- The sidewalks along 5th and 6th Avenue are in poor condition. What is recommended for improving this element of the park? Resurfacing the sidewalks would be recommended. Funding for ROW improvements is not included in the Park bond funds.
- This past spring, trees were trimmed and removed to improve sightlines into the park, which has helped open up the park and discourage vagrant behaviors.
- Concerns raised about dark areas near Kobuk's patio; recommendation to open up the northeast corner to the park and avoid placing trees that block views. The Kobuk should be celebrated and invited into the park for visitors to dine outside while feeling connected to the park.
- The higher mounds in the park are proposed to be reduced to a maximum height of 36" to allow for improved sightlines into the park but still allow for elevation differences within the park. Some participants were torn about reducing the height as they work well for concerts; however, it was discussed that the current mounds are too steep and could be reshaped to allow for more usability.

Public Art & Entry Features

- Ideas discussed for incorporating artistic features at park entrances.
 - A lighted welcome sign for Anchorage as a piece of public art was proposed.
 - A possible art feature in the middle of the park could draw visitors in; however, it shouldn't obstruct views within the park during larger events such as concerts.
 - Utilizing each entrance of the park for a sense of arrival would be preferred since visitors enter from all four corners.
- One entrance arch was discouraged and thought to be expensive. Also, the Mushing District is building an arch; this could be a competing interest.
- Nina proposed a carousel themed with moose and caribou.
- Avoid overly generic design elements; there was a debate on who determines "what is iconic."

Recreation and Passive Use Ideas

- Activities like pickleball and ping pong tables were proposed for flexible areas. However, P&R has seen varying success with these elements in other parks around Anchorage. Concerns that they could become a hangout or party spot.

- The Anchorage Downtown Partnership has tried to implement passive recreation with removable elements; however, noted resource limitations due to staffing for programming often cut these programs, and it can be challenging to store elements.
- Importance of both active and passive activations is highlighted (e.g., seasonal flexibility, concerts, viewing mounds).

Lighting

- The group likes the idea of providing string lighting throughout the park to attract visitors in the wintertime.
- PAC expressed interest in using similar lighting styles to improve lighting at entrances around the building and in alcoves.

Team Coordination

- Question raised on whether “Fur Rondy” has been involved in the discussions.
 - The project team will reach out for an individual stakeholder interview.
- Does this project need support from the group to ensure its success?
 - The project team would encourage all stakeholders to show their support at the Urban Design Commission hearing later this year.

Funding

- Additional bond money should be requested to make the project whole and for park maintenance and operations costs.
- The park needs an operations plan to ensure its success.

RFP & Construction Timeline

- The goal is to have 95% design completion by December. The RFP will be released in March with contract negotiations scheduled for the end of April. Construction could begin late May 2026.

Comment Sheets

Comment Sheets were distributed; however, none were collected.

Next Steps

- Schedule individual stakeholder meetings
- Pop-up and Community Tabling Events for Phase 1 Activation
- Community Open House scheduled for Tuesday, September 9, 2025
- Next Stakeholder Advisory Group meeting is scheduled for Thursday, October 9, 2025
 - The meeting could take place at the Egan Convention Center

Town Square Park – 2026 Implementation

Stakeholder Advisory Group Meeting #2 – 35% Design Review

Tuesday, July 15, 2025

6:00 pm – 7:30 pm

Alaska Center for the Performing Arts (PAC) – Sky Bridge

- **Introductions** – 5 minutes
 - Project Team
 - Stakeholders
- **Meeting Objective and Project Schedule** – 10 minutes
- **35% Design Review** –
 - Review the 35% Design – 20 minutes
 - Discussion – 20 minutes
- **Wrap up and Next Steps** – 5 minutes
- **Park Walk through and Discussion** – 30 minutes

Public Involvement

Project Website

<https://www.muni.org/Departments/parks/pages/townsquareparkmasterplan.aspx>

Project Contacts

Tanya Hickok, P.E., Project Manager

tanya.s.hickok@anchorageak.gov

907-343-8178

Lucy Wittlinger, Public Engagement

lucy@huddleak.com

907-215-8516

Town Square Park Implementation

STAKEHOLDER ADVISORY GROUP MEETING #2 - SIGN IN

DATE & TIME: Tuesday, July 15, 2025, 6:00 pm - 8:00 pm

LOCATION: Alaska Center for the Performing Arts - Skybridge

[illegible]

*** By checking this box you agree to sign up for e-newsletter/email project updates as they are available.**

Town Square Park 2026 Implementation

Master Plan Working Group (MPWG) Meeting #1

Date: April 30, 2025

Time: 6:30 pm- 7:30 pm

Location: City Hall – Conference Room 155

Overview

The Anchorage Parks and Recreation Department (P&R) is continuing the development of the 2026 Implementation concept for Town Square Park (TSP). The TSP Master Plan was adopted in 2019 and provides a 20-year vision for the future of the park. The plan will identify current and future needs, address issues and concerns, and establish a framework for future management, maintenance, and park development. To ensure the master plan aligns with the desires of the community, P&R created a Master Plan Working Group (MPWG).

The TSP MPWG was formed to help guide the development of the design. MPWG members represent a broad spectrum of community interest groups, including business owners, park founders, and citizens.

The first MPWG meeting for the Town Square Park 2026 Implementation took place on Wednesday, April 30, 2025, at the Anchorage City Hall, Conference Room 155.

Attendees

Project Team:

The Boutet Company

The Boutet Company

Huddle AK

MOA Parks & Recreation

MOA Parks & Recreation

Loren Becia, Project Manager

Oona Martin, Landscape Architect

Lucy Wittlinger, Public Engagement

Taylor Keegan, Park Superintendent

Tanya Hickok, Civil Engineer

Master Plan Working Group:

Park Founder

Principal/Owner, Agnew:Beck

Anchorage Transportation Planner, DOT

Ombudsman, MOA

Horticulture Supervisor, P&R, MOA

Crime Prevention Design, UAA

Landscape Architect, NPS

Chief Design Officer, Anchorage Museum

Senior Land Use Planner, DOWL

Co-Founder, Participate

President, SALT

President, Native Village of Eklutna

Dianne Holmes

Tayna Iden

James Starzec

Darrel Hess

Annie DuBois

Sharon Chamard

Kevin Doniere

Jonny Hayes

LaQuita Chmielowski

Bree Kessler

Michael Fredericks

Aaron Leggett

Guests:

Anchorage Resident

Will Hughes

Meeting Summary

The MPWG meeting began at 6:30 pm Taylor Keegan, P&R Superintendent, welcomed everyone and led introductions. She introduced the project, and Oona Martin from The Boutet Company reviewed the meeting objective. Lucy Wittlinger, with Huddle, gave an overview of the meeting agenda and project schedule. She discussed the opportunity to volunteer at summer tabling events for project awareness.

The presentation continued with information regarding Phase 1 of the project, including the activation of the Park. Taylor reviewed several activities that will be taking place this summer, which include biker buddies, a youth bicycling program happening on Tuesdays, and a Farmers Market, including makers, vendors, and food on Wednesdays from 10:00 am to 2:00 pm. On Thursday will be the Anchorage Downtown Partnership Live at 5 event, and on Friday's a "Friday Night Market" from after work till 9:00 pm to include, including music, vendors, and food. P&R is waiving fees to encourage vendors to activate the space.

The presentation continued with Phase 2, the Implementation of the park design. Oona gave a brief overview of the implementation concept. This concept overlays the preferred 2019 master plan concept on a current survey, locating existing trees and features that may be retained as discussed in the master plan. This implementation concept was an exercise in cost estimation, helping inform what could be possible with the allocated 2.9 million bond. At this time, this is limited to demolition, walkways and plaza areas, curbs and concrete structures, some site lighting, and minimal landscaping. Future Upgrades will need additional sources of funding to realize amenities, string lighting, artful and playful features, and 1% for art and event tents. The 2019 master plan design concept, inclusive of all proposed improvements shown, was nearly 10 million in today's dollars.

Major goals were creating inviting entrances to the park with increased sightlines from 5th and 6th Avenue into the park, and ADA compliance. The design retains some features of the park, such as the crabapple trees along the winding pathway, while lowering the grades to increase views into the park. Following the presentation, Lucy led the group discussion,

At the end of the discussion, Lucy reviewed the next steps with the group and reviewed the MPWG meeting schedule. To conclude the meeting, Lucy thanked everyone for participating.

Discussion Comments

Below is a summary of comments expressed during the group breakout sessions. Comments are organized by topic or general theme.

General Comments

- Provide more visual renderings to help illustrate the design, including winter use.
- Donor name bricks have become a hazard and need to be removed. However, it is important to keep the names of all donors incorporated into the design.
- Utilize the existing kiosk along E Street near The Kobuck to tell the history of the park.

- The rock on the southeast corner needs to remain; consider incorporating it into the newly designed crabapple walk.
- Consider amending the MOA Code to allow bicycle riding in the park.
- The group was happy about the lighting elements being added to the park.
- The park is in danger of losing its solar access.

Design

- Keep the mounds/hills as this bowl feature reduces noise from the adjacent streets.
- F Street should be emphasized as the major pedestrian connector between the Dena'ina and Egan Centers.
- Remove the ice rink as it is expensive to maintain and reduces accessible pathways to the PAC. Ice skating opportunities already exist on the Park Strip and at West Chester Lagoon.
- Consider incorporating more Indigenous identity into the design. Pull inspiration from existing ideas happening in downtown with the Indigenous Place Names Project, Keh Park, and the Downtown Wayfinding project.
- The mid-block plaza along 6th Avenue seems out of place. People should be directed to the intersections where a park entrance should be celebrated. The pedestrian Allee in the 2019 plan brings people into the park while providing a buffer to 6th Avenue.
- The 2019 Master Plan showed more lawn space. Does this concept use more hardscape than the 2019 Master Plan?
- Consider integrating seating into the design. Concerned that if seating is only identified in Phase 2, the park will never receive seating.
- The park design shouldn't be considered only for events, but for everyday use by residents.
- Consider multi-seasonal lighting throughout the park as artwork.
- The design should consider the possible reduction of light from possible future development along 6th Avenue.

Vegetation

- Consider larger planter beds for seasonal flowers to reduce maintenance for MOA staff.
- Incorporate more spruce and fir trees for winter interest and noise reduction from adjacent streets.
- The landscaping won't be seen in the winter, program the space to be maximized for winter use.
- Concerned that the flowers shown in front of the stage would be trampled.
- Keep more green space, it's the only green island in downtown.
- Consider more birch trees for the pedestrian Allee to connect with the Museum design.

Coordination

- Contact the Indigenous Place Names Advisory Group for coordination on incorporating indigenous identity into the design.
- The plan is only showing the boundary of the park; consider coordinating with other projects happening downtown.

Public Safety

- Make it a safe destination for kids and families
- The hills around the current park give a feeling of being watched.
- The current F Street corridor feels dark and narrow; it needs to be opened with lighting.
- Consider night storage and safety if items need to be locked or put away from vandalism.

Winter Use

- The park needs to be designed for year-round use, as a winter city. Consider heating elements.
- Include outlets throughout the park for more winter use activities, such as winter markets, to encourage year-round vendors or a 24-hour café.

Restrooms

- Restrooms are needed for the main park in Downtown Anchorage. They should be heated and regularly maintained.
- Consider working with the PAC to use their restrooms or repurposing the old Kaladi Brothers along 6th Avenue in the PAC as public restrooms.

Festival Space

- E Street is already a designated Festival Space with the adjacent market space and lunch spot. This space is sunnier and warmer for vendors. The park doesn't need another market space along the F Street corridor.

Comment Sheets

Comment Sheets were distributed, and four (4) were collected from meeting participants. See attachment.

Next Steps

- Pop-up and Community Tabling Events for Phase 1 Activation
- Next Master Plan Working Group meeting is scheduled for Tuesday, July 22, 2025

Town Square Park – 2026 Implementation

Master Plan Working Group Kick-off Meeting

Wednesday, April 30, 2025

6:30 pm – 7:30 pm

Anchorage City Hall – Conference Room 155

- **Introductions** – 5 minutes

- Project Team
- Working Group

- **Meeting Objective** – 5 minutes

In 2019, following two years of public involvement and plan development, the Town Square Park Master Plan was approved by the Planning and Zoning Commission. The master plan provides a 20-year vision that seeks to address issues, prioritize improvements, and identify strategies to ensure that Town Square Park is a safe and thriving public space for all.

In 2025, the proposed bond of \$2.9 million was passed for the implementation of the master plan. The efforts moving forward will incorporate the goals expressed in the master plan document alongside historical, current, and future context and budgetary considerations.

- **Project Schedule** – 5 minutes

- **Phase I – Summer Activation** – 5 minutes

- **Phase II – Implementation Concept** –

- Review the proposed concept – 5 minutes
- Discussion – 30 minutes

- **Wrap up and Next Steps** – 5 minutes

Public Involvement

Project Website

<https://www.muni.org/Departments/parks/pages/townsquareparkmasterplan.aspx>

Project Contacts

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907-343-4135

Lucy Wittlinger, Public Engagement
lucy@huddleak.com
907-215-8516

Town Square Park Implementation

MASTER PLAN WORKING GROUP MEETING - SIGN IN

DATE & TIME: Wednesday April 30, 2025, 6:30 pm - 7:30 pm

LOCATION: City Hall - Conference Room 155

NAME	ORGANIZATION	PHONE NUMBER	EMAIL ADDRESS	Check here for Project Updates*
Taylor Keegan	Parks & Rec			☐
Annie Dubois	Parks & Rec			☒
Jonathan	Museum			☒
Adrian	MUSEUM/ NIE			☒
4 Sara Stuber	Self			☒
Bree Kessler	Parentgate			☒
Jacquita Chmielowski	DOWL			☒

* By checking this box you agree to sign up for e-newsletter/email project updates as they are available.

Town Square Park Implementation MASTER PLAN WORKING GROUP MEETING - SIGN IN

DATE & TIME: Wednesday April 30, 2025, 6:30 pm - 7:30 pm

LOCATION: City Hall - Conference Room 155

NAME	ORGANIZATION	PHONE NUMBER	EMAIL ADDRESS	Check here for Project Updates*
Darrell Hess	MOA			✓
Loren Bessie	TBC			
Dianne Holmes	—			
Kevin Dunham	NPS			
Tanya Iden	Agnew: Beck			✓
*MICHAEL FREDERICKS	SALT			✓
WILL HUGHES	SALT			✓
Sharon Chamard	WAA			✓

* By checking this box you agree to sign up for e-newsletter/email project updates as they are available.

Town Square Park Implementation

COMMENT FORM

NAME	Tanya Iden
ORGANIZATION	Agnew Beck Consulting
EMAIL	
PHONE	
DATE	4/30/25

COMMENT
★ Love Johnny Huges idea about a focal point in the middle, somewhere that draws people in all year, light show, etc.
▶ Agree that its important to draw people in from corners where people naturally cross street.
▶ A bit concerned that green is going away
▶ Enjoy people Winter activation so important. All season all times of day space.
▶ Straight up - A PUBLIC RESTROOM NEEDS TO HAPPEN. PAC should let theirs be made available to community - they are a public facility.
▶ Yes to indigenous place names!

Please submit this comment form to any member of the project team or send to:
Huddle AK, 605 W. 2nd Avenue, Anchorage, AK 99501
Email: lucy@huddleak.com | 907-215-8516
Public Engagement: Lucy Wittlinger, PLA, Huddle

Town Square Park Implementation

COMMENT FORM

NAME	MICHAEL FREDERICKS
ORGANIZATION	SALT / PUBLIC
EMAIL	
PHONE	
DATE	4/30/25

COMMENT
① AMPLIFY INDIGENOUS IDENTITY
② CAPITALIZE ON THE STREET
③ LOVE BIRCH - CONNECTION TO MUSEUM & K'EH PARK
④ WINTER CITY DESIGN - CAPITALIZE ON SNOW
⑤ 4TH AVENUE MID BLOCK MODE - NOT FUNCTIONAL - GRASS IT UP
⑥ WHAT IS THE FOCAL POINT?
⑦ LIGHTING - COLORS!! I LOVE THE LIGHTS ON THE NEW BLDG RENO (KEY BANK) IT MAKES ME SO HAPPY.
⑧ AMAZING JOB!
⑨ WE WILL HAVE TO GATHER INPUT

Please submit this comment form to any member of the project team or send to:
Huddle AK, 605 W. 2nd Avenue, Anchorage, AK 99501
Email: lucy@huddleak.com | 907-215-8516
Public Engagement: Lucy Wittlinger, PLA, Huddle

Town Square Park Implementation

COMMENT FORM

NAME	Sharon Chamard
ORGANIZATION	UAA Justice Center
EMAIL	
PHONE	
DATE	April 30, 2025

COMMENT
The Food Trucks (#5) + lunch spot (#11) areas will presumably have seating available. Will these be moveable? If so, I think there should be a plan for maintenance ^{theft prevention} and storage of the seating elements.
I support activation of the F St. Market areas as much as possible. E street is great for festivals, but the street needs to be blocked off for this to happen.
The bills still seem too high.
Does this plan allow for the possibility of much larger/taller buildings on the southside of 6th Avenue that will reduce sunlight?
I'm not wild about the ice rink concept. Are there many people who skate there? It just seems to make the park extra cold feel extra cold + icy. If there isn't going to be a rink, I'd suggest some pathways with ice-free pavement to encourage people to walk through the park in the winter.

Please submit this comment form to any member of the project team or send to:

Huddle AK, 605 W. 2nd Avenue, Anchorage, AK 99501

Email: lucy@huddleak.com | 907-215-8516

Public Engagement: Lucy Wittlinger, PLA, Huddle

Town Square Park Implementation

COMMENT FORM

NAME Dianne Holmes

ORGANIZATION ---

EMAIL ---

PHONE ---

DATE 4-30-25

COMMENT Flowers keep visitors in the park longer - but there are too many small beds which may be more work for the horticultural & maintenance folks. make all flower beds larger even if the number is reduced.

The ice making - plumbing infrastructure may have been ~~have to~~ removed if no "ice" is expensive to maintain & it would impede people walking to the PAE. No ice!

#7 - Why just birch trees? Spruce or fir are year-round & inviting. Make sure there are lots of service trees.

Too much commercial although events do keep bad behavior. Keep it a green oasis - not commercial

Do not reduce hills to the point that road noise makes it impossible to talk. Keep them high because with more open walkways people can see into the park & should not be afraid to enter.

Don't neglect to protect the park - Rock & plague in SE corner

Please submit this comment form to any member of the project team or send to:

Huddle AK, 605 W. 2nd Avenue, Anchorage, AK 99501

F-5T consider? No Email: lucy@huddleak.com | 907-215-8516

Public Engagement: Lucy Wittlinger, PLA, Huddle

~~not E-5T~~

E-5T is a major street yet F 5T can be closed easily.

#17 hope this will not be an example
for TSP as it is ugly & dominating.

Stage areas will need electricity & places to
store equipment.

Town Square Park 2026 Implementation

Master Plan Working Group (MPWG) Meeting #2 – 35% Design Review

Date: Tuesday, July 22, 2025

Time: 6:00 pm- 7:30 pm

Location: Alaska Center for Performing Arts – Second Level

Overview

The Anchorage Parks and Recreation Department (P&R) is continuing to advance the 2026 Implementation Concept for Town Square Park (TSP), a key milestone in the realization of the 2019 TSP Master Plan—a 20-year vision that outlines long-term strategies for park improvements, management, and community programming. As part of this effort, the project team presented the 35% Design Concept for TSP, sharing early-stage design details and gathering input to help shape the park's future.

The 35% Design provides a foundational layout that addresses existing challenges, identifies near- and long-term infrastructure needs, and proposes enhancements to support year-round use, accessibility, and vibrant community programming. This presentation marked a crucial step in confirming design direction and refining concepts based on technical feasibility and stakeholder feedback.

The second MPWG meeting was held on Tuesday, July 22, 2025, at the Alaska Center for the Performing Arts. The project team presented the 35% Design and solicited additional input from stakeholders to inform the next phase of design development.

Attendees

Project Team:

The Boutet Company

The Boutet Company

Huddle AK

MOA Parks & Recreation

RSA Engineering

Loren Becia, Project Manager

Oona Martin, Landscape Architect

Lucy Wittlinger, Public Engagement

Tanya Hickok, Civil Engineer

Lilly Horning, Electrical Engineer

Master Plan Working Group:

Principal/Owner, Agnew:Beck

Anchorage Transportation Planner, DOT

Horticulture Supervisor, P&R, MOA

Crime Prevention Design, UAA

Chief Design Officer, Anchorage Museum

Landscape Architect, KPB

President, SALT

Showdown

Anchorage Resident

Tayna Iden

James Starzec

Annie DuBois

Sharon Chamard

Jonny Hayes

Tamas Deak

Michael Fredericks

Natalie Treadwell

Chris Beck

Meeting Summary

The MPWG meeting began at 6:10 pm, Lucy Wittlinger with Huddle welcomed everyone and led introductions. She then gave an overview of the meeting agenda, project schedule, and stakeholder engagement to date. Lucy then invited members to volunteer at summer tabling events for project awareness.

Oona Martin with The Boutet Company led a presentation of the 35% Design Concept. Each participant had an 11x17 double-sided print of the concept with support elevations and photos to illustrate the design, an agenda, and a comment form. Oona described how the public engagement throughout the process has helped inform the design. Throughout her presentation, participants asked questions, and meaningful conversations were had with the group.

The major discussion topics of the Master Plan Working Group meeting centered on reviewing the 35% design to ensure it supports a vibrant, accessible, and safe year-round public space. Key priorities arising from this meeting included enhancing infrastructure for vendors, integrating playful and shaded areas, improving ADA accessibility, and increasing visibility and comfort throughout the park. The group emphasized the importance of community activation through features like covered seating, utility hookups, and connections to local businesses like The Kobuk, while addressing safety, climate resilience, and long-term usability through thoughtful landscape design and strategic programming.

At the end of the discussion, Lucy reviewed the next steps with the group and reviewed the MPWG meeting schedule. The next MPWG Meeting #3 to review the 65% Design will be held on Tuesday, October 14th. The 65% Design Review Open House with the community will take place on Tuesday, September 9th. To conclude the meeting, Lucy thanked everyone for participating. The group then exited the PAC for a walk-through of the park to discuss elements of the plan.

Discussion Comments

Below is a summary of comments expressed during the group breakout sessions. Comments are organized by topic or general theme.

Design Elements and Features

- The design envisions a playful zone near The Kobuk; however, a connection is needed to the patio space for people to sit, eat, and drink adjacent to the play zone. Ideas included custom canopies and playful all-ages swings, creating an interactive public destination, not a formal playground.
- Emphasis was placed on ensuring ADA-compliant access to the community stage, which is 2 feet above plaza grade. The group discussed maintaining accessibility for both pedestrians and vehicles during event setups.
- The electrical vault will remain in place, but the access manhole lid can be lowered.
- The fountain pump vault and systems currently under the community stage can be removed to streamline use and safety.
- The Ruth Moulton Plaza will be largely preserved, but Parks will look into why the heated sidewalks have not been in use during the winter months. Lighting upgrades (pole-mounted pedestrian lights and flood lights) are planned to increase safety and ambiance year-round.

Site and Landscape Considerations

- The proposed overall terrain is relatively flat. Specific height measurements include:
 - Crabapple zone: 4.5 feet, highest point.
 - Pedestrian Allee: the highest point is 3 feet.
 - A more level park ensures better compliance with ADA requirements.
- The crescent-shaped grass area located between the community stage and the listening lawn area was questioned as to its viability, leading to a discussion about artificial turf and whether it should be used in high-traffic areas.
- The trees lining the side of The Kobuk should be removed for increased visibility. The team is working with The Kobuk to better integrate their patio into the park.
- It was suggested that the current tree species are not ideal, recommending a full rethinking of the biome to better suit the future design of the park.
- It was suggested that the design team reconsider the priority of keeping the existing trees on the north side of the park and weigh them against the long-range goals of the park, particularly where there may be opportunities to provide utilities for future uses.

Public Amenities and Infrastructure

- A major concern raised was the lack of infrastructure for vendors. Suggestions included:
 - Installing water, sewer, and power hookups.
 - Creating comfortable, covered seating for food and vendor areas.
- The PAC wants more activation in front of the building, such as food trucks around E Street and seating to encourage lingering.
- Vendors Jill and Y’Il Vrlaku (from the Lagoon hotdog stand) could be a good point of contact to understand more about what vendors are looking for to make operations profitable.
- Questions were raised about portable toilets and restroom design, whether screens would provide privacy, and how vegetation may impact safety.
- Concerns included whether restrooms at the southeast corner would become hiding places, and whether Parks maintenance would be responsible for upkeep.
- Consider installing water bottle refill stations in the park.
- Where will the benches, bike racks, and trash cans be placed?
- Would it be possible to have a bike rental vendor within the park?

Community Insights for a Successful Park -

1. Add Four-Season Daily Activity
 - Install year-round semi-open “people magnets” (cafes, shops, rentals) with covered seating.
 - Bring in utility infrastructure to enable food service and events.
 - Tie Kobuk directly into the park core, both symbolically and physically.
 - Create games and fun spaces for all ages (e.g., climbing for kids, bocce for adults).
2. Redesign for Comfort, Access & Safety
 - Lower berms and enhance visibility.
 - Add heated, covered seating.

- Include an iconic central element, such as a sundial tower to track sun movement, encouraging curiosity and interaction.
 - Prioritize sunlight and vegetation on the south side to avoid casting shadows on active areas.
- The park would benefit from a temporary food and drink plaza. 49th State Brewing was cited as a successful model.
- Suggestions for temporary structures that can evolve with the space, woven into long-term planning.

Key Concerns Raised by Attendees

- Limited accessibility for vendors was a recurring issue. Some noted that the site feels inaccessible and unwelcoming to newcomers or those with limited mobility.
- Safety concerns about the current park atmosphere—some described it as uncomfortable due to inappropriate behavior (e.g., “people yelling and drinking”).
- Trees should offer shade in summer but not block the sun in winter. Winter heating elements should still be considered.
- Concern over long-term climate patterns, such as whether Anchorage might see more winter rain in the next 20 years, potentially impacting winter events like ice skating.
- Debate on the necessity of an ice rink—whether it's truly needed or whether it dominates design at the expense of year-round functionality.

Comment Sheets

Comment Sheets were distributed, and four (2) were collected from meeting participants. See attachment.

Next Steps

- Pop-up and Community Tabling Events for Phase 1 Activation
- Community Open House scheduled for Tuesday, September 9, 2025
- Next Master Plan Working Group meeting is scheduled for Tuesday, October 14, 2025
 - The meeting could take place at the Egan Convention Center

Town Square Park – 2026 Implementation

Master Plan Working Group Meeting #2 – 35% Design Review

Tuesday, July 22, 2025

6:00 pm – 7:30 pm

Alaska Center for the Performing Arts (PAC) – Enter through Stage Door on 5th and G Street

- **Introductions** – 5 minutes
 - Project Team
 - Stakeholders
- **Meeting Objective and Project Schedule** – 10 minutes
- **Upcoming Events – Looking for Volunteers**
 - Biker Buddies – Tuesday, July 22, 9:30 – 12:00 pm
 - Live After Five – Thursday, July 24, 5:30 – 8:00 pm
 - Friday Night Market – Friday, August 1, 4:30 – 8:30 pm
- **35% Design Review** –
 - Review the 35% Design – 20 minutes
 - Discussion – 20 minutes
- **Wrap up and Next Steps** – 5 minutes
 - **Open House:** Wednesday, September 8, 2025
 - **Next meeting:** SAG Meeting #3 – Tuesday, October 14, 2025
 - **Stakeholder Events:** Looking for Volunteers to table events
- **Park Walk through and Discussion** – 30 minutes

Public Involvement

Project Website

<https://www.muni.org/Departments/parks/pages/townsquareparkmasterplan.aspx>

Project Contacts

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907-343-8178

Lucy Wittlinger, Public Engagement
lucy@huddleak.com
907-215-8516

Town Square Park Implementation

MASTER PLAN WORKING GROUP MEETING - SIGN IN

DATE & TIME: Tuesday, July 22, 2025, 6:00 pm - 7:30 pm

LOCATION: Alaska Center for the Performing Arts (PAC)

NAME	ORGANIZATION	PHONE NUMBER	EMAIL ADDRESS	Check here for Project Updates*
Tanya Hickok	MOA			
Sharon Chumard	UAF Justice Center			
Annie Dubois	MOA P&E			✓
Jane Skene	—			
Loren Beebe	TSC			
MICHAEL FREDERICKS	SALT			✓
NATALIE TREADWELL	SHOWDOWN			✓
CHRIS BECK	INTERESTED PERSON			1. com ✓
TAMM DICK	ANCHORAGE CITIZEN			✓
Tanya Idem	Agnew Beck / downtown resident			✓
Jonny Hags	ANCHORAGE MUSEUM			
Lilly Morning				

* By checking this box you agree to sign up for e-newsletter/email project updates as they are available.

Town Square Park Implementation

COMMENT FORM

NAME	MICHAEL FREDERICKS
ORGANIZATION	YOU KNOW ME!
EMAIL	
PHONE	
DATE	
COMMENT	REACH OUT TO Y'LL & JILL VRLAKU WHO OPERATE THE LAGOON HOTDOG- VENDOR. JILL - 907.223-6636 Y'LL - 907.229.9275 THEY WILL PROVIDE SOME INFRASTRUCTURE INPUT.

**Please submit this comment form to any member of the project team or send to:
Huddle AK, 605 W. 2nd Avenue, Anchorage, AK 99501
Email: lucy@huddleak.com | 907-215-8516
Public Engagement: Lucy Wittlinger, PLA, Huddle**

NOTES ON THE TOWN SQUARE PARK MASTER PLAN – Chris Beck 7.13.25

SUMMARY OF OBSERVATIONS

The Townsquare Master Plan reflects an immense investment of work, time, and good intentions, and includes many smart ideas, helpful examples and on-target critiques of Townsquare problems (*see following pages*). But the Plan concludes with recommendations that don't go far enough to respond to that good advice. And while moving in the right direction, the "*Town Square Park Implementation Concept for 2026*", which reflects the Master Plan, will not solve the problems that have plagued Townsquare for 30 years. Building from Master Plan advice, and lessons from successful plazas worldwide, key concepts for success are respectfully offered below.

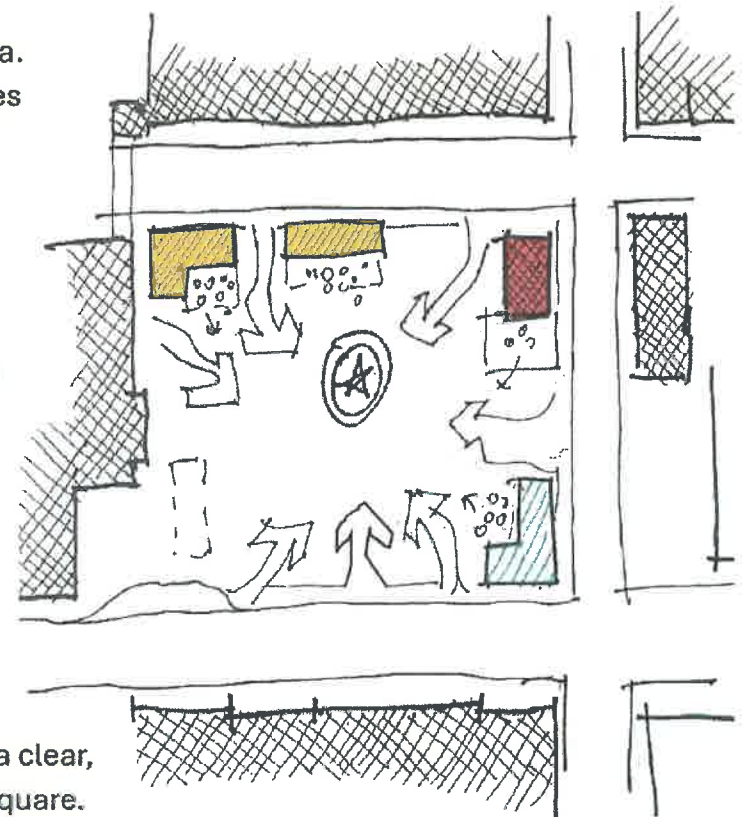
1. Add Four Season Daily Activity Within Townsquare Boundaries

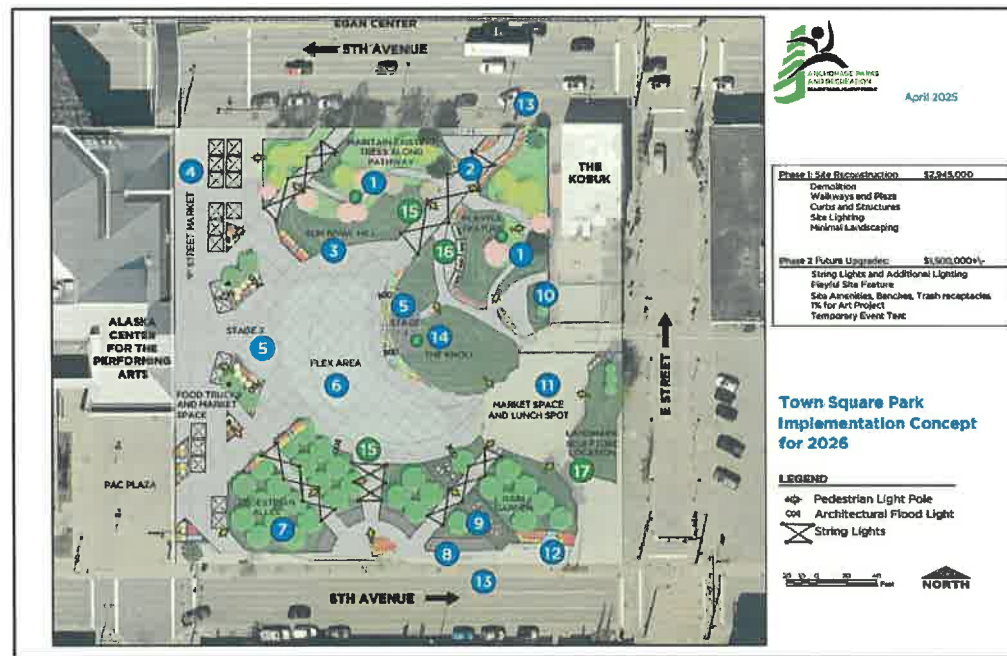
Plazas rarely activate the surrounding area; the surrounding area activates the plaza. Businesses on 6th are cut off by traffic, face north, and focus indoors. The other uses surrounding Townsquare are dead 95% of the time. Programed events can help but won't replace the need for year-round, daily reasons to visit Townsquare. So:

- Support a **suite of new year-round indoor/outdoor "people magnets"** – **within Townsquare** primarily on the north sun-facing side, with uses like cafes, restaurants, shops, rentals. Make this practical by bringing power, water, sewer on-site. Initially these could be semi-open air, indoor/outdoor spaces, but must include **covered heated seating**. (*Food trucks could meet some of this need but only with covered seating, and are limited in function, longevity, & season.*)
- **Connect Kobuk into the heart of the Townsquare**. If not cut off by berms, poor access and the challenges of "urban nomads" (and with new covered outdoor dining), Kobuk could be Townsquare's most important asset.
- **Add fun and games** – for kids like climbing structures & adults, like bocce ball.

2. Change the Townsquare Design to Focus on Safety, Access and Comfort

- **Eliminate berms**; leave generous but lowered planters and seat walls. Provide a clear, reassuring view of the whole, largely flat area in a glance from any place in the square.
- **Create direct, pedestrian access crossing from all sides**. Include people-watching seating along these well used paths.
- **Dramatically improve seating**. Provide a range of types and places to sit, including movable chairs and small-scale sun pockets. Rely on the new uses (above) for four season seating, with direct visual and physical access into the square.
- **Something memorable in the middle**. Successful plazas all over the world are flat with a statue, a fountain, and informal seating in the center. For Townsquare, consider a tower that tracks seasonal sun movements, narrow to not block views during events.

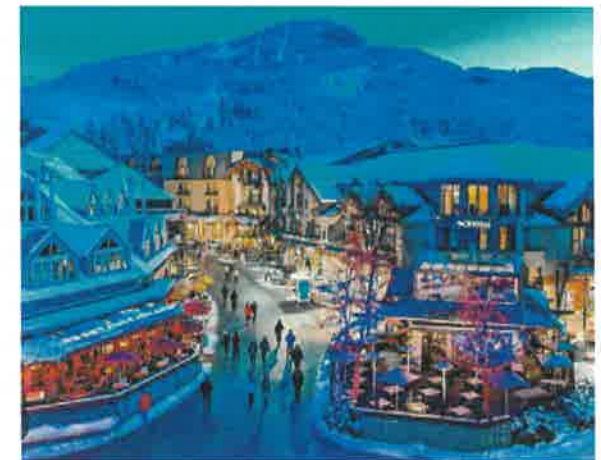
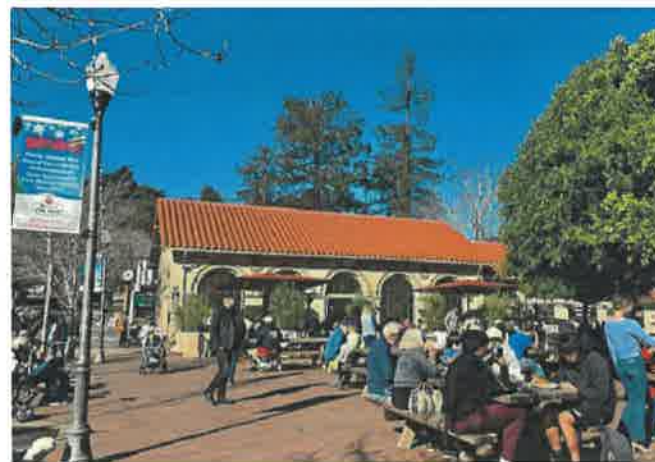




https://www.muni.org/Departments/parks/PublishingImages/Planning/TSP/TSP_DesignConcept.pdf

This 2026 Concept Plan is going in the right direction. But it still fails to fully solve the problems of four-season safety and comfort, and the surrounding “dead” spaces. These “hardwired” challenges have held back Townsquare’s potential for over three decades.

The examples below, and the master plan notes that follow, show a stronger path to success.



Above, left to right: Healdsburg CA, Mill Valley CA, Whistler, BC. **Healdsburg's** busy plaza is surrounded on four sides by restaurants, hotels, shops, with gazebo in the center. **Mill Valley's Depot Square** has the same surrounding uses, anchored on-site by the Depot, serving food, coffee, baked goods, beer and wine; customers cascade into the square. Whistler's three central squares are oriented to views and sunlight, and bordered by covered arcades featuring shops and restaurants. Restaurants have indoor and outdoor dining, with overhead heating. Hotels rise above.

“Sun is magic in the mountains” (& Alaska). (Eldon Beck, Whistler designer)

“What attracts people most, it would appear, is other people.” (William Whyte, author of The Social Life of Small Urban Spaces)

REVIEW AND RESPONSE TO MASTER PLAN - <https://www.muni.org/Departments/parks/pages/townsquareparkmasterplan.aspx>

Extracts from the plan in black; CB commentary in red.

“MASTER PLAN: KEY THEMES” – page 7-8

“Town Square Park as a Catalyst”

“Town Square Park is a popular destination and central feature of downtown. Revitalization of the park would act as a catalyst for positive change in downtown.” *Per comment above – Townsquare will never come to life without adding more life to the area, both surrounding and within.*

“Activating Town Square Park”

“People would like to see more events and activities in Town Square Park throughout the year. Currently, the park has few amenities to attract visitors and lacks “things to do” when programmed events are not taking place.” *See solutions on previous page – add active year-round uses within Townsquare itself. Townsquare is huge compared to the amount of use; the space can easily accommodate these activating uses while still retaining much loved (but height reduced) planters.*

“Design and Usability”

“The physical design, character, and relationship of the park to surrounding businesses and streets impact how people access and use Town Square Park. Addressing design related issues to improve safety, connectivity, and usability are a high priority.” *See solutions on previous page – MOST IMPORTANT: drastically reducing berms: the obscuring topography that reduces safety and makes Townsquare so inviting to “urban migrants”*

“RELATIONSHIP TO EXISTING PLANS AND POLICIES” – page 10-11

ANCHORAGE CHARTER, ARTICLE XX. BLOCK 51 TOWN SQUARE DEDICATION The Anchorage Charter was amended in 1984 to include the dedication of Block 51 as Town Square Park. (Section 20.01.04) The amendment **prohibits the construction of new buildings on site** *(to succeed this archaic rule must be changed)* and limits development underground from changing the grade of the park to above or below street level.

ASSEMBLY ORDINANCE 85-173, DEFINING BUILDING HEIGHTS NEAR TOWN SQUARE PARK In 1985, the Anchorage Assembly passed Ordinance 85-173, amending Title 21 to define maximum building heights near Town Square Park. Section I.5.a states that the maximum height of structures in Block 69 through 71 to limit Anchorage Original Townsite, “will not cast a shadow greater than that cast by existing structures on the Town Square Park on Block 51, Anchorage Original Townsite, from April 21 to August 21 between the hours of 9:00 AM and 3:00 PM, solar time” *Has this been changed to allow taller buildings on south side? If so, the Assembly needs to quickly revoke that action. “Dense birch trees” as called for on Townsquare’s south side in the “2026 Implementation Concept Plan” are sun-blocking mistake.*

“GUIDING PRINCIPLES” – Page 6

Improve the Relationship of the Park to Surroundings “and Surroundings to the Park” *Without better solutions to the current dead spaces around Townsquare the area will never be truly successful.*

Activate Town Square Park with Programming and Events – *Programming and events can supplement other activating elements but will never on their own be sufficient for success. Plazas worldwide thrive because they’re ringed by restaurants, cafes, shops & stores, galleries, hotels... (and streets that can be safely and easily crossed, and adjacent parking). Townsquare success requires adding more of these uses.*

Create a Park for All Seasons – Requires two things: a) reasons for people to use Townsquare every day of the year, including in the evenings, b) physical comfort, in particular south-facing, covered, heated indoor-outdoor seating.

Provide Amenities Incorporate an Iconic Feature – Townsquare needs and currently lacks such as feature. “Something in the middle”, with seating is essential. One option: a tower/monument that helps people track movements of the sun through the year. This could create a basis for four main annual events, at both solstices and equinoxes. Winter ice skating has never been particularly popular and creates a treacherous area in the middle of Townsquare all winter.

Improve Access, Circulation, and Connectivity; Improve Safety and Security – Solutions for these two are simple and visible in successful plazas world-wide: a) provide direct, convenient pedestrian paths from 8 locations, crossing in the middle and b) flatten mounds to create a near level park where the whole area is visible at a glance.

Flowers and Green Space are a Valued Asset – Certainly this is true, but these can continue to be available in Townsquare without so directly conflicting with safety and security goals

Promote a Strong Identity and Purpose – Townsquare deserves credit for what it at least starts, that is, two things every city needs: 1) a place that allows and accommodates civic gatherings, including protests, and 2) a place where, if someone says I’ll meet you in Anchorage but gives no further details, Townsquare could be/should be the obvious spot.

ORIGINAL DESIGN CRITERIA

1. Importance of Maintaining the Park’s Identity – NOT if that park-like “oasis” natural area identity has been failing for 30 years
2. Importance of Park’s Relation to the PAC – A dead space for 90% of any given week; new solutions needed.
3. Importance of Sunlight – Yes! 4. Importance of Color – Seasonal and Summer – Yes! 5. Importance of Day and Night Time Activities – Yes!
6. Importance of Relief from Rigid Urban Grid – *See responses above. Windy paths while providing ‘relief’ come with a host of problems.*
7. Importance of Safety – Once again: two keys to safety: flatten the space; increase the amount of regular use by residents and visitors. Together these are the most effect ways to divert or dilute the impacts of the current “urban migrant” users.

OTHER NOTES

Parking - Despite the availability of convenient parking, there is a strong public perception that there is a lack of parking in the city center. This was identified in the 2006 Downtown Comprehensive Plan and for many this perception still exists today. Compare the abundant, immediately adjoining parking at truly successful plazas like Mill Valley or Healdsburg. Public perception is correct: public parking for Townsquare itself, and to the future uses needed to activate the park is mediocre. Solutions are needed – affordable parking in surface lots and on-street.

Bike and Pedestrian Access - Throughout the planning process, residents and businesses cited high speeds and traffic volumes as a primary safety concern. This remains a very valid and unresolved issue.

Greenspaces and Lawn —The greenspaces to the north and south of the central plaza consist of rolling grass mounds four to seven feet high interspersed with trees and a walking path. The trees and mounds provide a buffer from noise and traffic along 5th and 6th Ave. However, these features also limit visibility into the park which park visitors and public safety professionals have cited as a key safety concern. **Park visitors and public safety professionals are right! The “Town Square Park Implementation Concept for 2026” reduces the height of these barriers, but the planned 3-4.5 feet is still too high. It’s a harsh but relevant statement: “doing the same thing, and expecting different results, is the definition of insanity.”**

Because of the topography, density of trees, and relatively small lawn areas, Town Square Park’s greenspaces are mostly used for viewing events and are not well suited for other activities. – **Unfortunately, these spaces are well suited to the way they are most often used today: for homeless/streetpeople to sleep, drink, party and intimidate potential users. Eliminating the long defunct concrete waterfall is an excellent move.**

The “Sun Bowl” – A key feature of the central plaza is the “sun bowl”, an elevated (8’h) seating area with southern exposure and multiple levels of seating for relaxing and watching events. **A valid goal, but a failure due to how it was implemented. Height creates a visual, access and safety issues, material used – concrete – is cold and stays wet. Much better would be covered space associated with privately operated cafés, restaurants, bakeries**

Walkways – “Walkways bring visitors into the park and enable circulation through the space. The main walkways are eight to ten feet wide and connect entrance plazas to the interior of the park. These walkways are heavily used by park visitors as well as people cutting through the park”. **Improving these walkways – more and more direct – is second in importance only to the ring of cafes, restaurants added to the site.**

Amenities – Page 79 – “Amenities should be upgraded to improve the overall use, function, and appearance of Town Square Park. Upgrading amenities was identified as a high priority throughout the planning process. Adding new amenities such as game tables, wifi, and cafe seating give people a reason to visit the park.” **Most important: “café style seating, lighting and power, restrooms, downtown (and citywide wayfinding: “Moose Loop” “Long Trail”)**

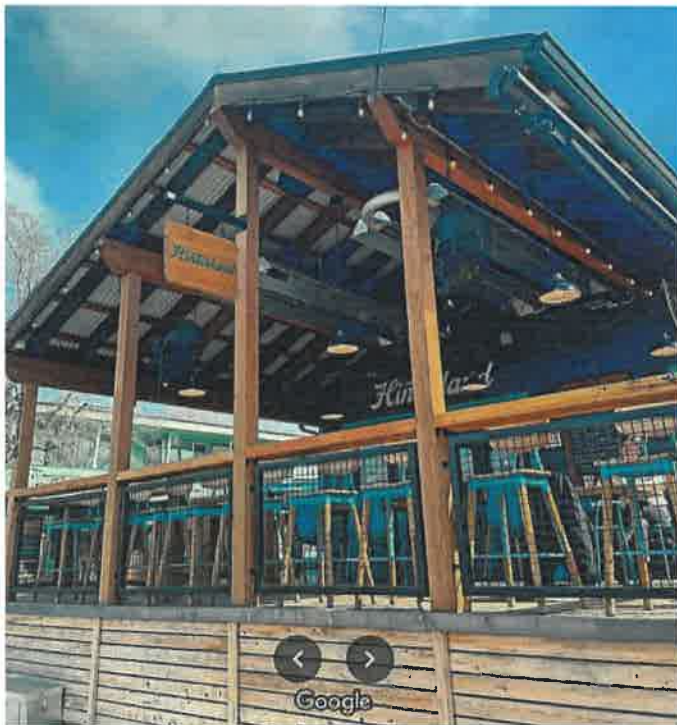
- | | | |
|----------------------------|-------------------------------|------------------------------|
| ▶ Café Style Seating | ▶ Lighting and Power | ▶ Interpretive Information |
| ▶ Park Benches | ▶ Wifi | ▶ Event Information/Calendar |
| ▶ Seat Walls | ▶ Restrooms | ▶ Public Safety Contact Info |
| ▶ Trash and Recycling Bins | ▶ Public Art | ▶ Downtown Area Wayfinding |
| ▶ Game Tables | ▶ Information Kiosks | |
| ▶ Bike Racks | ▶ Park Welcome and Rules Sign | |

THE BOTTOM LINE

The Master Plan (page 38) includes the turnaround of Bryant Park – check out <https://bryantpark.org/> With the parenthetical addition in red below, this conclusion is an excellent summary of what’s needed to make Townsquare succeed: **“Bryant Park had a bad reputation for drug deals and poor maintenance. Many of the problems occurring in the park related to critical design flaws. Poor visibility into the park, elevated areas, constricted entrances, and few amenities created the preconditions for disorder and crime to occur out of sight.”** **” Recognizing these flaws, the city made positive steps to improving the park through design interventions, the addition of *new amenities and concessions (like cafés, restaurants, shops, rentals, visitor information) and the hosting of daily events.*”**

SUCCESS IN PORTLAND OR. - INDOOR OUTDOOR DINING SPACES

These covered, heated areas - in and adjoining the right of way – were initially temporary, but proved so popular permits are now extended indefinitely





Portland Oregon 28th Street

Outdoor dining,
low-cost, temporary
structures



Events Are Great, But Can't Substitute for what Townsquare Lacks Now and Has Lacked For 30 Years: Year-Round, Daily Reasons to Visit Townsquare + All Weather/Four-Season Comfort

Below: Thursday evening July 17th; Above, Friday 11:00 AM July 18th. The only way to change that dismal morning scene is to add activating, “people magnet” uses **onsite**, uses like cafes, restaurants, bakeries, rentals, tourist info, with covered, heated seating.



NOTES ON THE TOWN SQUARE PARK MASTER PLAN – Chris Beck 7.17.25

SUMMARY OF OBSERVATIONS

The Townsquare Master Plan reflects an extraordinary investment of work, time, and good intentions, and includes many smart ideas, helpful examples and on-target critiques of Townsquare problems (*see below*). But the Plan concludes with recommendations that do not go far enough to respond to that good advice. And while moving in the right direction, the “*Town Square Park Implementation Concept for 2026*”, and the “*Town Square Park 35% Development Concept*,” which build from the Master Plan, **fall short of solving the problems** that have plagued Townsquare for 30 years.

Below are extracts of essential Master Plan policies; verbatim extracts are in black; commentary in red. A more complete review is available.

<https://www.muni.org/Departments/parks/pages/townsquareparkmasterplan.aspx>

- **“Activating Town Square Park - People would like to see more events and activities in Town Square Park throughout the year. Currently, the park has few amenities to attract visitors and lacks “things to do” when programmed events are not taking place.”** Given the realities of the spaces surrounding Townsquare – which are dead 90% of the time – active, comfortable **year-round uses must be established within Townsquare itself**, uses like cafes, restaurants, bakeries, rentals, tourist information. It’s Alaska: people want to eat, drink, be merry and visit with friends while being comfortable outside. Townsquare could and should deliver these opportunities, starting by better connecting Kobuk.
- **“Improve Access, Circulation, and Connectivity; Improve Safety and Security”** Solutions for these two are simple and visible in successful plazas world-wide: a) provide **direct**, convenient pedestrian paths from all sides, crossing in the middle and b) significantly lower the height of mounds so the whole area is visible at a glance, and so these vegetated areas are less inviting to “urban migrants.”
- **“Create a Park for All Seasons”** This requires two things: a) reasons for people to want to be in Townsquare **every day of the year**, including in the winter and the evenings, and b) **four-season physical comfort** with sunny, south-facing, covered, heated indoor-outdoor seating.
- **“Greenspaces and Lawn – The greenspaces consist of rolling grass mounds four to seven feet high interspersed with trees and a walking path. The trees and mounds provide a buffer from noise and traffic along 5th and 6th Ave. However, these features also limit visibility into the park which park visitors and public safety professionals have cited as a key safety concern. The “35% plan” is going in the right direction on mound heights, but more of this space needs to be devoted, primarily on the north side, for the activating, vital, “people magnet” uses outlined above.**
- **“Amenities – Amenities should be upgraded to improve the overall use, function, and appearance of Town Square Park. Upgrading amenities was identified as a high priority throughout the planning process. Adding new amenities such as game tables, wifi, and cafe seating give people a reason to visit the park.”** Most important: “café style seating, **utilities including electricity, gas and water**, restrooms, signage to trail connections.
- **“The Turnaround of Bryant Park” – With the parenthetical addition in red below, this Master Plan example is an excellent summary of how Townsquare could reverse it’s 30-year decline, and become Anchorage’s “safe, comfortable living room”:** “*Bryant Park had a bad reputation for drug deals and poor maintenance. Many of the problems occurring in the park related to critical design flaws. Poor visibility into the park, elevated areas, constricted entrances, and few amenities created the preconditions for disorder and crime to occur out of sight. Recognizing these flaws, the city made positive steps to improving the park through design interventions, the addition of **new amenities and concessions** (like **cafés, restaurants, shops, rentals, visitor information**) and the hosting of daily events.*”

To: <lucy@huddleak.com>, <radhika@anchoredowntown.org>

Hello Lucy and Radhika,

My name is Eric Lizer and I own the second largest sound/lighting/staging live event production company in the area, after Creative Lighting and Sound.

I would like to be involved with the design of the improvements to town square park.

My main input would be that I would hope that sufficient electrical hookups and be built into the design to avoid having to bring in or rent generators.

In the current scenario I am just barely able to get away with using the power already there, but it is close to maxed out. I usually need about 15 separate 20 amp outlets, which can be accomplished by using the 50 amp twist lock services and all of the 20 amp outlets. It's a bit of a spider web to access everything. One main 200amp 3 phase derive would be ideal.

I own a mobile stage and roof, similar in size to CLS's two Stageline trailers.

Here is a video from last years Plain White Tee's concert with my gear. We will do this setup again this weekend for Switchfoot.



[REDACTED]

Tanya et al,

Can you help with Shanna's question below? As you can see there are side conversations going on with folks from the Kobuk about public restrooms. I know the language is up for interpretation, but I'd love to have a dialogue that creates consensus for a response to people when this question comes up.

Shanna- we talked to the PAC about this yesterday and they noted that port-a-cans were a great help to reducing the amount of human feces that ended up (consistently) in different corners surrounding the PAC. Is that something we can help facilitate this year? It sounds like we had some up "near the whale" and local businesses greatly appreciated.

Thanks everyone!

-T

[REDACTED]

Subject: Fw: Bathrooms downtown

Did you say bathrooms are not allowed in town square in code?



Shanna Gamble
Manager

[REDACTED]



[REDACTED]

[REDACTED]

Subject: Re: Bathrooms downtown

[EXTERNAL EMAIL]

Laile:

Thank you for being a strong voice for the downtown business community on this and other topics.

I share your concerns and support your ideas. I have shared information with the muni about self-cleaning toilets made in Canada that are cost effective.

I would love to see a "pilot toilet" in Town Square Park this summer.

I am still hoping that some research has been done into what water and sewer hook up would cost at Town Square.

Looking forward to some movement on this issue.

Deborah Bonito

On Tue, May 20, 2025 at 11:12 PM Laile Fairbairn <[REDACTED]> wrote:

Hi Farina, Shanna and Becky — has there been any movement on putting temporary bathrooms in downtown by June 1? I understand there is discussion happening at city hall and I'm hoping you can share details. I've copied other downtown business owners and shareholders who have expressed concerns about this issue. There are many others who share our thoughts but I'm hoping to keep this group nimble and solution oriented.

Without the opportunity to discuss in a meeting, I'll share my ideas in the hopes we can get a conversation started.

Install 6 - 10 portapotties in downtown, perhaps in parking lots, from L Street to Gambell Lock at 10 pm nightly (this is not a universally shared opinion)

Is there hesitation to do this? A lack of funds? As business owners, it's hard to understand why this can't be done tomorrow. The mayor mentioned at a recent meeting that a map of publicly available bathrooms would be published. We look forward to that but it is probable that people using our alleys and vestibules for toilets will need a different approach.

Tourists are here. June 1 is fast approaching. I look forward to working with the Muni to provide dignified toilet options for the houseless community.

On Wed, May 14, 2025 at 3:45 [REDACTED]

I too am eager to hear a plan for downtown public restrooms beginning June 1. I have the same concerns as Laile; my employees have to take care of unspeakable things. While I realize some of the perpetrators have mental health issues and may not be redirected easily (and, hopefully we will develop realistic plans for how to house people in those instances), many folks will appreciate being able to use a safe and sanitary restroom.

Thank you,

Deborah

On Wed, May 14, 2025 at 2:58 PM Laile Fairbairn [REDACTED] wrote:

Thank you, Farina. I'm encouraged that there are larger internal conversations and am eager to hear back about next steps.

Our hope is that there are temporary bathrooms throughout downtown in place by 6/1. We must provide sanitary and dignified ways for houseless people to use bathrooms. The alternative of not providing this is a public health issue, and as I've stated, an employer issue. I can't ask my staff to clean up anymore.

On Tue, May 13, 2025 at 2:22 PM Brown, Farina [REDACTED] wrote:

Hi, I was recently included in a larger internal conversation about downtown bathrooms. I will close the loop with you tomorrow to confirm who spearheads that effort for ongoing discussion.

fb

[REDACTED]

Sent: Tuesday, May 13, 2025 9:46 AM

[REDACTED]

Subject: Re: Bathrooms downtown

[EXTERNAL EMAIL]

Hi Farina — when can we set up a meeting?

On Fri, May 9, 2025 at 8:49 AM Laile Fairbairn [REDACTED]

Hi Farina — does it work to meet today? If not, then Monday?

On Wed, May 7, 2025 at 8:42 PM Laile Fairbairn [REDACTED] wrote:

Thank you. We appreciate the opportunity to meet. I'm free most anytime this Friday or Monday. Perhaps 9:30 am this Friday would work at the Kobuk? Hoping others can join us.

Sorry for the delayed response. I got sick over the weekend and am just now coming out of the fog.

On Sun, May 4, 2025 at 12:18 PM Brown, Farina [REDACTED]

Mrs. Fairbairn,

I appreciate you reaching out regarding restroom access and its impacts on downtown businesses. We recognize that the lack of public facilities contributes to challenges for both the unhoused and local business owners. While we do not have an immediate solution, we actively evaluate short-term and seasonal sanitation strategies. I'd be happy to meet and talk further-please.

Let me know if a time works for you late this week or early next week.

Kindly,

fb

Farina Brown

Special Assistant Homelessness & Health

Municipality of Anchorage

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

Subject: Bathrooms downtown

[EXTERNAL EMAIL]

Hello Farina and Shanna --

Is there any follow up to the request for public bathrooms downtown that came up at the downtown stakeholder meeting in February? We continue to have incredible problems with people using our property and alleys for bathrooms.

It's extremely hard to ask our staff to help clean up bathrooms that are destroyed or to go clean up outside.

Last year, I know that we tried portapotties and there were challenges to maintain but I hope that we don't give up on providing dignity to anyone who needs to use facilities. I was in Seattle recently and observed their public bathroom set up at the new waterfront area. They have someone staffing the bathrooms to provide oversight and cleaning.

Perhaps there is something already in the works? If not, I'd be happy to host a meeting to discuss possible solutions and locations. It's a critical problem for downtown businesses, locals and our guests.

Thank you.

--



LAILE FAIRBAIRN

President

Locally Grown Restaurants



--



LAILE FAIRBAIRN

President

Locally Grown Restaurants



Timestamp	Email Address	Name (optional)	Phone Number	Your Comment
5/26/2025 15:14:04		Tracy Wilson		1% Art..really?
6/30/2025 10:25:46		MS LINDA JANIDLO		Please include maintenance of Town Square Park in all seasons, particularly removal of snow and ice from pedestrian areas in winter. Thank you. We are in full support of improving the park. As a small business on the corner of 6th and E street; the park is cross the street. We believe the park should be full of activities, vendors and food trucks. What we are concerned about is when you have a concert you cut off our block and there is no access on E to 5th. Locals and the tourist have a hard time finding us. There should be a walking path through during the day with the concert starting at 5 pm; being closed off all day is hard on business. We open at 6 am and our sales for the day (s) you have the whole block fenced with no access we lose over 60% of sales on our busiest days. Plus you block our 6th ave parking with "no parking signs" in front of our store and coffee shop. As a small business we know revitalizing downtown is a priority this is why we are so invested into our location and what we do offering support for other small businesses. Just be aware you're blocking out local businesses with no notification of this happening and it hurts us financially and the staff we have to send home. More communication with the businesses around the park and how the development effects us would be greatly appreciated. Thanks, Wild Starr Creations and Coffee House As an Anchorage South Addition resident who regularly walks the downtown streets and along the Park Strip, I urge you to include all-weather restrooms in the Town Square Park area. Residents and tourists alike need to use facilities at times. You might say "Just buy something in a business that may have public restrooms"! Well, you will experience the fact that many nonfood businesses do not have public restrooms even for customers. As a Senior who accompanies or drives disabled Elders to the Performing Arts Center, I urge you to include a cut out on 5th or 6th Ave letting drivers pull out of the street and patrons can safely exit a vehicle. The 6th Avenue entrance sidewalk has space and allows entrance to the Discovery and Sydney Lawrence Theatres. An example can be found on 8th Ave between A and C in front of a Federal Building. Thank you for listening!
7/25/2025 8:09:28		Linda Burke		
9/9/2025 14:39:19		Linda Swarner		Town square park should be renovated into an urban skateboarding plaza. People will travel from around the world to skate there. I like the revisions from the Master Plan that creates more open space on the west side of the park, adjacent to the Performing Arts Center. This allows for a wider range of community events in the park, by increasing the amount of "useable" space. The Friday Night Market demonstrated that TSP has much greater potential for community events, if we make the space more attractive, functional, and inviting. The open concept will also help promote a sense of safety in the park.
9/12/2025 9:08:30		Edwin Shellabarger		
9/15/2025 15:54:35		Darrel W. Hess		
9/24/2025 12:30:06		Jake Holmes		Please add a few skateboarding obstacles of some kind I think skateboarding should be considered in the layout, not as an end goal user but as a group that would utilize the space during less occupied times. Embarcadero and the U.N. Plaza in San Francisco, Love Park in Philadelphia, and most urban city centers in Scandinavian countries are examples of public spaces that consider multi faceted use. More consistent movement throughout the park would also deter vagrancy and illicit behavior. This could be done by incorporating architectural benches retaining walls that primarily serve as seating but are functional skateboard obstacles. Small well placed concrete embankments around garden beds could encourage skateboard use in certain areas, and keep skateboarders away from areas of the park you wouldn't want to promote the use of. It would be a benefit to the area to have skateboarding be more prevalent in town square park, and would be relatively easy to add or modify elements of the design into skateable pieces of architecture.
9/24/2025 14:51:03		N/A		



Wednesday, May 7, 2025 @ 5:30pm – 7:30pm

City Hall – Room 155

In-person meeting

downtown.c.council@gmail.com

CALL MEETING TO ORDER

1. Welcome & Introductions
2. Additions/changes to the agenda. Approval of agenda
3. Approval of March 5, 2025 meeting notes
4. Reports: 3 minutes limit
 - a. Assembly Report
 - i. Chris Constant - Daniel Volland
 - b. Senate Representative Report – Loki Tobin
 - c. House of Representative Report – David Nelson
 - d. Mayor's Office Report
 - e. Anchorage Police Department
 - f. Anchorage Fire Department
 - g. Anchorage School Board
 - h. Anchorage Downtown Partnership – Radhika Krishna
 - i. Our Downtown Update – Daniel Mckenna-Foster
 - j. JBER - Joy Boston – *Report was emailed to members*
 - k. 3rd Avenue Radicals – Jim Renkert or Larry Michael
 - l. Alaska Railroad – Railroad Representative
 - m. Performance Arts Center –
 - n. ACDA – Melinda Gant
 - o. Anchorage Coalition to End Homelessness – Guest House Representative
 - p. Covenant House Updates – CHA Representative
 - q. Sala Anchorage Safety Patrol – David Parish
5. Continuing Business:
 - a. Alcohol and Marijuana Committee Update - Silvia
 1. Liquor
 - Pearl – New Application - 16644
 - Voyager Inn – Renewal - 742
 - Aviator – BDL Tourism License – Waiver Renewal -5994
 - Aviator - Brewery Manufacturer – Waiver Renewal – 6043
 - 49 State Brewing – Renewal Winery Manufacturer – 5745
 - 49 State Brewing - Renewal Brewery Manufacturer - 5744
 - Pho-Lena – Renewal – 5635
 - AK Burger & Brew – Transfer from Pho-Lena – 5635
 - Glacier Brewhouse – Brewery Manufacturer License Renewal – 3985
 - Yamaya Restaurant – REP Renewal - 3728

2. Marijuana

- Great Northern Cannabis – Renewal - 11966

6. Continuing Business –

- a. Resolution Seward/Glenn Hwy Connection – Lindsey Hajduk
- b. Resolution prohibiting commercial trucks 3rd Avenue West of 6th Avenue – Justin Millett

7. New Business - Presentations - 6 minutes limit

- a. Downtown Trail Connector Project – Coastal Trail to Ship Creek Van Le and Tanya Hickok
- b. Public Transportation Department updating Transit Development Plan – Stephen Stone, Transit Planner
 - i. Transition the Move – view in link below.
<https://www.muni.org/Departments/transit/PeopleMover/Pages/TransitOnTheMove.aspx>
- c. The Anchorage Downtown Wayfinding project – Lucy Wittlinger – Huddle AK
- d. Town Square Park 2026 Implementation project - Lucy Wittlinger – Huddle AK

8. Announcements/Neighbor Comments (2 Minute limit)

ADJOURN MEETING

Upcoming Meetings:

- Community Council general meeting: Wednesday, July 9, 2025 at 5:30pm – 7:30pm
- Marijuana & Alcohol Committee: Wednesday, July 16, 2025 at 5:30pm - 6:30pm (In- Person or Telephonic Meeting)

Presentations and reports are timed in consideration of the agenda.
Please wait to be recognized by the Chair.
Please sign in when attending the meeting.
If you would like to be added to the email list provide your email on the sign in sheet or send an email to info@communitycouncils.org or downtown.c.council@gmail.com
The DTCC has a webpage maintained by the Federation of Community Councils. Contact information, agenda, meeting minutes, letters of support, resolutions, and other documents are located on this website.
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<https://www.facebook.com/AnchorageDowntownCouncil/>

Downtown Community Council Board

President:	Silvia Villamides
Vice President:	Mike Ward
Treasurer:	Jason Motyka
Secretary:	Barbara Roberts
Member At Large:	Chris Jones
Member At Large:	Buzz Rohlfing
Member at Large:	Robert Turkingston
FCC Delegate:	Brabara Roberts

Marijuana & Alcohol Committee:

Purpose: Review marijuana and alcohol license applications, renewals, and related issues.
Chair: Silvia Villamides



Town Square Park 2026 Implementation

Downtown Community Council Meeting

Wednesday, May 7, 2025, 5:30 PM – 8:30 PM

City Hall – Room 155, Anchorage, AK 99501

Summary

- Lucy Wittlinger introduced herself and thanked the community council for their time.
- Lucy presented the fact sheet, 2026 implementation concept with supporting images, and gave a summary of the Town Square 2026 Implementation Project.
- She reviewed the project timeline, summer activation activities, and the work this summer to remove damaged and invasive trees.
- Oona Martin with The Boutet Company gave a brief overview of the implementation design. The design has been modified from the 2019 Master Plan design due to current conditions, with a new survey, and buildable within the bond amount of \$2.9 million.
- The project would be in 2 phases, site reconstruction (bond funded) and future upgrades, which are not currently funded and would need future bonding or private funds.
- Lucy then thanked the community council, shared her contact information for more information, and asked if there were any questions.

Questions

- A council member asked if the design will consider the winter months?
 - Lucy responded that the project team will be considering winter design for accessibility, lighting, electrical for winter markets, and possible heating elements.
- Natalie with Showdown Alaska asked if the park was being designed with larger concert events in mind. She would like to see electrical outlets placed in the correct location for concert equipment.
 - The project team would like to schedule a meeting with Showdown to discuss large-scale event needs.
- Natalie also asked about the timeline for tree limbing and removal. She has safety concerns that the site will be prepared and safe for concert goers.
 - Lucy will get Natalie in touch with Parks for the removal schedule.



Wednesday, September 3, 2025 @ 5:30pm – 7:30pm

City Hall – Room 155

In-person meeting

downtown.c.council@gmail.com

CALL MEETING TO ORDER

1. Welcome & Introductions
2. Elections – MOA Ombudsman Darrel Hess
3. Additions/changes to the agenda. Approval of agenda
4. Approval of July 9, 2025 meeting notes
5. Reports: 3 minutes limit
 - a. Assembly Report
 - i. Chris Constant - Daniel Volland
 - b. Senate Representative Report – Loki Tobin
 - c. House of Representative Report – David Nelson
 - d. Mayor's Office Report
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 - l. Alaska Railroad – Railroad Representative
 - m. Performance Arts Center – Marygrace McManus/Alex Huseman
 - n. ACDA – Melinda Gant
 - o. Anchorage Coalition to End Homelessness – Guest House Representative
 - p. Covenant House Updates – CHA Representative
 - q. Sala Anchorage Safety Patrol – David Parish
6. Continuing Business:
 - a. Alcohol and Marijuana Committee Update - Silvia
1. Liquor
 - Bernies' Bungalow – 3781
 - Uncle Joes Pizzeria – 3915
 - Originale – 5820
 - Palmeira Tropical Fusion – 6106
 - AK Alchemist – 5757
 - Bridge – 5103
 - Tequila 61 – 826

- Broken Blender – 1244
- Café 817 – 4449
- Hightide Coffee – 16816
- Sheraton Anchorage - 1443

2. Marijuana

- Green Room – 10646
- Red Run – 11411
- Canna Test – 10009

7. Continuing Business –

- None Noted

8. New Business - Presentations - 6 minutes limit

- Town Square Park 2026 Implementation project - Lucy Wittlinger – HUDDLE

9. Announcements/Neighbor Comments (2 Minute limit)

ADJOURN MEETING

Upcoming Meetings:

- Community Council general meeting: Wednesday, November 5, 2025 at 5:30pm – 7:30pm
- Marijuana & Alcohol Committee: Wednesday, November 19, 2025 at 5:30pm - 6:30pm (In-Person or Telephonic Meeting)

Presentations and reports are timed in consideration of the agenda.
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FCC Delegate:	Brabara Roberts

Marijuana & Alcohol Committee:
Purpose: Review marijuana and alcohol license applications, renewals, and related issues.
Chair: Silvia Villamides



Town Square Park 2026 Implementation

Downtown Community Council Meeting

Wednesday, September 3, 2025, 5:30 PM – 8:00 PM

City Hall – Room 155, Anchorage, AK 99501

Summary

- Lucy Wittlinger introduced herself and thanked the community council for their time.
- Lucy gave a brief overview of the public engagement activities to date, including stakeholder meetings, tabling at activation events, such as Biker Buddies, Live After Five, and the Friday Night Market.
- She reviewed the project timeline and invited the council to attend the Community Open House to review the Preliminary Design Concept on Tuesday, September 9th, from 5:00 – 8:00 pm in Room 155 at City Hall.
- Oona Martin with The Boutet Company gave a brief overview of some of the elements that were incorporated into the preliminary design concept as a result of the public process.
- Lucy then thanked the community council, shared her contact information for more information, and asked if there were any questions.

Questions

- A council member asked if the design will consider a designated accessible drop-off zone for the Alaska Center for the Performing Arts (PAC)?
 - Lucy responded that the project team has taken into consideration the need for a drop-off zone. The area in front of the PAC is designed for an F Street Market space, which would double as a drop-off area for events at the PAC. Curb cuts are not a part of this design as 5th and 6th Avenue are still DOT roads.
- A council member asked if the parking area between the PAC and The Kobuk along 5th Avenue could be used as a drop-off zone for PAC events?
 - It was discussed that this is not the safest option for patrons, as passengers would be exiting into the travel lane on 6th Avenue. Melinda Gant from ACDA suggests using the Egan Center's drop-off zone and bringing PAC patrons to the PAC over the skybridge connecting the Egan Center and the PAC. This, however, only works for the larger theater and not the Discovery theater, as they are not connected.

Town Square Park 2026 Implementation

Individual Stakeholder Meeting – Robert Cupples

Date: Monday, May 19, 2025

Time: 11:00 am- 12:00 pm

Location: Town Square Park

Attendees: Oona Martin – The Boutet Company, Taylor Keegan – MOA Parks, Lucy Wittlinger – Huddle, Robert Cupples - Resident

Meeting Summary

Project team members met with Robert Cupples, grandson of Avis Cupples (park founder), to discuss the location of a monument recognizing the efforts of Avis Cupples and Shirley Brundage.

The Cupples family has waited more than a decade to see a monument get installed.

Last year, Robert met with then-Anchorage Parks Director Mike Braniff to discuss the monument. Two trees were installed near the PAC, where one large one was removed. It was discussed using this area as the memorial site. It made sense to Robert to celebrate the two women with two trees and a meaningful plaque.

At the time of that meeting, Robert was not in favor of an Avis Cupples pathway, thinking it should reference the effort made to create a green space in downtown and not honor his late grandmother with pavement. The pathway, in its current state, did not convey the message of his grandmother's love of flowers and gardens.

Referring to the implementation concept, we discussed how the park will be changing. Mainly, Robert is interested in finding a way to equally commemorate Avis Cupples and Shirley Brundage, relative to the efforts made regarding Ruth Moulton plaza and boulder.

With that in mind, we looked at the proposed way-finding plaza and park entrance just west of the Kobuk and

It was discussed using this northern entrance area as a location for the memorial. Incorporating a large boulder with a plaque could be an option, or some other element with a plaque into a horticulture bed

Robert shared a printout of a timeline of the creation of the park. It was suggested to add interpretive elements to the park. Telling the story of how the land was saved for green space.

Robert asked for the timeline for the implementation of the new park design. with the accelerated timeline, Robert was comfortable waiting for the 2026 Implementation for the memorial to be installed.

Robert is in custody of an extensive collection of newspaper clippings related to the history, pressures and development of Town Square Park.



Phase 1: Site Reconstruction	\$2,945,000
Demolition	
Walkways and Plaza	
Curbs and Structures	
Site Lighting	
Minimal Landscaping	
Phase 2 Future Upgrades:	\$1,500,000+/-
String Lights and Additional Lighting	
Playful Site Feature	
Site Amenities, Benches, Trash receptacles	
1% for Art Project	
Temporary Event Tent	

Town Square Park Implementation Concept for 2026

LEGEND

- Pedestrian Light Pole
- Architectural Flood Light
- String Lights

20 10 0 20 40 Feet



Town Square Park 2026 Implementation

Individual Stakeholder Meeting – Alaska Center for the Performing Arts (PAC)

Date: Tuesday, May 20, 2025

Time: 12:00 pm- 1:00 pm

Location: Alaska Center for the Performing Arts (PAC)

Attendees: Oona Martin – The Boutet Company, Taylor Keegan – MOA Parks, Lucy Wittlinger – Huddle, Shane Porter, Facility Manager - PAC, Mary Grace McManus, Community Engagement-PAC, Codie Costello, President - PAC

Meeting Summary

Project team members met with Codie Costello and staff of the Alaska Center for the Performing Arts (PAC), to discuss the design of Town Square Park (TSP) as it relates to the PAC.

Drop-off and Traffic Flow

- A suggestion was made to include future drop-off space in the design at a minimum. Keep a space clear of any permanent design features that would inhibit a future drop-off area.
- The current design has a flexible space proposed, but concerns were raised that it doesn't produce a safe drop-off solution.

PAC Facility Assessment and Infrastructure

- PAC is undergoing a facility assessment. The focus areas are the Theater, Arts Consortium, Mechanics/Building. The building was built in 1997, and no major improvements have been made since.
- Weapon detectors may be relocated to TSP doors if needed in the future.
- PAC Plaza had heated surfaces until 2020 — the system was turned off with no clear explanation.
- Questions were raised about ownership and maintenance of PAC Plaza, including:
 - Tree grates on 5th Ave create a tripping hazard.
 - Trash can maintenance.
 - Trees removed along 6th & 5th Avenues
- The emergency exit and main entrance are located on 6th Avenue. APD and Parks and Recreation use this plaza space for loading.

Sanitation, Safety, and Vandalism Concerns

- The building is facing unsanitary conditions from human relief.
 - TSP is getting port-a-potties for the summer.
- PAC has 50 cameras for monitoring.

- The doors facing TSP are, for now, to remain exit-only to reduce safety concerns.
- Snow removal concerns — berms hinder safety and sanitation.

Design Ideas & Community Use

- Codie likes the idea of a future atrium building on the plaza to connect theaters and provide a centralized box office and restroom.
- The old Kaladi space will be used by PAC as a rental and public open space.
 - It is possible to allow restrooms, but a full operations plan is required; the PAC does not have the resources to maintain restrooms that are open to the public.
- Desire for positive activity at PAC-facing doors.
- Suggests designing raised flower beds to prevent damage from pedestrian traffic.
- Would recommend electrical be included in the design for lighted elements and outlets to support food trucks. The outlets at ground level could be locked.
- Port-a-potties or permanent restrooms need to be considered for future inclusion in PAC plans.

Summer Park Improvements

- Parks and Recreation will be painting the park and reclaiming space through tree removal (18/20 invasive and spruce to allow more light).

Interagency Coordination

- PAC would like information on the type of lighting the project is using and project updates to better connect TSP to PAC.
- Alignment and coordination across agencies (e.g., AWWU, Conoco) to ensure materials and work are cohesive.
- PAC requested clarity on how APD (Anchorage Police Department) can support these efforts.

Events & Programming

- Is the PAC allowed to play music in the direction of the park? (Taylor does not object)
- Coordination ongoing with Showdown for renting PAC space for events.
- Creative Light & Sound (CLS) has a large screen setup but currently lacks access due to driveway issues.

Town Square Park 2026 Implementation

Individual Stakeholder Meeting – The Kobuk

Date: Thursday, May 22, 2025

Time: 11:00 am- 12:00 pm

Location: The Kobuk

Attendees: Oona Martin & Loren Becia – The Boutet Company, Lucy Wittlinger – Huddle, Tanya Hickok – PM&E, Deborah Bonito & Nina Bonito Romine – The Kobuk

Meeting Summary

Project team members met with Deborah Bonito and Nina Bonito Romine of The Kobuk to discuss the design of Town Square Park (TSP) as it relates to The Kobuk.

Discussion topics and comments:

- Restrooms are needed for Town Square Park. The Kobuk becomes a de facto public restroom.
 - MOA Parks is working on a temporary solution to provide portables for the summer months.
 - It would be beneficial to design a placeholder for a permanent restroom structure and related utilities.
 - The Park Charter has limitations: Current clause (20.2) prohibits building; would require a charter amendment for permanent structures.
- The park needs 24-hour security. Support from the future surveillance camera installation should help.
- The project team asked about connecting TSP to Kobuk's patio; however, they have plans for an expansion.
 - Expansion plans – The Kobuk is exploring a 4-story building with apartments that may reach the property line to the south. The plan is to have retail on the ground floor facing E Street, and there could be a possible pass-through to the park. This project has a potential construction timeline within the next 3 years.
 - Deborah will provide a rendering of the proposed development.
- Tree Management within the park needs to be addressed. It was recommended to thin trees near buildings due to the unsanitary conditions they promote.

Design Comments

- Stage Locations - Concerns over having two stages. Didn't like the original Master Plan stage location.
- A future art installation could be a storytelling-themed carousel with indigenous-themed fish and moose elements. Deborah loves this idea and would be willing to spearhead the fundraising effort.

- Consider adding heating sidewalks and heated elements for the winter months, and use gas heat so it can easily be turned off when needed.
- The F Street Market design is a good concept, especially for PAC access.
- Vendors could utilize 5th/6th Avenue sidewalks if they were designed wide enough for vendor operations.
 - New plans may focus on using E/F Streets for vendors instead of 5th/6th.
- They liked the Museum Alle of trees as it's valued for its transparent visibility. There are no security concerns at the Museum because they have 24/7 security.
- Seasonal flower planting beds are a wonderful feature for the park and would encourage expanding space for this. However, it must be coordinated with MOA.
- Egan Center is a major tourist drop-off and pick-up location. Visitors must have a great first impression of TSP. Consider the views from the north toward TSP in the design.
- Lighting Concept – the plan includes string lights; discussion on their visibility and functionality during summer.
 - These lighting pathways should facilitate movement toward the PAC for the winter months.
- The Plaza on 6th Avenue seems out of place. This plaza was conceptually for the donor bricks, now exploring new visual options, such as Inukshuk-style figures.
- Include adjustable seating in the design for increased flexibility.

Town Square Park 2026 Implementation

Individual Stakeholder Meeting – Michael Fredericks

Date: Tuesday, May 28, 2025

Time: 9:00 am- 10:00 am

Location: SALT

Attendees: Oona Martin – The Boutet Company, Tanya Hickok – PM&E, Lucy Wittlinger – Huddle, Michael Fredericks - SALT

Meeting Summary

Project team members met with Michael Fredericks, with SALT, the coordinator of the Indigenous Place Names Advisory Committee. The purpose of the meeting was to discuss the integration of indigenous themes into the Town Square Park design.

Michael suggested presenting to the Indigenous Place Names (IPN) Advisory Committee at their quarterly meeting on Tuesday, June 3rd. This would allow for an introduction to the project and gather feedback from the IPN movement and future direction.

IPN is a movement with an identifiable brand. Michael suggests the IPN brand movement could be used/adapted through a local indigenous artist, such as Melissa Shaginoff or Sebastian Garber, for use in the Town Square Park design.

The 2.9 million dollar project funding will not be able to cover an art installation for the park design. One option is to allow the Anchorage Park Foundation to fundraise for the indigenous artist component to allow for more flexibility in the design and installation.

Another options would be to pursue bed tax dollars to help supplement the needed funds for Phase 2.

Town Square Park 2026 Implementation

Individual Stakeholder Meeting – Anchorage Police Department

Date: Tuesday, June 10, 2025

Time: 2:00 pm- 3:00 pm

Location: Teams

Attendees: Oona Martin & Loren Becia – The Boutet Company, Lucy Wittlinger – Huddle, Tanya Hickok – PM&E, Brian Fuchs - APD

Meeting Summary

Project team members met with Brian Fuchs, Anchorage Police Department, Lieutenant, to discuss the design of Town Square Park (TSP) as it relates to safety downtown.

APD Operations Priorities

- **Operation Level**
 - APD does not need anything specific. It would be nice to have signage about the APD patrolling the area. To give people safety and security.
 - Surveillance Cameras (7) will be installed within the park.
 - The cameras could feel imposing, unless there is an option to make them fit into the park design. How can we make the ugly boxes fit into the design?
 - Access is needed to the cameras for maintenance, and to coordinate with APD.
 - The cameras are mounted 16' to 23' in the air, on traffic signals, light poles, and on walls.
 - The IT department plans to install at the end of July or early August.
 - Since they are being installed this year, it gives the design team time to see how they are functioning and if they need modification to fit the park design.
 - It's the support boxes that house the large switches; the cameras are quite small.
 - APD will install signs that indicate that the area is under observation.
 - APD has that signage, and they will be installing it once the cameras go up. It is a requirement of APD.
 - If the sign or location changes, APD will have to discuss it with the design team.
 - Brian can share the sign type with the team.
 - Fiber optics: There may be a power transfer from pole to pole; most will be powered by an internal power source from the light poles.
- **Tactical Level**
 - The design shouldn't be affected, but it pertains to the line of sight across the park, not major obstacles, to allow for visitors to leave in an emergency.
 - Don't create bottlenecks in the park where egress is needed in case of an emergency.

Design

- The design should be beautiful, but not to encourage people to stay for a long time. Don't want the park to invite people to sleep or take shelter in the park.
- What is different between the Museum Park and Town Square Park?
 - The museum has hourly walk-throughs and 24 surveillance
 - The museum has a different feel; they have security, a different vibe, it's a business, and not a public park.
 - If you want to help the police, keep the park activated.
- APD needs emergency vehicle access at a minimum of two different points.
 - Two entry/exit points are needed as a minimum.
 - Not opposed to having access, it could be subtle or controlled with a gate, bollard, etc.
 - Access that is not known to the general public, but to emergency services.
 - In an emergency, spaces can become congested as people are leaving the space, and it can slow emergency response.
 - Import APD can get access to the park to render aid promptly.
- Brian's team has received training in CPTED (Crime Prevention Through Environmental Design) and is happy to review the design.

APD Design Review

- Brian could assign an office to attend a quarterly meeting to help consult on the design.
- At 35% Design Review, APD can review and provide comments.

Town Square Park 2026 Implementation

Individual Stakeholder Meeting – Downtown Stakeholders

Date: Tuesday, June 10, 2025

Time: 3:00 pm- 4:30 pm

Location: Teams

Attendees: Oona Martin & Loren Becia – The Boutet Company, Lucy Wittlinger – Huddle, Tanya Hickok – PM&E, Radhika Krishna & Kristin May – ADP, Julie Saupe – Visit Anchorage, Melinda Gant – ACDA, Beth Nordlund – APF, Therin Ferrin – Anchorage Convention

Meeting Summary

Project team members met with Radhika Krishna – ADP, Julie Saupe – Visit Anchorage, Melinda Gant – ACDA, Beth Nordlund – APF, Therin Ferrin – Anchorage Convention, to discuss the design of Town Square Park (TSP) as it relates to downtown.

Round of introductions

The project envisions a multi-functional space combining an event venue and a public park that collectively tells the story of Anchorage. It emphasizes the importance of:

- Storytelling and cultural representation within the park.
- Integrating green space around the event area.
- Future design upgrades, with particular attention to Phase 2 development plans.
- Infrastructure needs, such as ensuring adequate electrical capacity for events.

The involved stakeholders include event planners and storytellers, with strong ties to tourism and the downtown community.

What is missing in the design and should be considered moving forward to the 35% Design?

- Anchorage Park Foundation
 - Beth is asking Rasmuson for \$1 million for Town Square Park!
 - Beth will need letters of support.
 - ADP is willing to help with this effort.
 - *Your Parks Bonds At Work* – APF is putting together a campaign to connect bonds to ACTION!
 - Stakeholders want to see the design focus on Anchorage being a Winter City; the string lights and additional lighting would be a huge benefit for the design.
 - Lighting should clear Fire Trucks.
 - Beth gets the feeling TSP could be on the Bond for 2026.
 - Funding from Rasmuson for a 2026 gift that helps get a Bond.
 - TSP funding engages the voters to support another bond.
 - Not interested in having two phases; everything on this page should be done in 2026.
 - And more! A bit of a danger of hitching our future to no change. It needs magic, 1% for Art
 - Need to keep the momentum going!

- The design element plaza along 6th Ave seems out of place.
 - The plan is to expand the arc to connect the two corners of the park.
- Anchorage Downtown Partnership
 - First Stage – More designed for Live After Five Concerts – smaller events.
 - The stage in the concept is the same size as the current one.
 - The ADP tent is currently 20' x 20', which is an industry standard.
 - But sometimes it needs space beyond that.
 - It would be great to have a stage with a permanent roof with lighting.
 - If there was already a plug-and-play option for a stage. That could be a huge benefit for events.
 - In the charter, it states that a permanent structure is not allowed in TSP without an Amendment.
 - Working with Planning to learn if it would be possible to amend the charter.
 - Where would seating for stage one be located if guests did not bring a chair?
 - The Sun Bowl Hill could offer green space for seating.
 - Stage two space – Designed for larger concerts
 - It's becoming increasingly common for larger concerts to bring in semi-trucks that serve as the stage and lighting. Space for this should accommodate semi-trucks.
 - ADP wouldn't need a second event tent; ask Showdown or another vendor if it's needed.
 - Power in the Park
 - One problem in the park is the power. Sometimes the power works, other times not.
 - It is needed to have electrical outlets on different circuits.
 - The design team is working with RSA on electrical and will be involved in the design.
 - ADP has a key; it's important to consider how the power is secured.
 - Surfacing
 - The current design is a large amount of concrete, and it looks very gloomy. How can it look nice even when it's not full of people?
 - The plaza will need a surface rating that can support food trucks.
 - Currently, burn barrels are placed on top of cinder blocks; however, after the event, they are hot and can't be moved right away and need to be left overnight. Then they are used and moved.
 - Locked storage for the Park
 - Having locked storage within the park could be beneficial for a seasonal event tent, burn barrels, corn hole, giant Jenga, or other easy activation equipment for community use.
 - Consider including a Holiday Tree in the design.
- ACDA
 - Friends of Waterfront Park in Seattle - past donor bricks were transformed into a temporary installation of locks on a fence as a temporary installation.
 - Artistic Lighting

- LED Strip Lighting: Install solar-powered or low-energy LED strips to outline concrete edges, benches, or paths. Artistic Light Sculptures: Use light-based public art to transform gray surfaces into glowing features.
 - Since we do not have dependable winters for ice projects, artistic light sculptures might be the answer
 - The design could include these bigger ideas as a comprehensive plan.
 - PAC ADA/valet/drop-off zone
 - The design is setting aside space for this in the future.
 - Need to talk to DOT, because 5th and 6th are currently DOT roads.
 - MOA is working to reclassify 5th and 6th to MOA. The project team is in contact with DOT ROW.
 - Unfortunately, it is past the cutoff to include this project on the AMATS funding that would have needed to go through a TIP.
 - It could still be included in a road bond.
 -
- Downtown Wayfinding Coordination
 - Have the design complement other downtown elements, including Indigenous patterning, colors, and themes.
- Favorite Public ART
 - Denver Bear – Beth
 - Dublin Spire – Lucy
 - Maman Sculpture - Giant Spider in Otta - Oona
 - Guggenheim Bilbao, Spain, Puppy 1992

Town Square Park 2026 Implementation

Individual Stakeholder Meeting – Sherri Gould, Santos

Date: Wednesday, June 11, 2025

Time: 9:00 am- 9:30 am

Location: Teams

Attendees: Oona Martin & Loren Becia – The Boutet Company, Lucy Wittlinger – Huddle, Taylor Keegan – MOA Parks, Sherri Gould - Santos

Meeting Summary

Project team members met with Sherri Gould from Santos to discuss the design of Town Square Park (TSP) in relation to downtown.

- Major concerns pertain to public safety, lighting, cameras, and the need for law enforcement.
- Love flowers and summer events to help address concerns about homelessness.
- Addressing ADA access to the PAC would be important.
 - The F Street Market space would allow for a market space and a second stage area for larger concerts and productions. Secondly, this space could allow for a future drop-off zone for the PAC.
- Working with APD to understand more about how to keep the space safe for the public.
- Creating better sightlines into the park to increase visibility into the park and reducing the height of the mounds to also increase visibility.
- Enjoy the winter activities and lighting.
- Working with Conoco Phillips to help with the park's safety. Is there anything else Santos can be doing to help in the effort to make this a successful project?
 - Increasing movement in and around the park.
 - Possible lunchtime food trucks or other daytime activities.
 - Does the park have picnic tables? Only the concrete seat walls.
 - It would be a great place to sit outside and have lunch.
 - Summer Activation Events
 - Tuesday – Biker Buddies
 - Wednesday – Fresh Market
 - Thursday – Live at Five
 - Friday – Night Market

Town Square Park 2026 Implementation

Showdown

Date: Tuesday, June 17, 2025

Time: 1:00 pm- 2:00 pm

Location: 300 Latouche St, Anchorage, AK 99501

Attendees: Natalie Treadwell, Raymond Flores, Hellen Fleming – Showdown Alaska; Susan Schneider – Willawaw; Oona Martin & Loren Becia – The Boutet Company; Lucy Wittlinger – Huddle; Taylor Keegan – MOA Parks; Lilly Horning – RSA

Meeting Summary

Project team members met with Showdown to learn more about their operations of concert production in relation to the Town Square Park Implementation

- Public safety, increase sight lines, keep it programmed to keep it safe
- Engineering is looking into options to remove the vault from the fountain to reduce the height of the mound in that location.
- Showdown
 - The current Stage 1 area was used for the tech crew at the last concert. Normally, 100' is needed from the stage. Space to accommodate a 10'x15' tent for tech is needed.
 - Consider ADA access for the park. The ADA accessible area was located on the south side of the park. It worked okay, but the grass in the park made it difficult to designate an area.
 - For larger venues, Showdown rents a Stage Line (SL) trailer. It was located on the west side of the park near the PAC; however, it was difficult to position it between the concrete planter walls. could not get it closer to the PAC – not enough clearance.
 - Need 40' stage
 - 32' long (40' with hitch) by 28' wide by 5' tall
 - 20' from PAC to meet fire code
- Hellen
 - Would like to see it host more events
 - The greenery/flowerbeds were fenced off to protect them from concert goers; however, if the design could show framing and fencing for protection, that would be a benefit.
 - Showdown used stakes and snow fencing around flowerbeds.
 - Reliable electricity is needed on E Street for the office, food, and vendors.
 - Consider adding water access for a water bottle filling station.
 - The park needs a better solution for garbage and recycling.
 - Showdown was happy with the tree removal because it opened up more sight lines in the park.
 - Would like to see grades reduced
 - The current stage area has a 6' drop, which was a safety hazard. Showdown used it for their tech area; however, Showdown would like to see the park designed safely.
 - The park could have better vendor access.
- What is needed for power?

- Showdown brings in larger generators for concerts; however, electricity is needed for vendors.
 - 50 amp circuits
 - 20, 30, 100 amp
 - Showdown is not aware of the power draw used for the concrete because they use the generators. 80k power generation
- Messaging for Park events can be difficult. Showdown suggested including a digital sign on the corner of E St and 5th Street. It could be used for events going on in the city, or at the park, or PAC.
- How is the project's relationship with PAC? Are there improvements planned for the PAC to build balconies?
 - Showdown used the PAC as a green room for their concert, hoping the relationship could grow. The PAC bathrooms were used for VIP access.
- Stages
 - Setting up a smaller stage, such as a clamshell, is not preferred because it takes hours of work and labor. Showdown prefers to use the Stage Lines (SL) truck stages.
 - Showdown likes the SL because they are flexible and have a stage face
 - Max site SL 40'x 30' trailer, 42'x35' stager
 - Wouldn't want trailers side by side
- Performance Size
 - The Nelly performance on July 13th is estimated to accommodate 4,500 people, which is the maximum for production.
 - Showdown doesn't find that doing larger concerts works well during the summer because of the cost of accommodation in Anchorage.
- Setup
 - Start Thursday night with fencing the park, and complete Friday morning with privacy screens
 - Friday, the trailer stage was brought in, and by Saturday at 1:00 am, everything was taken down.
- Concert Experience
 - Concert guests didn't know they could stand on the back side of the mounds, which restricted the amount of usable space for the concert goers.
 - Conceptually, Showdown likes the line of sight of the current design for safety and emergency exiting.
 - The park is less windy than having concerts on F Street because of the tunneling effect. And the sun exposure in the park worked well, having the stage on the west side.
- The summer 2026 park will be closed
 - Construction start date anticipated to be mid-May once load restrictions are lifted
 - Probably not possible to do events before or after
- Showdown would like to be involved in the Cuddy Park Master Plan process
 - To do: add Natalie to the Cuddy Park stakeholder group
- Update on cameras
 - Permits were received, and the cameras will face into the park from the perimeters of 5th, F, E, and 6th
 - Cameras will be controlled by APD

Town Square Park 2026 Implementation

Chris Beck

Date: Wednesday, July 16, 2025

Time: 2:00 pm- 3:00 pm

Location: Teams

Attendees: Chris Beck; Oona Martin – The Boutet Company; Lucy Wittlinger – Huddle

Meeting Summary

Project team members Lucy and Oona met with Chris Beck, former owner of Agnew::Beck, to learn more about the Town Square Park Implementation.

- Chris has a landscape architecture and urban design degree from Berkley.
- He cares about the project being successful and wants to create a meaningful space for Anchorage.
- Is there a deadline for the 35% design comments?
 - Include a comments deadline for the 35% Design.
- Schedule a meeting to meet in person, or we can add Chris to the Master Plan Working Group.
- Suggests adding soft structures on the northern perimeter of the park to allow for activation of more permanent food carts with utilities and seating. Having covered outdoor seating with southern exposure.
- Being able to see through the park with a central focal point. It leads to people feeling safe to enter and being drawn into the park. Reducing the height of the berms to create a more inviting space.
- Not including The Kobuk is a missed opportunity.

Town Square Park 2026 Implementation

Individual Stakeholder Meeting – The Kobuk

Date: Friday, August 1, 2025

Time: 8:30 am- 9:30 am

Location: Huddle AK

Attendees: Oona Martin – The Boutet Company, Lucy Wittlinger – Huddle, Deborah Bonito – The Kobuk

Meeting Summary

Project team members met with Deborah Bonito of The Kobuk to discuss the design of Town Square Park (TSP) as it relates to The Kobuk.

The Kobuk is exploring a potential expansion that would introduce street-level retail with residential units above. Throughout various stakeholder meetings, there has been a consistent call for enhanced access to food and beverage vendors near the park, accompanied by inviting seating options.

To align with this community feedback, the project team is considering design modifications that would improve connectivity between The Kobuk and the adjacent park space. One key concept involves opening up the western façade of The Kobuk to create a seamless link between the retail area and the park's children's play zone. This approach aims to support pedestrian flow and activate the park edge.

Design considerations emphasize avoiding large landforms or dense tree groupings that could obstruct visibility or accessibility. Instead, the focus is on creating an open, welcoming interface that encourages public use and enhances the vibrancy of both the retail expansion and the park.

Town Square Park – 2026 Implementation

Biker Buddies – 35% Design Review

Tuesday, July 22, 2025

10:00 am – 12:00 pm

Town Square Park

Summary:

The Town Square Park 2026 Implementation project team, Oona Martin with The Boutet Company, Lucy Wittlinger with Huddle AK, and stakeholder volunteer Nina Bonito Romine attending the Downtown Biker Buddies event in Town Square Park. The project members were available for the public to review, ask questions, and provide comments on the 35% Design Concept.

They arrived at 9:30 am to set up and provide large-format plots of the 35% Design, supporting images, and the original master plan concept. Additional materials included the project fact sheet, comment forms, a project sign-up form, and an 11x17 double-sided handout of the 35% design with supporting images.

The project team interacted with a small number of people; approximately seven (7) individuals stopped to learn more about the project. No formal comments were submitted, and no one signed up for e-newsletter updates. The project team distributed copies of the plan and fact sheet, and the following comments were recorded by the project team.

Comments:

- What is being done about the homelessness issue? Will there be an area of the park dedicated to homelessness?
- Integrate The Kobuk into the park for outdoor seating and dining.
- Will more seating be incorporated into the park?
- Will restrooms be incorporated into the design?
- Like the ideas of providing a lawn with seating areas.
- What will the playful area look like?

TOWN SQUARE PARK

544 WEST 5TH AVE.

ANCHORAGE PARKS AND RECREATION

BIKER BUDDIES

Join Anchorage Parks and Recreation for Biker Buddies at Town Square Park! This fun, outdoor drop-in program is for 3 to 5-year-olds to build confidence on balance bikes and practice skills on playful courses at their own pace!

TUESDAYS
JUNE 3-JULY 29

10 AM - 1 PM

FREE
AGES 3 - 5



LEARN MORE:
WWW.MUNI.ORG/PARKS

Town Square Park – 2026 Implementation

Live After Five – 35% Design Review

Thursday, July 24, 2025

5:00 pm – 8:00 pm

Town Square Park

Summary:

The Town Square Park 2026 Implementation project team, Oona Martin with The Boutet Company, Tanya Hickok with PM&E, Taylor Keegan with Parks and Recreation, Lucy Wittlinger with Huddle AK, and stakeholder volunteer Radhika Krishna attended the Anchorage Downtown Partnership Live After Five Concert in Town Square Park. The project members were available for the public to review, ask questions, and provide comments on the 35% Design Concept.

They arrived at 4:30 pm to set up and provide large-format plots of the 35% Design, supporting images, and the original master plan concept. Additional materials included the project fact sheet, comment forms, a project sign-up form, and an 11x17 double-sided handout of the 35% design with supporting images.

The project team interacted with a number of people; approximately seven (25) individuals stopped to learn more about the project. No formal comments were submitted, and no one signed up for e-newsletter updates. The project team distributed copies of the plan and fact sheet, and the following comments were recorded by the project team.

Comments:

- Brad Erickson, Northern Lights, Sound & Video / Erickson Productions
 - Possibly serves on the Downtown Partnership board.
 - Along with his business partner, Eric Lizer, he is producing the Switchfoot concert in Town Square on Saturday, July 26.
 - Eric recently reached out via email to you and Radhika regarding power requirements for their temporary stage (a smaller version of the SL260 used by Showdown).
 - Both Brad and Eric expressed interest in being included in the Town Square design conversations, especially to share their operational experiences in the park.
 - Brad requested to be added to the project update distribution list
- Amanda Thompson, Local Artist
 - Advocates for increased visibility and opportunities for local artists within the park.
 - Suggestions include:
 - Artist residencies and retail opportunities tailored to the financial realities of working artists.
 - Ensuring the inclusion of underrepresented voices, beyond developers and political stakeholders.
 - Drawing inspiration from Balboa Park in San Diego for art-forward park programming.
 - Reviewing the Girdwood Arts Council's proposal to Project Anchorage for establishing an Arts District as a model.
 - Stressed that artist contributions are vital to successful events (citing examples like live music and balloon artists).

- Advocates for long-term, stable support for the arts, immune to political shifts.
 - Provided a business card and asked to be included in future updates.
- Ed Frank, Facilities Maintenance, Municipality of Anchorage
 - Has valuable legacy knowledge regarding winterization of the park.
 - Shared names of colleagues for technical consultation on winterization (noted on sticky).
 - Recommended consulting with Colton Irrigation for insights on the park's irrigation system.
- Kris, Anchorage Downtown Partnership
 - Suggested connecting with Lucy, a sound engineer involved in event productions, to get feedback on community stage height and technical needs.
- Other Comments Received
 - A regular attendee of park music events expressed general support for the proposed improvements. They also emphasized the importance of retaining names on donor bricks in any redesign.
 - Unnamed woman: Why did they fence off the park when the trees came down? Why did they paint over everything? If it hadn't been fenced off, people would have chained themselves to the trees.
 - Unnamed woman: Is this a done deal? Is this already in the budget? Did we already vote to support this? When was the fountain demolished? (A. 2014) Seems too soon to be making changes again already.
 - Unnamed man: supportive of the plans to make it safer by removing the hills so we can see better. (doesn't generally feel safe downtown at night, daytime is ok).
 - Unnamed man: supportive of the plans in general, likes the events in the park.
 - The park should be designed as an amphitheater for a better concert experience, and there needs to be more seating in the park.
 - Local artist Ziggy expressed his frustration over the park being painted grey. He became very angry towards the project team members, and park security needed to be called.
 - Leaving the event, one of the musicians mentioned that there may be concerns over lowering the stage height by some – unclear where this comment is coming from.

Town Square Park – 2026 Implementation

Friday Night Market – 35% Design Review

Friday, August 1, 2025

5:00 pm – 8:30 pm

Town Square Park

Summary:

The Town Square Park 2026 Implementation project team, Oona Martin with The Boutet Company, and Lucy Wittlinger with Huddle AK, attended the Friday Night Market in Town Square Park on Friday, August 1st. The project members were available for the public to review, ask questions, and provide comments on the 35% Design Concept.

They arrived at 4:30 pm to set up and provided large-format plots of the 35% Design, supporting images, and the original master plan concept. Additional materials included the project fact sheet, comment forms, a project sign-up form, and an 11x17 double-sided handout of the 35% design with supporting images.

The project team interacted with many people; approximately seventy-five (75) individuals stopped to learn more about the project. One formal comment was submitted, and no one signed up for e-newsletter updates. The project team distributed copies of the plan and fact sheet, and the following comments were recorded by the project team.

Comments:

Below is a summary of comments collected verbally from community members during the event.

Key Safety Concerns

- Pedestrian Safety: Multiple attendees expressed that the park isn't currently safe to walk through.
 - Specific hazard: damaged metal grates on 5th and 6th Avenues that can cause trips (page 1, 6). Anecdote: A stroller nearly tipped over on a grate near the Captain Cook Hotel.
- Security Issues: Calls for more security to assist with homeless-related safety concerns.

Design Suggestions

- More colorful structures; avoid gray tones.
- Cleaner, brighter, and more welcoming atmosphere, especially for families and kids.
- Increase the presence of public art, sculptures, and interactive art installations.
- Consider a permanent tent at the stage for year-round events.
- Dedicated space for fire-related elements.
- Keep the ice-skating rink in winter.
- Real playground similar to Russian Jack Park, playful for all ages. Include play features like boulders.
- Consider ice sculpture installations, which aren't ice, but resemble ice that can be lit throughout the winter months.

Event & Activation Ideas

- More frequent markets like the Friday Night Market.
- Live music and dedicated dancing space.
- “Live After 5”-style events.
- Support for tourism as a key part of downtown vibrancy.
- Regular events such as run fests, Tuesday night races, and activation programming.
- Consider the question – why am I visiting the park if there is no event on? What will I do?

Infrastructure & Amenities

- Food & Seating:
 - Picnic tables and chairs for eating lunch, not necessarily from a café, but including lunch brought from home.
 - Designated spaces for food trucks.
- Nature Features:
 - Flower beds, Zen areas, and attractive landscaping.
- Bike & Transit:
 - Secured bike parking/storage (mentioned multiple times).
 - Downtown wayfinding for biking and parking.
- Parking: A persistent challenge raised by several attendees.

Connections & Integration

- Better direct connections to nearby businesses like The Kobuk for delicious donuts.
- Coordination with surrounding spaces, such as Easy Park, for secured bike parking.
- Integration with new downtown developments, e.g., the new library.

COMMENT

How does redesign exist with new downtown library?

Public Engagement: Lucy Wittlinger, PLA, Huddle



Town Square Park 2026 Implementation

Community Open House – Preliminary Design Review

Tuesday, September 9, 2025, 5 PM – 8 PM

City Hall – Room 155, Anchorage, AK 99501

Project Team Attendees

The Boutet Company – Oona Martin, Loren Becia

Parks and Recreation – Taylor Keegan

MOA PM&E – Tanya Hong

RSA Engineering – Lilly Horning

Huddle AK – Lucy Wittlinger, Peyton Going

Summary

Upon arrival, attendees were welcomed and asked to sign in. They were invited to pick up a fact sheet and a comment sheet before walking through the room to review the informational boards. Members of the project team were stationed throughout the space to answer questions and engage in discussion.

The boards presented details on the 65% preliminary design of the park, including anticipated phasing, design elements, and guiding principles. Additional topics highlighted included support for various activities, seasonality and lighting, frequently asked questions, and iconic and memorable design elements.

A total of 10 members of the public attended the open house.

Comment Summary

Participants were encouraged to submit written comments. The following is a summary of comments received and recorded during the Open House.

Accessibility & Drop-Off Access

- Concern about Alaska Center for the Performing Arts (ACPA) access: Attendees emphasized the need for a safe and convenient drop-off area for ACPA patrons, especially for those with mobility challenges.
- Example shared: Caregivers for patrons in wheelchairs currently must pull onto the pavement at the main doors to ensure safe drop-off before parking.
- Recommendation: Incorporate designated drop-off access in the park design to support accessibility.

Safety & Security

- Multiple comments noted that Town Square currently feels unsafe, with groups congregating in ways that discourage use.
- Recommendation: Ensure that security measures and design strategies are integrated to make the park safe and welcoming for ACPA patrons and other downtown visitors.

Vegetation & Tree Species

- Community members asked that tree species be carefully selected:
 - Avoid trees that are messy, drop fruit, or seeds that could create hazards or require excess maintenance.
 - Preference for species that contribute to a clean, attractive, and inviting park environment.

Design & Aesthetic Features

- Strong interest in incorporating unique and engaging design elements into the park:
 - Lighting and glow elements create a safe and vibrant atmosphere at night.
 - Public art and sculptures are integrated into the design to strengthen identity.
 - Attendees suggested moving away from overused fish motifs in Anchorage landscaping. Instead, incorporate other local icons such as bears or beluga whales to celebrate Alaska's cultural and natural heritage.
 - Other sculptural element suggestions were made, including that of referencing Marvel comics or other popular crowd-gathering items. The design company Creative Machines was referenced.
 - Vendor space should be oriented towards the park and not 5th Avenue.
 - There is a strong need/desire for a central feature that will draw people into the park from each corner entrance.

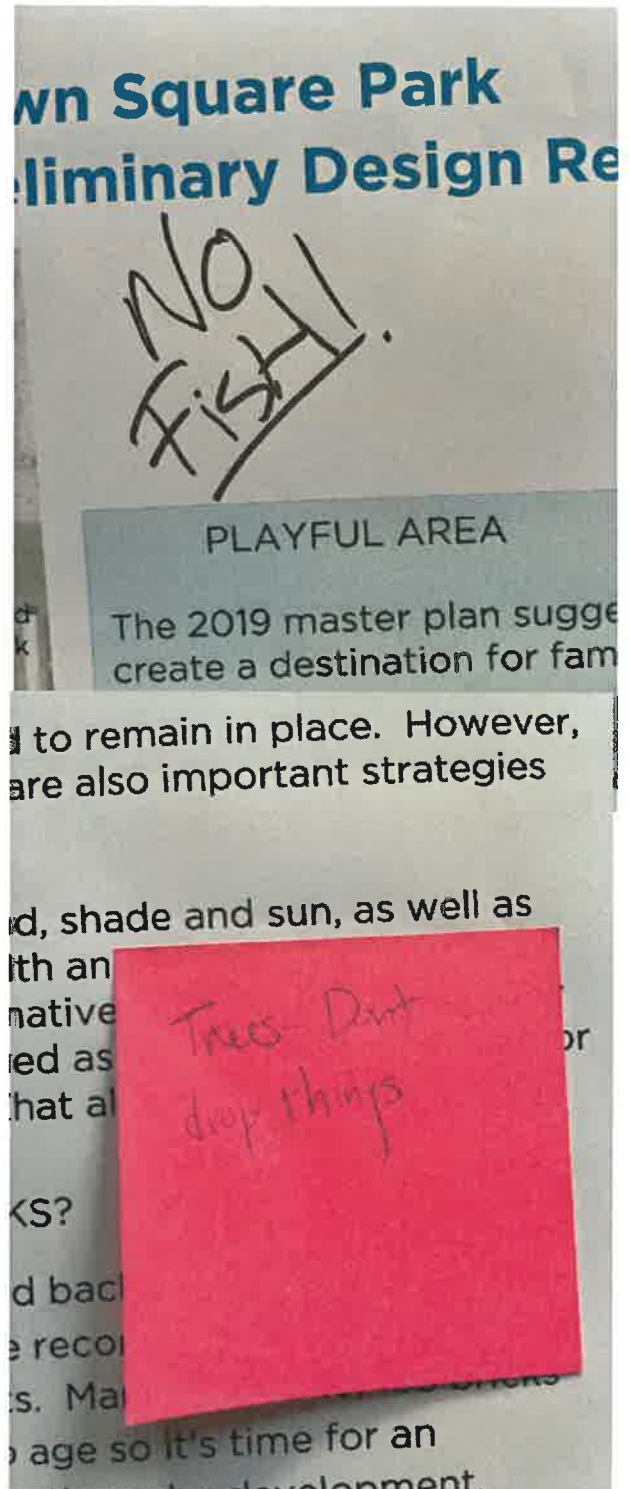
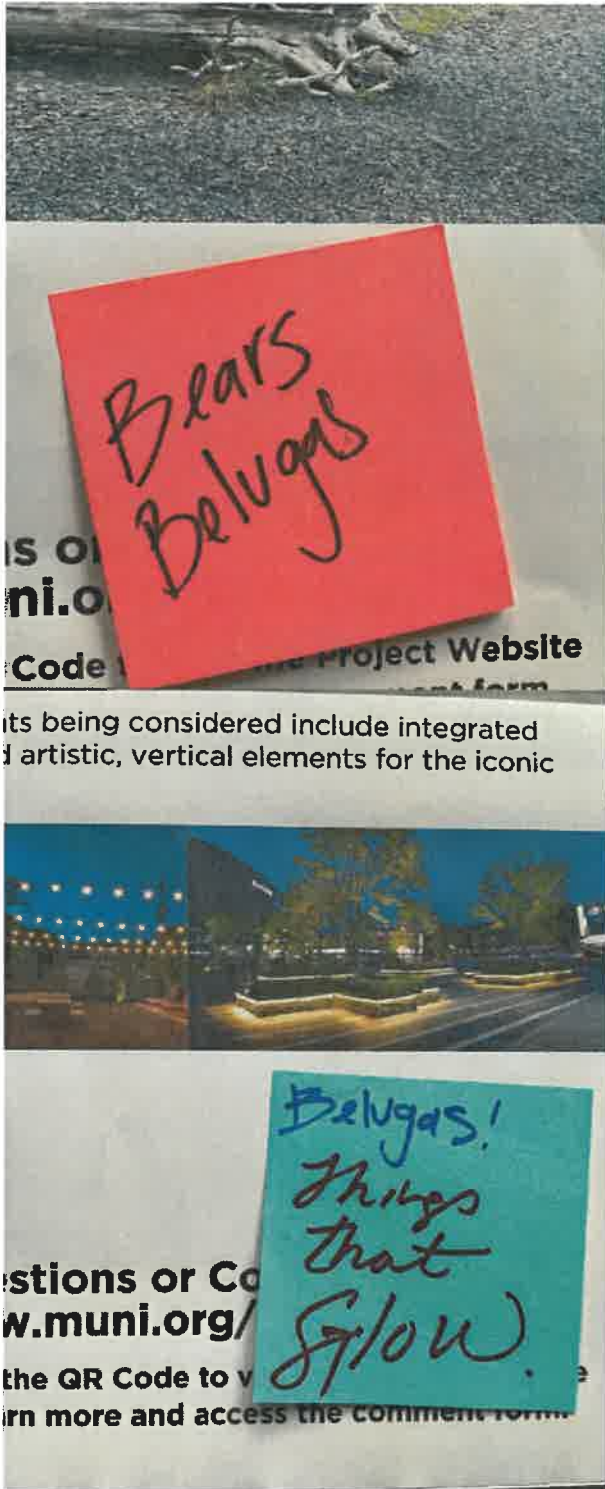
OPEN HOUSE







PUBLIC COMMENTS



Town Square Park Implementation COMMUNITY OPEN HOUSE - PROJECT SIGN UP

DATE & TIME: Tuesday, September 9, 2025, 5:00 pm - 8:00 pm

LOCATION: City Hall, Room 155

[illegible]

Town Square Park Implementation

COMMENT FORM

NAME	Nancy Boardman
ORGANIZATION	Volunteers - APAC
EMAIL	
PHONE	
DATE	9/9/25

COMMENT
I am disappointed that drop off access for patrons to the ACPA is not included at this time. I have volunteered at the APAC for over 10 years and can attest to how difficult it is for persons with disabilities to park and walk to the PAC. I've also been a caregiver to my husband who had mobility issues - he needed to be dropped off and the only option I had was to drive up on the pavement in front of the main door in order to drop him off, get him safely into the APAC and then go park the car.
I also would like to learn more about security. Currently, people are congregating in Town Square and making it inhospitable and unsafe to APAC patrons and other downtown visitors.

Please submit this comment form to any member of the project team or send to:
Huddle AK, 605 W. 2nd Avenue, Anchorage, AK 99501
Email: lucy@huddleak.com | 907-215-8516
Public Engagement: Lucy Wittlinger, PLA, Huddle

Preliminary Design Review

TOWN SQUARE PARK

OPEN HOUSE

More than a park, Town Square Park is a catalyst for the development of Downtown Anchorage's commerce and cultural exchange.

PROJECT OVERVIEW

In 2019, following two years of public involvement and plan development, the Town Square Park Master Plan was approved by the Planning and Zoning Commission. The master plan provides a 20-year vision that seeks to address issues, prioritize improvements, and identify strategies to ensure that Town

Square Park is a safe and thriving public space for all.

From 2023 to the present, the Parks and Recreation Department has been working to improve safety within the park through event activation, lighting upgrades, and improving sight lines into the park.

PARK VISION

"Town Square Park is a safe and welcoming destination in the heart of downtown Anchorage where residents and visitors gather year-round for celebration, socializing, cultural exchange and community building."



Preliminary Design Review

TOWN SQUARE PARK

OPEN HOUSE

PROJECT TIMELINE

APRIL 2025

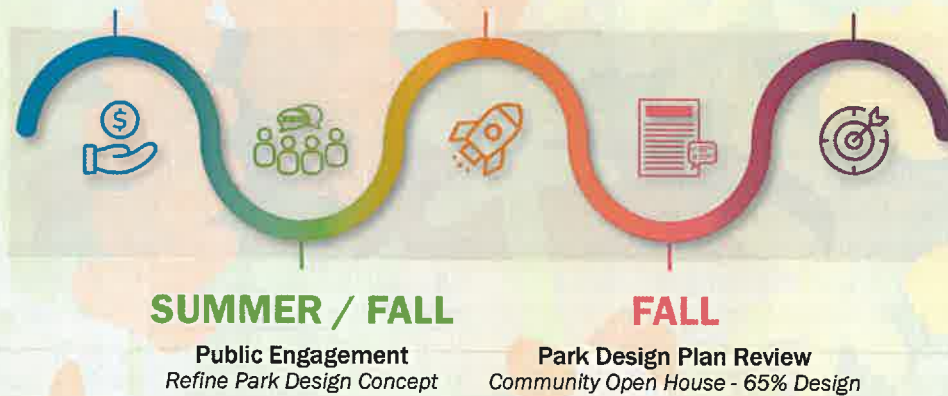
PARK BOND PASSES!
Town Square Park receives \$2.9M

SUMMER

Park Activation Events
Concerts, Markets, & More!

SUMMER 2026

IMPLEMENTATION
Construction Begins

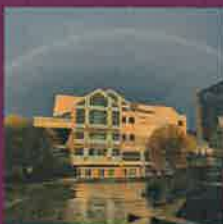


GUIDING PRINCIPLES

Improve the relationship of the park to surroundings



Incorporate an iconic feature



Activate the Park with programming & events



Improve access, circulation, and connectivity



Create a Park for all seasons



Improve safety and security



Manage the Park as an important asset



Flowers and green space are a valued asset



Provide amenities to support use



Promote a strong identity and sense of purpose



Preliminary Design Review TOWN SQUARE PARK OPEN HOUSE

GET INVOLVED!



Follow project updates via:

E-Newsletters
Social Media
Project Website



Attend Upcoming Events:

Visit the project website for a full list of upcoming events

**FOR MORE
INFORMATION**

Scan the QR code or visit:
www.muni.org/parks



PROJECT CONTACTS

Tanya Hong, P.E., Project Manager
tanya.s.hong@anchorageak.gov

Lucy Wittlinger, Public Engagement
lucy@huddleak.com

Town Square Park 2026 Implementation



YOU'RE INVITED!

**Town Square Park
Community Open House**

**Tuesday, September 9th,
5:00 pm - 8:00 pm
at City Hall, Room 155**

Join the project team to review
the **Preliminary Design Concept** for
the Redesign of Town Square Park!



Town Square Park 2026 Implementation



Park VISION

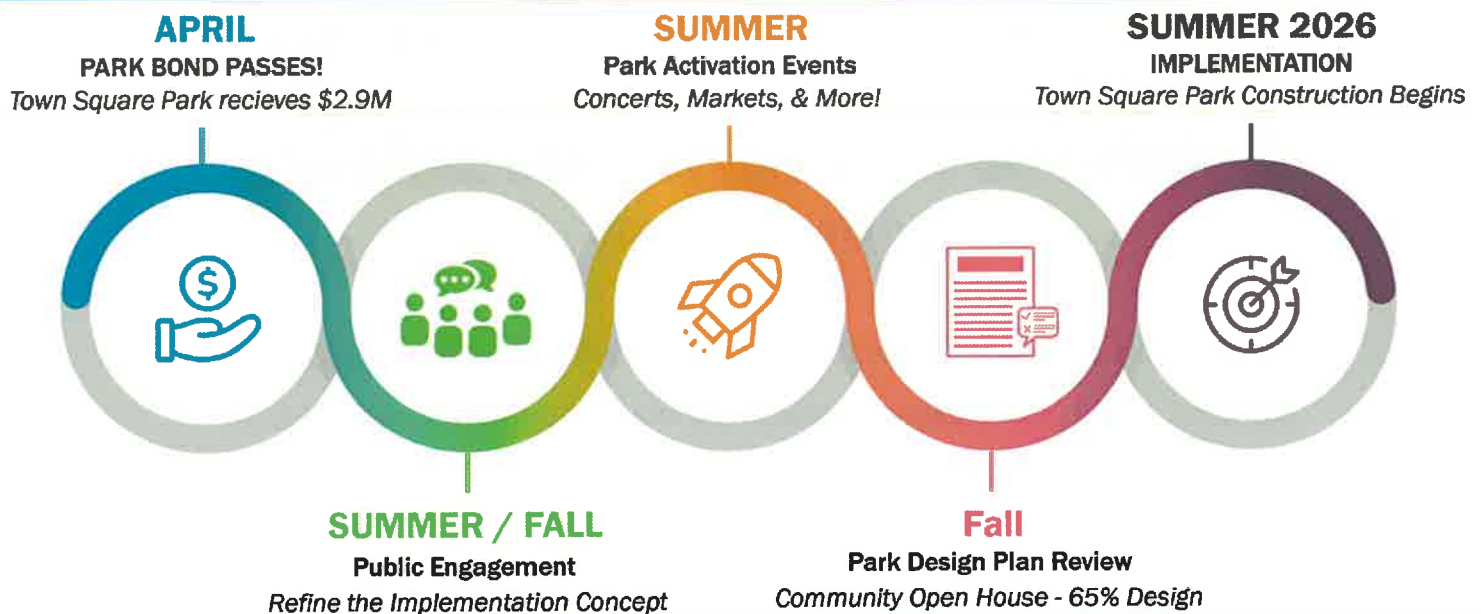
“Town Square Park is a safe and welcoming destination in the heart of downtown Anchorage where residents and visitors gather year-round for celebration, socializing, cultural exchange and community building.”

Project Background and Goal

In 2019, following two years of public involvement and plan development, the Town Square Park Master Plan was approved by the Planning and Zoning Commission. The master plan provides a 20-year vision that seeks to address issues, prioritize improvements, and identify strategies to ensure that Town Square Park is a safe and thriving public space for all.

In 2025, the proposed bond of \$2.9 million was passed for the implementation of the master plan. The efforts moving forward will incorporate the goals expressed in the master plan document alongside historical, current, and future context and budgetary considerations.

Project Timeline



Questions about the implementation plan?

SCAN the QR Code to visit the Project Website to learn more



For information on Park Activation Events happening this summer, visit:
www.muni.org/parks

Public Engagement

Lucy Wittlinger, Huddle AK | 907-215-8516



From: [Lucy Wittlinger - Huddle AK](#)
To: [Lucy Wittlinger](#)
Subject: Town Square Park 35% Design Concept Review
Date: Thursday, July 31, 2025 11:01:53 AM

[View this email in your browser](#)



Town Square Park 35% Design Concept Review

**The Town Square Park - 2026 Implementation
35% Design Concept is available on the project
website for the community to review and provide
public comment.**

Please visit the [website](#) for a downloadable PDF of the [35% Design Concept](#), comments can be submitted via the [on-line comment form](#) or emailed to lucy@huddleak.com

Project documents available for review and download:

[35% Design Concept \(July 2025\)](#)

[Park Bond Design Concept \(April 2025\)](#)

[Project Fact Sheet](#)

[Town Square Park Master Plan \(May 2019\)](#)

Project Schedule



Upcoming Events

Friday Night Market - Tabling Event

Friday, August 1, 2025, 5:00 pm - 8:30 pm at Town Square Park

Downtown Community Council Meeting #2

Wednesday, September 3, 2025, 5:30 pm - 8:30 pm
City Hall, Room 155, Anchorage, AK 99501

Community Open House 65% Design Review Draft

Tuesday, September 9, 2025, 5:00 pm - 8:00 pm

Past Events

Live After Five - Project Tabling Event

Thursday, July 24, 2025, 5:00 pm - 8:00 pm

Biker Buddies - Project Tabling Event

Tuesday, July 22, 2025, 10:00 am - 12:00 pm

Stakeholder Advisory Group Meetings #1 & #2

Monday, April 21, 2025 & Tuesday, July 14, 2025

Master Plan Working Group Meetings #1 & #2
Wednesday, April 30, 2025 & Tuesday, July 22, 2025

Downtown Community Council Meeting #1
Wednesday, May 7, 2025, 5:30 pm - 8:30 pm
City Hall, Room 155, Anchorage, AK 99501

[Project Website](#)

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To: [Lucy Wittlinger](#)
Subject: Town Square Park - Community Open House Invitation!
Date: Wednesday, August 27, 2025 1:55:39 PM

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Town Square Park 2026 Implementation



YOU'RE INVITED!

Town Square Park Community Open House

**Join the project team to review the
Preliminary Design Concept for the
Redesign of Town Square Park.**

**Tuesday, September 9th, 5:00 pm - 8:00 pm
at City Hall, Room 155.**

Please visit the [website](#) for more information.

Comments can be submitted via the [on-line comment form](#) or
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Project documents available for review and download:

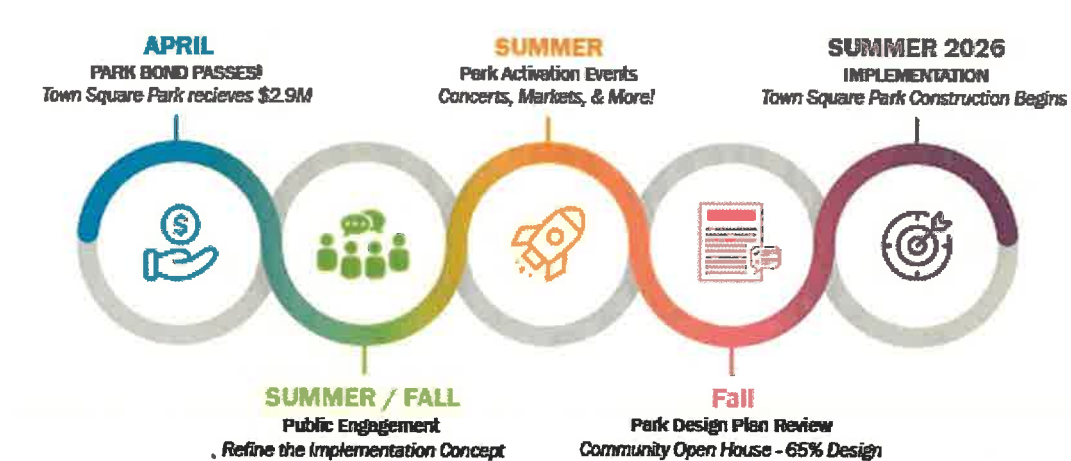
[35% Design Concept \(July 2025\)](#)

[Park Bond Design Concept \(April 2025\)](#)

[Project Fact Sheet](#)

[Town Square Park Master Plan \(May 2019\)](#)

Project Schedule



Upcoming Events

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Wednesday, September 3, 2025, 5:30 pm - 8:30 pm
City Hall, Room 155, Anchorage, AK 99501

Community Open House Preliminary Design Review

Tuesday, September 9, 2025, 5:00 pm - 8:00 pm
City Hall, Room 155, Anchorage, AK 99501

Anchorage Parks and Recreation Commission

Thursday, September 11, 2025, 6:00 pm - 8:00 pm
Spenard Community Recreation Center,
2020 W. 48th Ave, Anchorage, AK 99517

Urban Design Commission - Public Hearing 65% Design

Wednesday, December 10, 2025, 6:30 pm

Loussac Library - Assembly Chambers
3600 Denali Street, Anchorage, AK 99503

Past Events

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City Hall, Room 155, Anchorage, AK 99501

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Subject: Town Square Park - Community Open House Invitation!
Date: Monday, September 8, 2025 12:50:40 PM

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**REMINDER
YOU'RE INVITED!**

Town Square Park Community Open House

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Preliminary Design Concept for the
Redesign of Town Square Park.**

**Tuesday, September 9th, 5:00 pm - 8:00 pm
at City Hall, Room 155.**

Please visit the [website](#) for more information.

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[35% Design Concept \(July 2025\)](#)

[Park Bond Design Concept \(April 2025\)](#)

[Project Fact Sheet](#)

[Town Square Park Master Plan \(May 2019\)](#)

Project Schedule



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Master Plan Working Group Meetings #1 & #2

Wednesday, April 30, 2025 & Tuesday, July 22, 2025

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Wednesday, May 7, 2025, 5:30 pm - 8:30 pm

City Hall, Room 155, Anchorage, AK 99501

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From: [Lucy Wittlinger - Huddle AK](#)
To: [Lucy Wittlinger](#)
Subject: Town Square Park - Preliminary Design Comment Period
Date: Friday, September 12, 2025 2:03:50 PM

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Town Square Park Preliminary Design Comment Period - NOW OPEN

**The Preliminary Design Concept for the
Redesign of Town Square Park
is now available for public comment.**

**Comment Period Closes
Tuesday, October 21, 2025**

Please visit the [website](#) for more information.

Comments can be submitted via the [on-line comment form](#) or
emailed to lucy@huddleak.com

Project documents available for review and download:

[Preliminary Design Concept - FOR REVIEW](#)
[Additional Design Information - FOR REVIEW](#)

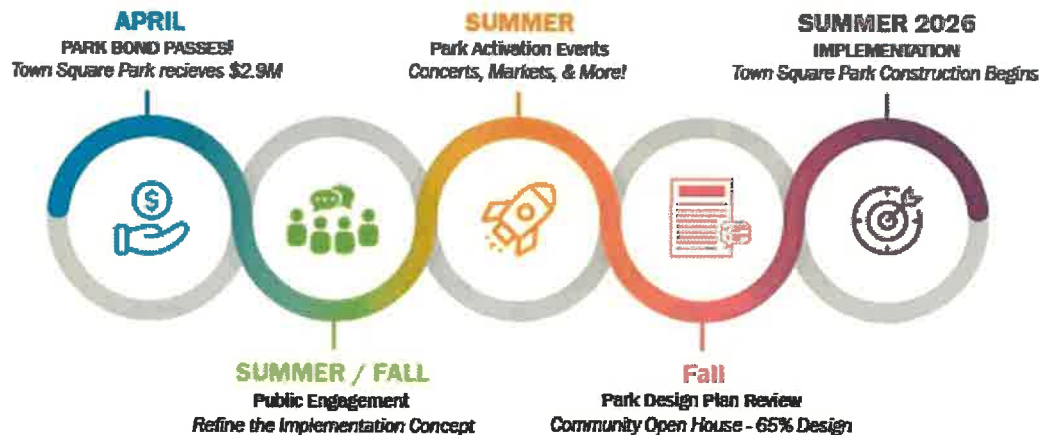
35% Design Concept (July 2025)

Park Bond Design Concept (April 2025)

Town Square Park Master Plan (May 2019)

Project Fact Sheet

Project Schedule



Upcoming Events

Urban Design Commission - Public Hearing 65% Design
Wednesday, December 10, 2025, 6:30 pm
Loussac Library - Assembly Chambers
3600 Denali Street, Anchorage, AK 99503

MAY 2026 - CONSTRUCTION BEGINS

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Get ready Anchorage!

TOWN SQUARE PARK IMPROVEMENTS

Changes are happening thanks to you passing the park bond!

In 2025, the proposed bond of \$2.9 million was passed for the implementation of the Town Square Park Master Plan. The efforts moving forward will seek to ensure that Town Square Park is an active and vibrant space and a hub for downtown activities.

Scan the QR code for more information and ways to get involved!



PROJECT TIMELINE

APRIL 2025

PARK BOND PASSES!
Town Square Park receives \$2.9M

SUMMER

Park Activation Events
Concerts, Markets, & More!

SUMMER 2026

IMPLEMENTATION
Construction Begins



SUMMER / FALL

Public Engagement
Refine Park Design Concept

FALL

Park Design Plan Review
Community Open House - 65% Design

SUMMER 2025 PARK PROGRAMMING



Biker Buddies

Tuesdays

June 3 - July 29, 10 AM - 1PM

Farmers Market

Wednesdays

10 AM - 2PM



Live After Five

Thursdays

May 29 - July 24, 5:30 PM - 8 PM



Summer Night Market

Fridays

June 6 - Aug 29, 5 PM - 8:30 PM
(except June 13 and July 4)



PROJECT CONTACTS

Tanya Hickok, P.E., Project Manager
tanya.s.hickok@anchorageak.gov

Lucy Wittlinger, Public Engagement
lucy@huddleak.com



Anchorage is planning several upgrades to Town Square Park, starting with security cameras

Alaska Public Media | By **Wesley Early**

Published May 15, 2025 at 3:39 PM AKDT



Matt Faubion / Alaska Public Media

Anchorage Town Square Park on Tuesday afternoon, May 13, 2025.

The city of Anchorage is hoping a series of upgrades to Town Square Park will make the area more vibrant and safe for the community.

Anchorage Police Chief Sean Case says in recent years, the park, which sits in the center of downtown, has had a lot of public safety concerns.

"Town Square Park is amongst the higher end of the parks, in terms of the crimes that are being committed there," Case said. "Those numbers have been pretty stabilized over the last several months because we've had a lot of police presence in that park."

But, he said, he wants to eventually drive down crime enough in the area that the



A way he hopes to deter more crime is by installing security cameras.

This month, the Anchorage Assembly approved a purchase order of roughly \$57,000 to buy and install eight security cameras that police will use to monitor the park. While police have used traffic camera footage in the past, Case said these would be the first cameras the department has direct access to, outside of their main properties.

"We're hoping, first and foremost, that this will be a deterrent," Case said. "That some of the activity that is taking place in Town Square Park that's impacting businesses or impacting those that want to use Town Square Park, that that activity will be reduced just by the fact that there's cameras that are operating."

Case said the order is placed for the cameras but he doesn't yet have a date for when they'll be installed.

They're not the only changes coming to the park. In the longer term, voters approved a bond in April for \$2.9 million to pay for a series of upgrades. They include added lighting, making the walkways more accessible and making parts of the park more visible. In an interview, Mayor Suzanne LaFrance said she wants the area to be safe and inviting.

"We want to open it up," LaFrance said. "We want to address public safety concerns around visibility. We want to make it a space where people feel comfortable being in it, where it's easy to activate."

LaFrance said the city is currently in the design phase for the park upgrades, and construction is set to start in summer 2026.

Anchorage



Wesley Early

Wesley Early covers Anchorage at Alaska Public Media. Reach him at

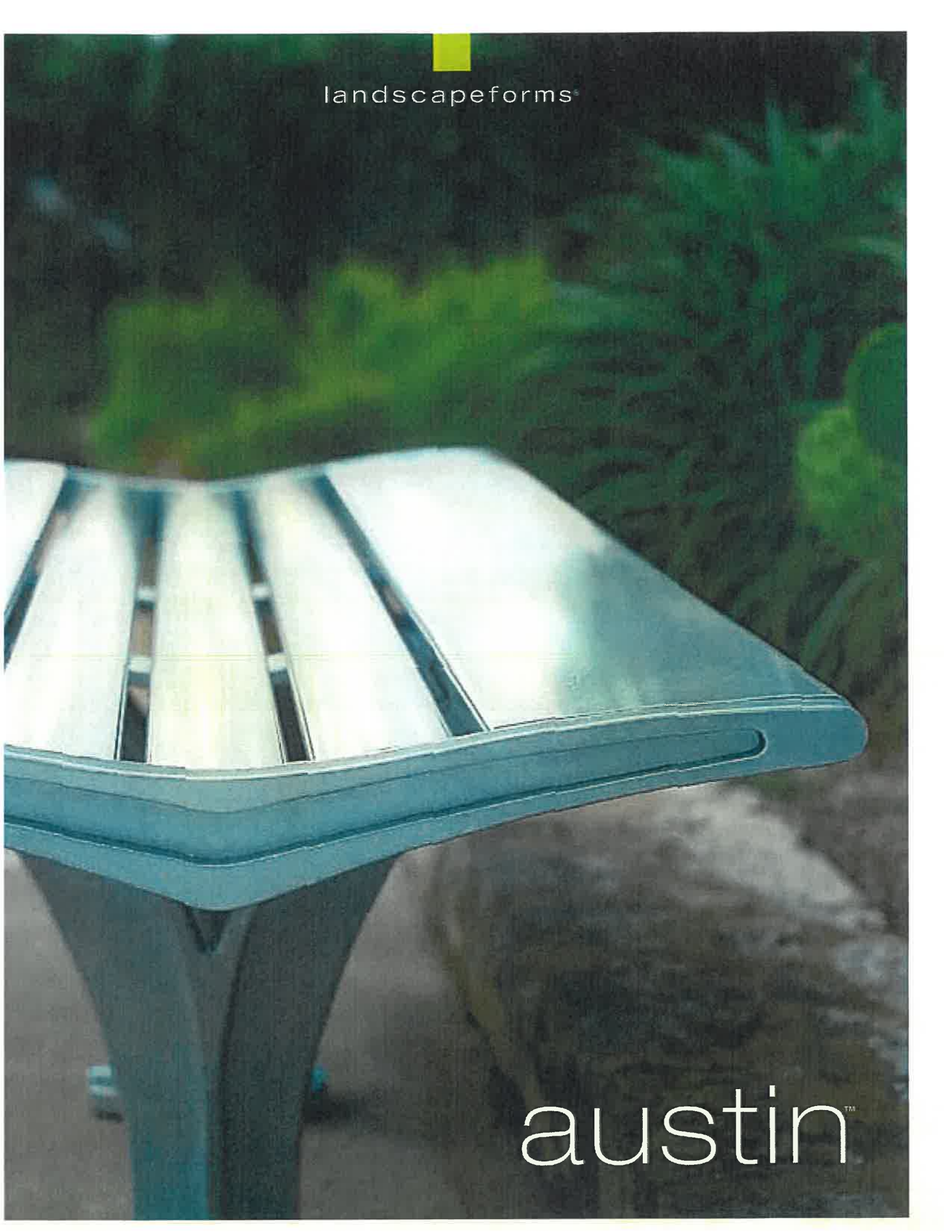


Alaska Public Media / KSKA
Fresh Air

Appendix B

2026 Town Square Park Improvements Project
Application for Major Site Plan Review

Site Furnishing Product Information Sheets



landscapeforms®

austin™





Austin blends modernist inspiration into a new interpretation that's as timely as today.





Very Very Contemporary

The Austin Bench, designed by landscape architect Robert Chipman, is a study in beautiful balance. Inspired by architecture of the 20s and classic modern furniture of the 50s, it expresses familiar themes in thoroughly contemporary terms. Austin balances lightness and substance, is relaxed, yet refined, poised but never boring. The cantilever version is a natural for minimalist spaces, the four-legged version a fine fit within a range of architectural styles. Composed of minimal parts, (just two extrusions create the seat and back in all versions) Austin masters the details, from its tapered slats to the lovely winged shape of its end piece. In aluminum or wood Austin is a high-design solution — and a breath of fresh air — for corporate and healthcare courtyards, atria, small-scale public places, and private retail space.







Sense of Place

We believe in the power of design and its ability to elevate public spaces. Landscape Forms provides great design, integrated product collections, and leading edge technology for creating a sense of place in outdoor environments.

Austin™ Specifications

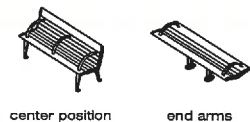
Seat

Austin benches are available in backed or backless, and in a selection of interior and exterior woods, as well as aluminum extruded boards. Unique cantilever style or freestanding/surface mount supports are cast iron.

Cantilever		Freestanding/Surface Mount		
				
backed	backless	backed	backless	
24" x 33" x 72"	22" x 18" x 72"	24" x 33" x 72"	22" x 18" x 72"	d x h x l

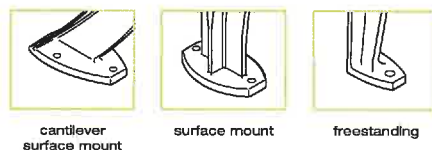
Arm Options

Optional arms may be added to both ends, as well as the center position. Arms are available for either backed or backless benches. All arms are cast aluminum and attached to the seat boards.



Mounting Options

Austin benches with freestanding/surface mount supports ship with glides which may be removed for surface mounting. All cantilever supports must be surface mounted into concrete.



Finishes

Interior woods are finished with Landscape Forms' exclusive LF-80 wood finish, a clear, catalyzed acrylic lacquer. Special stain may be specified for an upcharge.

Exterior woods are unfinished and will weather to a soft pewter gray, requiring no future maintenance.

Metal is finished with Landscape Forms' proprietary Pangard II® polyester powercoat, a hard yet flexible finish that resists rusting, chipping, peeling and fading. Call for standard color chart. A wide array of optional colors may be specified for an upcharge.

To Specify

Select the Austin bench in backed or backless option. Specify surface mount cantilever or freestanding/surface mount support. Specify wood type and/or powdercoat color. Specify number of arms. Benches may be specified in FSC certified woods. Visit landscapeforms.com; click Design Tools, Materials/Colors link for standard offerings, including FSC wood options.

www.landscapeforms.com

Download product photos, brochures, color charts, SketchUp components, technical information, CAD details, CSI specifications, assembly instructions.

Austin is designed by Robert Chipman, ASLA.

Specifications are subject to change without notice.

Austin is manufactured in U.S.A.

Austin meets BIFMA performance and safety standards.

Location photography: Lady Bird Johnson Wildflower Center, Austin, TX

Landscape Forms supports the LAF at the Second Century level.

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Austin may be specified with FSC Certified woods; call for pricing and lead times. Powdercoat finish on metal parts contains no heavy metals, is HAPS-free and has extremely low VOCs. Bench materials are 100% recyclable.

landscapeforms®

800.521.2546 269.381.3455 fax

431 Lawndale Avenue, Kalamazoo, MI 49048

www.landscapeforms.com

Plainwell

landscapeforms

Product Data Sheet



Plainwell, designed by Robert Chipman, ASLA, is both lyrical and robust. The subtle curve of the back and slope of the seat provide comfort. A hefty cast aluminum end frame, wood or aluminum seat and back slats of generous substance and dimension, and stainless steel hardware, provide exceptional strength and durability. Plainwell is manufactured of the finest quality materials to Landscape Forms' demanding standards. While Plainwell has its imitators, they are no match for the original. The choice of discriminating design professionals and clients for nearly a decade, Plainwell consistently performs under the rigors of public use in city parks and streetscapes, shopping centers, mixed use malls, and healthcare environments. A coordinating litter receptacle unifies the esthetic, whatever the setting.

Bench

- The Plainwell bench is available with seats constructed of aluminum or wood.
- The aluminum end frames on the wood bench and the all aluminum bench may be specified with Pangard II® powdercoat in standard colors; optional colors available for an upcharge.
- Available in two lengths, the 72" and 96" bench may both be specified with a center arm.
- The 96" bench may also be specified with 2 intermediate arms, placed at equal intervals.
- Freestanding/surface mount support is standard.

Litter Receptacles

- The Plainwell litter receptacle has a 35-gallon capacity, and includes a black polyethylene liner. Side panels are available in aluminum or a selection of woods.
- Metal parts finished with Pangard II® powdercoat available in standard colors; optional colors available for an upcharge.
- Frame and aluminum side panel may be specified in different colors.
- Rotomolded black polyethylene top is attached by cable to the receptacle.
- Lid available in top opening or side opening styles.
- Freestanding/surface mount support is standard.
- Unit is emptied by lifting bag from top.

	Style	Depth	Width	Height	Product Weight
	72" bench	26"	73"	32"	jarrah: 130 lb alum: 156 lb
	72" bench with center arm	26"	73"	32"	jarrah: 136 lb alum: 162 lb
	96" bench with center arm	26"	97"	32"	jarrah: 171 lb alum: 205 lb
	96" bench with intermediate arms	27"	97"	32"	jarrah: 178 lb alum: 211 lb

	Style	Depth	Height	Product Weight
	top-opening	30"	36"	jarrah: 113 lb alum: 117 lb
	side-opening	30"	45"	jarrah: 114 lb alum: 118 lb

Plainwell

landscapeforms

Product Data Sheet



Finishes

- Interior woods are finished with Landscape Forms' exclusive LF-80 wood finish, a clear, catalyzed acrylic lacquer.
- Exterior woods are unfinished and will weather to a soft pewter gray, requiring no future maintenance.
- Metal is finished with Landscape Forms' proprietary Pangard II® polyester powdercoat, a hard yet flexible finish that resists rusting, chipping, peeling and fading.
- Call for standard color chart.
- A wide array of optional colors may be specified for an upcharge.

To Specify

- Bench: Select Plainwell bench, 72" or 96" length, wood type or aluminum seat and powdercoat color.
- Specify with or without center arm or intermediate arms for 96" bench.
- Litter Receptacle: Select Plainwell litter, top or side opening, wood type or aluminum side panels and powdercoat color.

Designed by Robert Chipman, ASLA

Visit our landscapeforms.com for more information. Specifications are subject to change without notice. Landscape Forms supports the Landscape Architecture Foundation at the Second Century level.
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RING®

Product Data Sheet



A simple circle hovering above ground, provides an artful solution for bicycle storage and security that meets Association of Pedestrian and Bicycle and Professionals (APBP) recommendations. Ring must be embedded. Ring can secure two bicycles parked parallel to the rack. The bicycles can be headed in opposite directions, or in the same direction. The rack provides two- point contact to prevent the bicycle from tipping over. A standard D-shaped bike lock can secure both a wheel and the frame.

Bike Rack

- Capacity: 2 bikes
- Bike racks made of 1.5" o.d., .120" wall stainless steel tubing, with a electropolish finish on bare stainless steel.
- Ring is also available in powdercoated steel.
- Ring must be embedded.
- Ring can secure two bicycles parked parallel to the rack.
- The bicycles can be headed in opposite directions, or in the same direction. The rack provides two- point contact to prevent the bicycle from tipping over.
- A standard D-shaped bike lock can secure both a wheel and the frame.

	STYLE	DEPTH	WIDTH	HEIGHT	PRODUCT WEIGHT
	Ring	1.5'	25"	27"	13 lb

Finishes

- All metal parts are finished with Landscape Forms' proprietary Pangard II® polyester powdercoat, a hard yet flexible finish that resists rusting, chipping, peeling and fading.
- Call for standard color chart.

To Specify

- Select bike rack style. Specify powdercoat color or stainless steel.

Designed by Brian Kane, IDSA

All Landscape Forms bike racks meet guidelines established by the Association of Pedestrian and Bicycle Professionals.

Visit our landscapeforms.com for more information. Specifications are subject to change without notice. Landscape Forms supports the Landscape Architecture Foundation at the Second Century level.
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Product Overview

Date: September 25, 2025

LF Quote #: 449121

Project: Anchorage Town Square Park – Swing Structures and Swings

Quote is based on drawings by Landscape Forms Studio 431 dated: *May 12, 2022*

Quote is based on current market price. Landscape Forms will hold pricing for 60 days. Price is subject to change after this time has expired.

Lead Time:

- Studio 431 custom lead times vary, are dependent on approved submittals, and can range from +/- 7 months.
- Estimated lead times are inclusive of engineered shop drawings, structural engineer's stamp (if applicable), fabrication, and delivery.
- Preliminary lead time is for initial planning purposes only. Upon receipt of purchase order the assigned Studio 431 Project Manager will provide a finalized project schedule.

Inclusions:

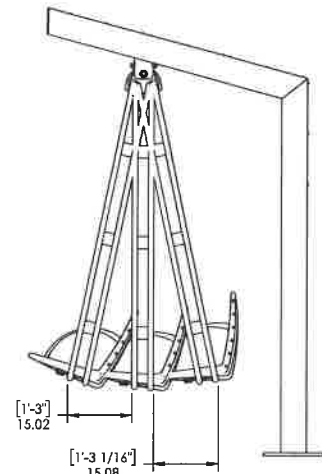
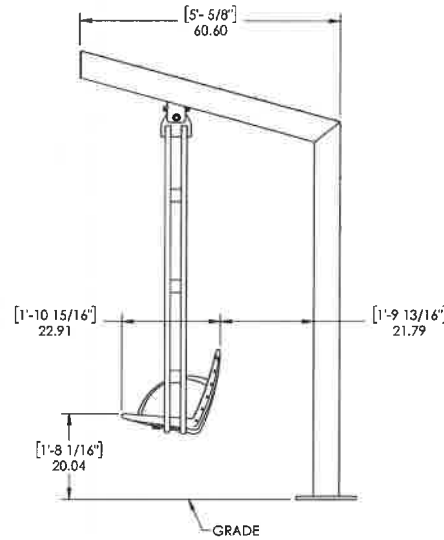
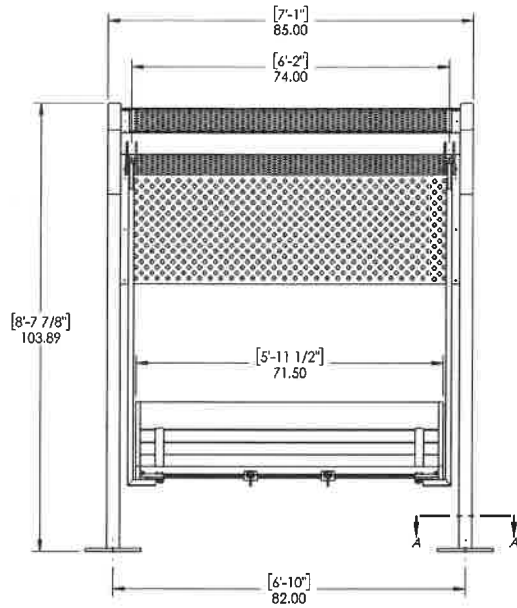
- **Two Post Cantilever Structure with Perforated Metal Roof**
 - Structure:
 - Steel tube at columns and beams
 - Steel plate at base plates and end caps
 - Perforated steel sheet at metal roof
 - Perforation pattern by others, not to exceed 60% open space
 - Powder coated from Landscape Forms standard color offerings, color TBD
 - Hardware: Stainless Steel
 - Notes:
 - Structure will be supplied as a kit of parts to be assembled and installed on site by others.



- **Austin Swing Wood**

- Structure:
 - Steel tube at swing arms
 - Aluminum castings at end frame and armrests
 - Powder coated from Landscape Forms standard color offerings, color TBD
- Hardware: Stainless Steel
 - Includes bearing mechanism with custom swing limiter attachment
- Wood:
 - Non-FSC Ipe or Domestically Sourced Thermally Modified Ash – Nominal 2x4 – Unfinished
 - Boards will be lengthwise orientation, laid flat.
- Notes:
 - Swing will be supplied pre-assembled to be installed on site by others





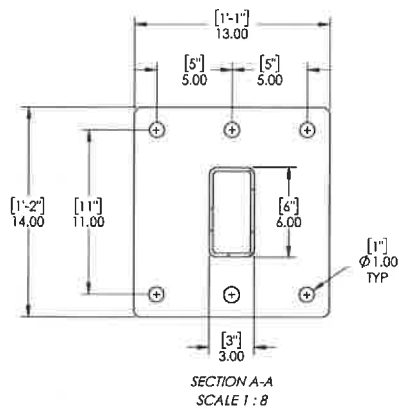
SWING MOTION
FORWARD AND BACKWARD

2 LEG CANTILEVER PERF FRAME WITH WOOD SLAT AUSTIN SWING

CARBON STEEL CONSTRUCTION WITH POWDERCOAT FINISH
STANDARD LANDSCAPE FORMS POWDERCOAT COLORS AVAILABLE
WOOD SPECIES AND PERF PATTERN CUSTOMIZABLE
SWING STRUCTURE MUST BE ANCHORED SECURELY
ANCHORING HARDWARE NOT SUPPLIED
BY LANDSCAPE FORMS

FOOTING DESIGN AND ANCHOR SELECTION BY OTHERS
SWING AND FRAME WEIGHT AS SHOWN - 1160 LBS.
(SWING WEIGHT - 240 LBS. FRAME WEIGHT - 920 LBS.)
SWING SEATING CAPACITY - 900 LBS. (MAX LIVE LOAD)

FOR DESIGN INTENT PURPOSES ONLY



STUDIO431
landscapeforms

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KALAMAZOO, MI 49048 P 800.521.2546
USA landscapeforms.com

TITLE: 2 LEG CANTILEVER PERF FRAME - AUSTIN

SCALE: 1:28

PROJECT: CUSTOM READY SWINGS

AUTHOR: JCS

FILE NAME: SFCR-S-003_REV-A

UNIT OF MEASURE: INCHES [FEET & INCHES]

SHEET: 1 OF 1

DRAWING CREATED: Thursday, May 12, 2022 11:35:33 AM DRAWING REVISION: A DATE REVISED: 3/5/2025

B-SIZE SHEET

Appendix C

2026 Town Square Park Improvements Project
Application for Major Site Plan Review

Planning Department Memo, June 23, 2025



Municipality of Anchorage
Planning Department
Memorandum



Date: June 23, 2025
To: Parks and Recreation Department
From: Planning Department
Thru: *MB* Mélisa R. K. Babb, Planning Director
Subject: Town Square Park Passenger Drop Off and Loading

In May of 2025, the Municipality of Anchorage Parks Department approached the Planning Department with a request to clarify seemingly conflicting policy guidance regarding vehicular access and passenger loading and drop off in Town Square Park adjacent to the Performing Arts Center.

Conclusion: Vehicular access and passenger loading and drop off are allowed, subject to the following:

- Plans for passenger drop off and loading for the Performing Arts Center are subject to review and approval by the Planning Department, in conjunction with the Traffic Engineer, and subsequent review and approval by the Planning and Zoning Commission.
- Plans for vehicular access to the area formerly platted as F Street are subject to the review and approval of the Planning and Zoning Commission.
- Other improvements to Town Square Park may be approved by the Planning Director or sent to the Urban Design Commission for their approval, depending on cost and the discretion of the Planning Director.

Background Information

The following provides a brief outline of the documents reviewed by the Planning Department as part of this investigation:

- The Performing Arts Center (PAC) sits on Block 52A of the Original Anchorage Townsite, immediately adjacent to Town Square Park, which sits on Block 51 of the Original Anchorage Townsite. The most recent plat for the area is from 1984 (Plat 84-335), which shows the vacation of right-of-way for F Street on the PAC parcel. There is a platted alley right-of-way within Town Square Park.
- Article XX of the Anchorage Municipal Charter, Sections 20.01-20.04, stipulates the dedication of Block 51 as Town Square Park and limits the placement or erection of any new buildings on Block 51. This section only allows underground uses in the park if they are approved by the Planning and Zoning Commission (PZC) and Assembly and *"do not cause the grade of the town square to be above or below street level."*

- The PAC was approved as a conditional use by Planning and Zoning Commission resolution No. 104-81 (A-F). This conditional use was last amended through an administrative approval to permit a Portland Loo public toilet on the northwest corner of Block 52A by PZC Case 2021-0068.

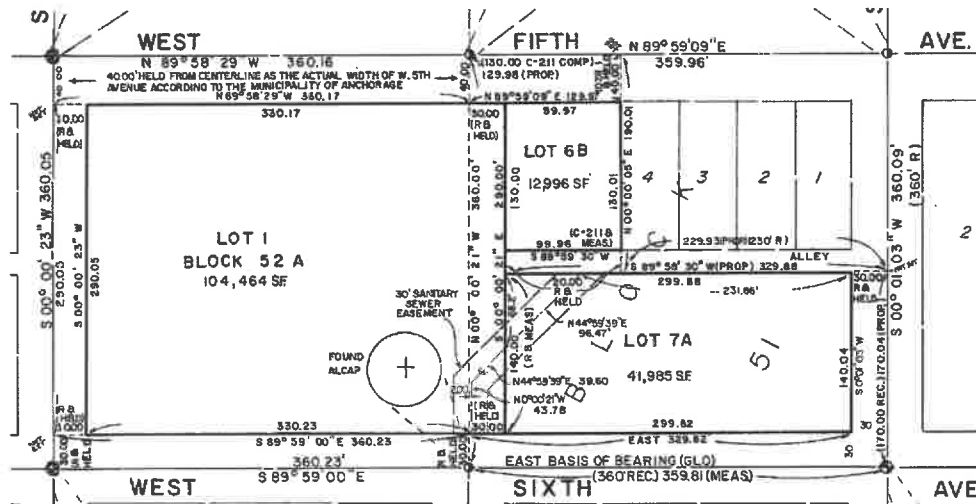


Figure 1 Excerpt from Plat 84-335 showing Blocks 52A and 51 of the Original Anchorage Townsite.

- AO 1989-94 called for an amendment to Article XX "providing for an access road for the Alaska Center for the Performing Arts on land dedicated as town square park" but it was tabled indefinitely at the July 25, 1989, Assembly meeting. From minutes of that meeting:

"Ms. Flynn said she as dismayed this ordinance came forward. It is a very divisive issue. She noted the Municipality had lost five court cases over the Town Square. The access street issue pits the Square against the PAC in a no-win situation. She noted there were other alternatives to the access issue, and asked the ordinance to be withdrawn to avoid all the controversy it would cause."

- The Planning and Zoning Commission approved a park master plan for Town Square Park in 2019 with PZC Case 2019-0111. The master plan states:

"The master planning process revived calls for improvements to the Alaska Center for the Performing Arts (PAC) passenger drop off and loading zones, particularly for persons with limited mobility. Today, the PAC recommends F Street south of 6th Avenue and the 5th Ave Egan Center loading zone for drop-offs. Both of which require the signalized crossing of 5th or 6th Avenue, or use of the sky bridge.

The planning team conducted a technical review of alternative drop off areas to evaluate the potential impacts on traffic operations and use of the park. Of the alternatives considered, none of them adequately address PAC access concerns without significant negative impact to the size, use and pedestrian safety of Town Square Park.

While this Master Plan recognizes the need for internal and external ADA access issues at the PAC to be resolved, these issues are beyond the scope of a park master plan. Rather, the park master plan addresses issues, identifies needs, and

provides a framework for management, development and programming within the park property boundaries."

The plan incorrectly states that:

"PZC Resolution No. 81-104C specifically prohibits the use of Town Square Park for the purposes of passenger loading and is a requirement of the conditional use sought by the PAC for the vacation of the F Street Right of Way"

PZC Resolution No. 81-104C does not make this explicit prohibition. Correct guidance for this issue can be found in Condition 11 for PZC resolution 81.014C:

Condition 11: Drop off and loading for this site will be resolved with the Community Planning Department in conjunction with Traffic Engineering and submitted for review by the Planning and Zoning Commission prior to the issuance of any building permits beyond footings and foundations. No extensions of these uses into Block 51, as platted on the date of this approval, shall be approved without a public hearing and concurrent from the Planning and Zoning Commission.

Condition 14, included below, provides additional clarity:

Condition 14: Decisions respecting public access to portions of the street level within the former F Street are subject to the review and approval by the Planning and Zoning Commission.

These provisions allow access to the PAC from Block 51, subject to approval by Planning, Traffic Engineering, and the Planning and Zoning Commission. Though it was approved by the Planning and Zoning Commission as a master plan, the Town Square Park Master Plan is not an adopted element of the Municipality of Anchorage Comprehensive Plan.

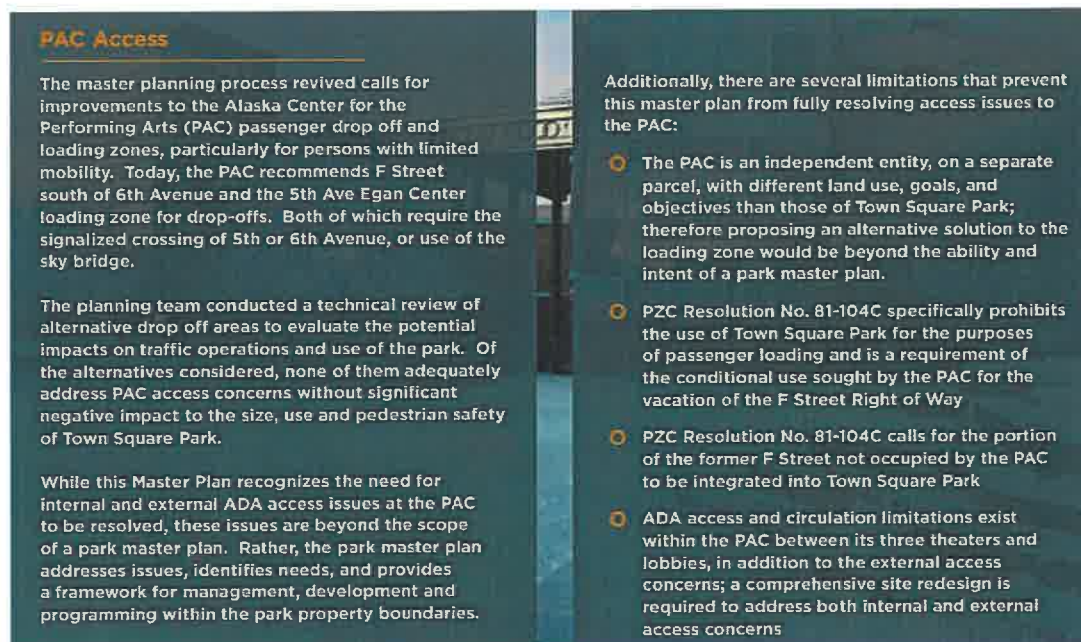


Figure 2: Excerpt from the Town Square Park Master Plan.

- AMC 21.03.080E also requires that an amendment to a conditional use go to the Planning and Zoning Commission for review.
- The Municipality maintains F Street and the Alaska Department of Transportation and Public Facilities (AKDOT&PF) maintains 5th Avenue and 6th Avenue. The staff report reviewing the Town Square Park Master Plan recommends converting 5th Avenue to a two-way street.
- Resolution No. 81-104 requires non-structural developments in Town Square Park to be reviewed by either the Urban Design Commission with a public hearing or be approved administratively by the Planning Department, depending on the cost of the improvements and the discretion of the Planning Director
- AMC 21.05.040G.2.b.ii. also requires that all development projects in municipal parks undergo a site plan review. The Urban Design Commission reviews site plans requiring a public hearing, per AMC 21.03.180.

Summary:

- PZC Resolution 81-104C requires that any changes to access to the PAC, or access from the former F street right-of-way be approved by Planning, Traffic Engineer, and go before the Planning and Zoning Commission with a public hearing.
- The Town Square Park Master Plan does not put additional restrictions on PAC access, but rather incorrectly references PZC Resolution 81-104(A-F). The Town Square Park Master Plan was a master plan approved by PZC, and is not an adopted element of the Comprehensive Plan.
- PZC Resolution 81-104 requires that non-structural development/improvements to Town Square Park go either before the Urban Design Commission with a public hearing or be approved administratively, depending on Director discretion and their cost.

Attachment: PZC Resolution No. 81-104 (A-F)

Appendix D

2026 Town Square Park Improvements Project Application for Major Site Plan Review

Site Lighting Cutsheets

Date: _____ Customer: _____

Project: _____

Type: _____ Qty: _____



Saturn 1 LED



Order Code: SA1L - - - - -

Pole Order Code:

Code:	Series	Height	Finish	Options						
SA1L	Series	SA1L Saturn 1 LED								
	Optics	TS Tritec Symmetric	TA ¹ Tritec Asymmetric	¹ Asymmetric optics not available with Gold Reflector light engines.						
	Mounting	1 Single	1A Single Arm Mount	2 Double	W Wall Mount					
	Light Engine	S1G1 Silver Reflector, 24W, Single Stack	S1G2 Silver Reflector, 50W, Double Stack	G1G1 Gold Reflector, 24W, Single Stack	G1G2 Gold Reflector, 50W, Double Stack					
	CCT	22* 2200K	27* 2700K	30 3000K	35* 3000K	40 4000K	50* 5000K	[*] Consult factory.		
	Power Cord Length	08 8'	10 10'	12 12'	14 14'	16 16'	18 18'	XX XX	[*] For 1 mounting use the pole height. For 1A or 2 mounting use the pole height +2.	
	Finish	WH White	BK Black	BL Semi-Matte Black	BZ Bronze	SV Silver	SP Specify Premium Color			
	Voltage	UNV 120-277V	120 ² 120V	240 ² 240V	277 ² 277V	347 ³ 347V	480 ³ 480V	² Specify for HL option. ³ Equipped with step down transformer.		
	Options	HS House Side Shield (180°)	PCT ^{6,7} Photocell Tenon	DM ⁴ Dimming (0-10V)	HL30 ^{4,5} Hi-Lo Switching Low Output 30%	HL50 ^{4,5} Hi-Lo Switching Low Output 50%	BP Blue Prism Ring Optic Accessory	RP Red Prism Ring Optic Accessory	MS ^{4,7} Motion Sensor with Optional Photocell See Pole Spec Sheet for Order Code	⁴ DM, HLXX or MS only. Cannot be combined. ⁵ 120V, 240V or 277V only. ⁶ Not available with UNV. ⁷ PCT or MS only. Cannot be combined.
		NH No Hoop								

Product Modifications

Please list modification requirements for review by factory:

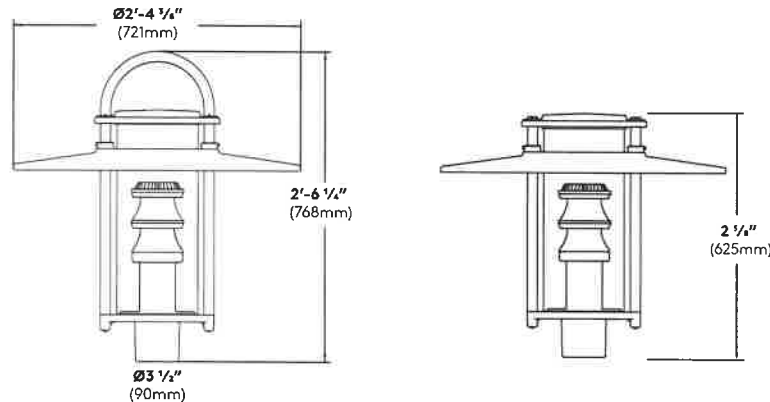
Approvals



Date: _____

SA1L-XX-1

SA1L-XX-1-NH



Specifications

Luminaire Cover - Die cast aluminum cover made from low copper alloy, designed to ensure optimal thermal management for extra long life time of LED light engine.

Cover Support - Machined support connected to fixture cover with architectural Allen head nut detail.

Cover Set Screw - Two stainless steel, socket head cap screws provide attachment of fixture cover and support to 1" (25mm) diameter connection rods. Loosening screws allows removal of fixture cover without tools.

Fixture Hood - Aluminum shade with white painted interior for maximum reflectivity.

Gasketing - Continuous gasket provides weatherproofing, dust and insect control at all fixture connections.

Luminaire Hood - Aluminum shade with white painted interior.

LED Array - Mid-power LEDs mounted to aluminum core PC boards and attached to aluminum heat sink for maximum LED performance and life. CCT tolerance 1/4 step binning for 3000K. CRI minimum 80K. Complete light engine can be removed easily for future upgrade. LED light engine provides a reported lumen maintenance of 93% at 50,000 hours. L70 calculated greater than 100,000 hours.

LED Optics - Symmetric or Asymmetric distributions created by conical textured reflector and patterned acrylic reveal with alternate LED PCB layouts. Type V and Type IV IES distribution types. An indirect lighting effect spreads brightness and improves visual appearance.

LED Driver - LEDs are driven by RoHS compliant high-efficiency driver. Excellent for cold temperature starting and instant on.

Pole Fitter - Self-leveling, die cast low-copper aluminum alloy, fitter base secured to pole with three, stainless steel, Allen head set screws. Fitter for 3 1/2" (90mm) O.D. poles.

Diffuser - Clear, U.V. stabilized, acrylic with minimum wall thickness of 0.125" (3mm).

Surge Protector - Designed to protect luminaire from electrical surge (20kA).

Power Cord - Pre-installed at factory. Please specify power cord length in accordance to height of the pole. Add 2 feet to power cord length if single arm mounting (1A) or double mounting (2) is specified.

Exterior Luminaire Finish - Selux utilizes a high quality Polyester Powder Coating. All Selux luminaires and poles are finished in our Tiger Drylac certified facility and undergo a five stage intensive pretreatment process where product is thoroughly cleaned, phosphated and sealed. Selux powder coated products provide excellent salt and humidity resistance as well as ultraviolet resistance for color retention. All products are tested in accordance with test specifications for coatings from ASTM and PCI.

Standard exterior colors are White (WH), Black (BK), Semi-Matte Black (BL), Bronze (BZ), and Silver (SV). Selux premium colors (SP) are available, please specify from your Selux color selection guide.

5 Year Limited LED Luminaire Warranty

- Selux offers a 5 Year-Limited Warranty to the original purchaser that the Saturn 1 LED luminaire shall be free from defects in material and workmanship for up to five (5) years from date of shipment. This limited warranty covers the LED driver and LED array when installed and operated according to Selux instructions. For details, see "Selux Terms and Condition of Sale."

Listings and Ratings: Luminaire and LED tested to IESNA LM-79-08 standards. LED tested to LM-80 standards. Luminaire and LED tested at 25°C ambient temperature.

NRTL Listed (i.e. UL, CSA)

Visit selux.us for our LED End of Life recycling policy.

For Buy American compliance on poles, please consult the factory.

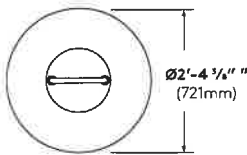
For Buy American compliance on poles, please consult the factory.

Mounting

Single (1)

Die cast aluminum fitter base secured to pole with three stainless steel, Allen head set screws.

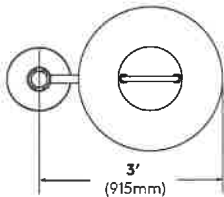
EPA = 1.0ft² (0.09m²)
Weight = 39lbs. (17.7kg)



Single Arm Mount (1A)

Die cast aluminum single luminaire mounting arm secured to pole with four stainless steel, Allen head set screws. Outer slip fitter for Ø3 1/2" tenon.

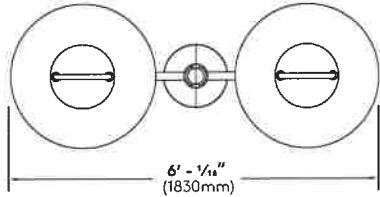
EPA = 1.4ft² (0.13m²)
Weight = 53lbs. (24.0kg)



Double (2)

Die cast aluminum double luminaire mounting arm secured to pole with four stainless steel, Allen head set screws. Outer slip fitter for Ø3 1/2" tenon.

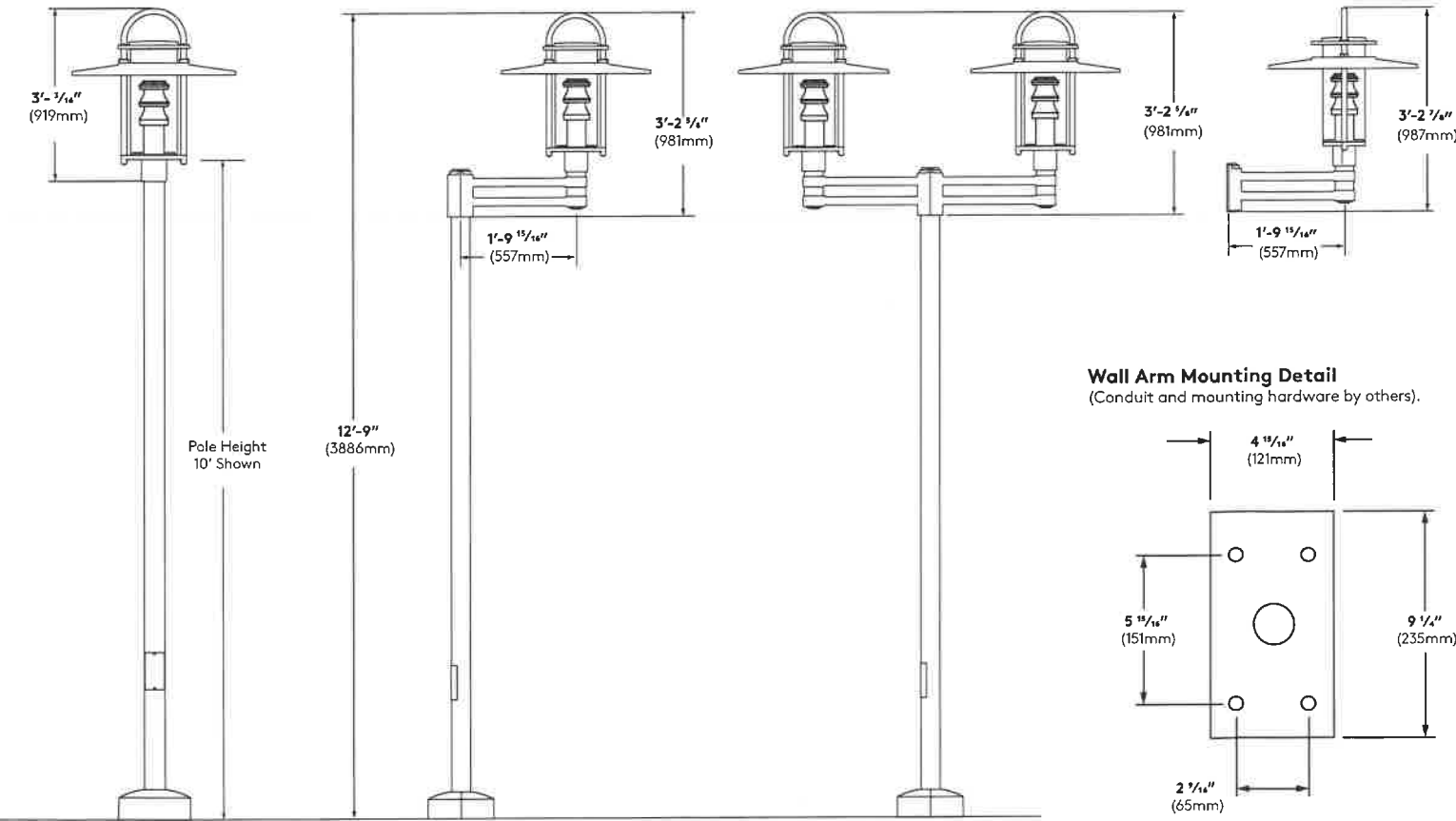
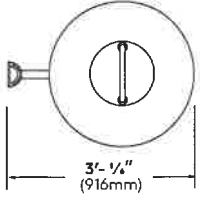
EPA = 2.7ft² (0.25m²)
Weight = 100lbs. (45.4kg)



Wall (W)

Die cast aluminum double round wall mount arm. Secured to wall with 1/4" diameter threaded fasteners (by others).

EPA = 1.4ft² (0.13m²)
Weight = 50lbs. (22.7kg)



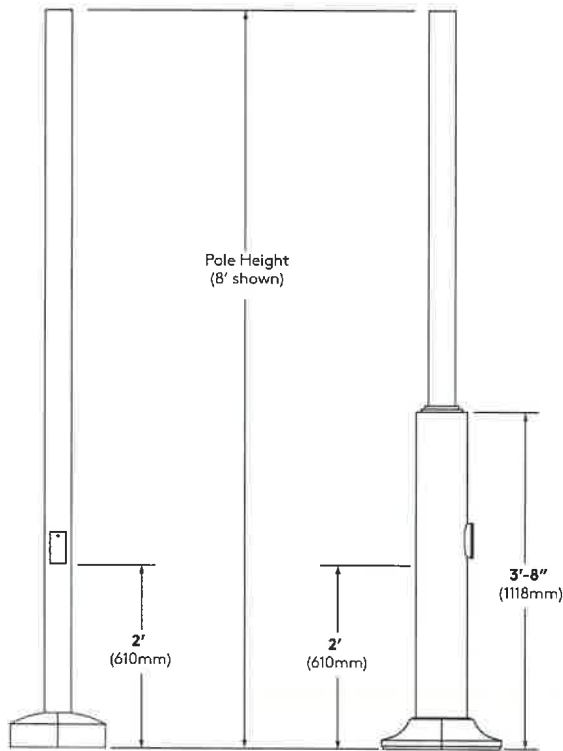
Wall Arm Mounting Detail
(Conduit and mounting hardware by others).

Pole Information

Refer to pole specification sheets for construction details, anchorage information and additional options.

A35 & S35
Round Straight Aluminum
& Round Straight Steel Poles

S635
Round Stepped
Steel Poles



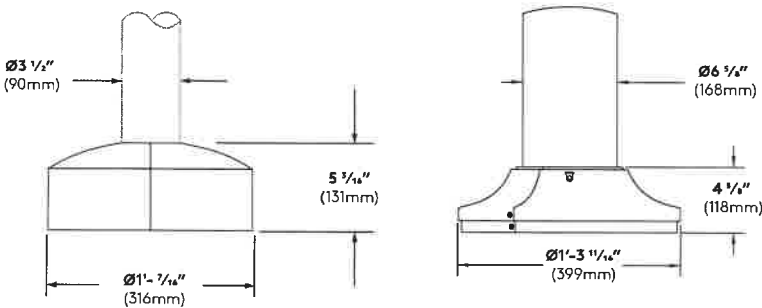
Shown with standard base covers.

Base Cover Information

Refer to pole specification sheets for construction details, anchorage information and additional options.

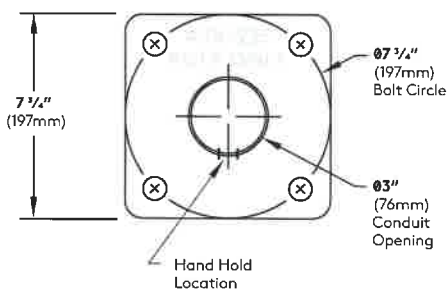
Standard Base Cover (BC5)
Supplied with A35 and S35
Two-piece cast aluminum

Standard Base Cover (BC6)
Supplied with S635
Two-piece cast aluminum



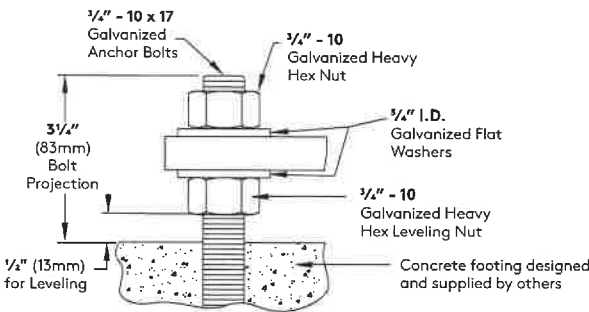
Bolt Circle for A35 & S35

Use caution when setting anchor bolts. Bolts must be vertically straight and centered on dimensions shown



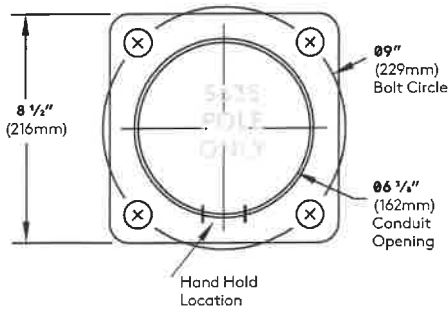
Note: Adequate drainage must be provided in concrete foundation.

Anchor Bolt Detail for A35 & S35



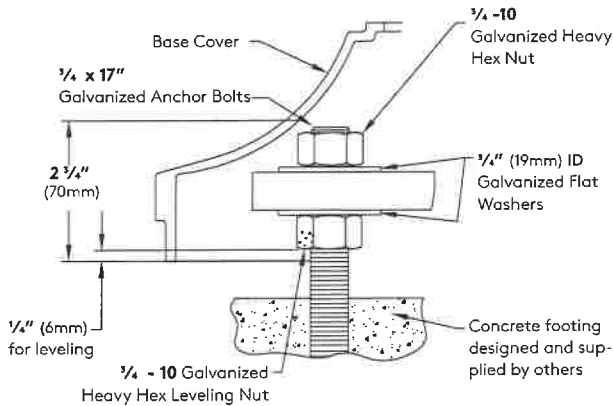
Bolt Circle for S635

Use caution when setting anchor bolts. Bolts must be vertically straight and centered on dimensions shown.



Note: Adequate drainage must be provided in concrete foundation.

Anchor Bolt Detail for S635



Pole Data Chart

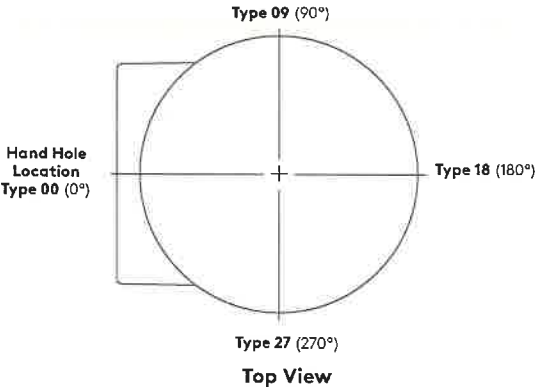
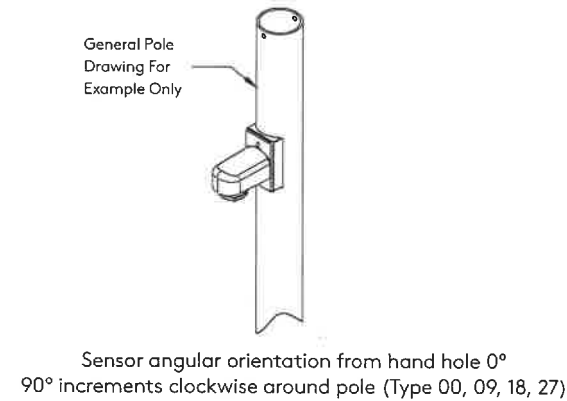
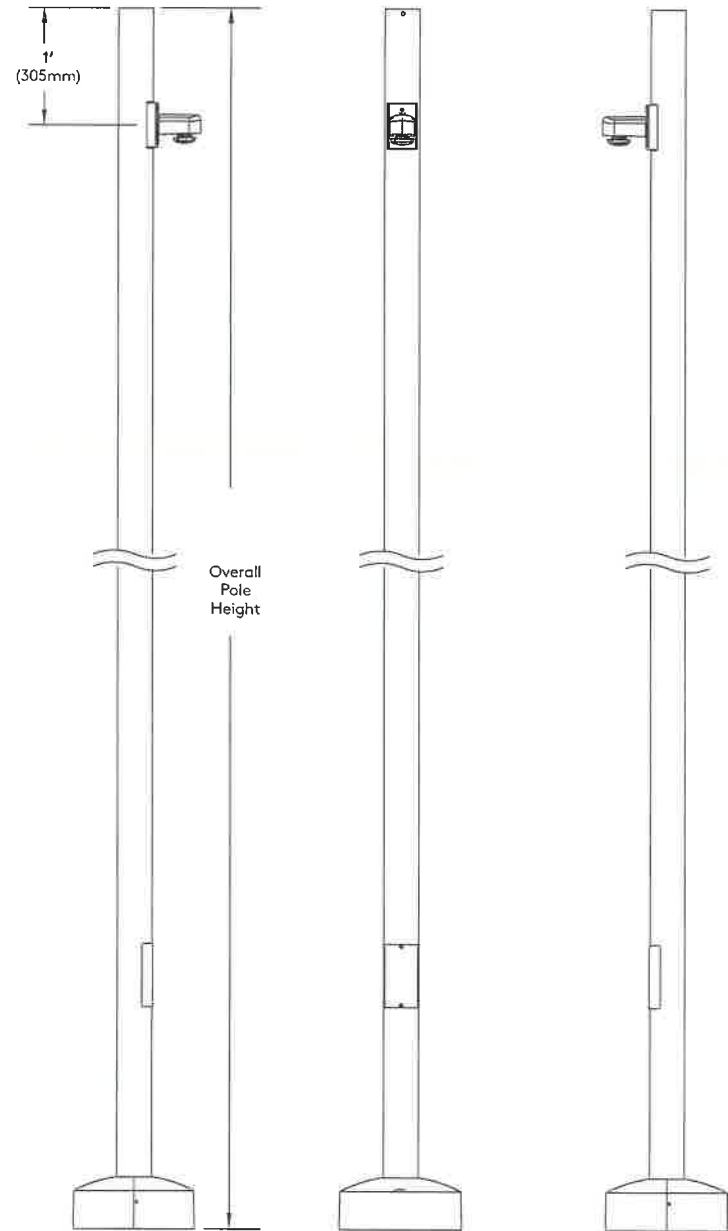
Pole Series	Bolt Circle (in)	Wall (in)	Maximum EPA Rating (ft²) / Wind Speed (mph)											Height	Finish	Options
			85	90	100	110	120	130	140	150	160	170	180			
A35 3 ½" Round Straight Aluminum Pole	7¾	0.197	8.7	7.7	6.0	4.8	3.9	3.1	2.6	2.2	1.9	1.7	1.5	8ft 8ft	WH White	BC3 Decorative Cast Aluminum Base Cover (AT535) BC5 Decorative Cast Aluminum Base Cover (A35 and S35) BC6 Decorative Cast Aluminum Base Cover (S635) REC* GFCI Duplex Receptacle with weatherproof cover. REC2* GFCI Duplex Receptacle with padlockable in-use cover. REC3* USB & GFCI Duplex Receptacle with weatherproof cover. REC4* USB & GFCI Duplex Receptacle with padlockable in-use cover. MS Motion Sensor with optional Photocell (Meets Title 24 Requirements).
S35 3 ½" Round Straight Steel Pole	7¾	0.125	13.1	11.5	9.2	7.4	6.0	5.0	4.2	3.6	3.2	2.8	2.4		BK Black	
S635 6" to 3 ½" Round Straight Stepped Steel Pole	9	0.125	34.4	30.6	24.6	20.2	16.8	14.2	12.2	10.5	9.2	8.1	7.2		BL Semi-Matte Black	
A35 3 ½" Round Straight Aluminum Pole	7¾	0.197	6.9	6.0	4.6	3.6	2.8	2.2	1.8	1.5	1.2	1.0	0.9	10 10ft	BZ Bronze	
S35 3 ½" Round Straight Steel Pole	7¾	0.125	10.5	9.2	7.2	5.7	4.6	3.7	3.1	2.6	2.3	2.0	1.7		SV Silver	
S635 6" to 3 ½" Round Straight Stepped Steel Pole	9	0.125	28.5	23.5	20.2	16.5	13.7	11.5	9.8	8.5	7.4	6.5	5.7		SP Specify Premium Color	
A35 3 ½" Round Straight Aluminum Pole	7¾	0.197	5.4	4.7	3.5	2.6	1.9	1.4	1.1	0.8	0.7	-	-	12 12ft	Notes: 1. Maximum EPA ratings certified in accordance with AASHTO 2013 (LTS-6-I3) for 3-s gust wind speeds based on Allowable Stress Design (ASD) analysis 2. Consult factory for equivalent Load and Resistance Factor Design (LRFD) wind speeds 3. Rated performance is dependant upon the pole being properly attached to a supporting foundation of adequate design *The EPA capacity of a S35 pole is reduced with receptacle option. Consult factory for S35 EPA capacity with receptacle.	
S35 3 ½" Round Straight Steel Pole	7¾	0.125	8.6	7.5	5.7	4.4	3.5	2.7	2.2	1.9	1.6	1.3	1.1			
S635 6" to 3 ½" Round Straight Stepped Steel Pole	9	0.125	23.6	21.0	16.9	13.7	11.3	9.4	8.0	6.9	6.0	5.2	4.6			
A35 3 ½" Round Straight Aluminum Pole	7¾	0.197	3.8	3.2	2.2	1.5	0.9	-	-	-	-	-	-	14 14ft		
S35 3 ½" Round Straight Steel Pole	7¾	0.125	6.3	5.4	4.0	3.0	2.2	1.6	1.2	1.0	0.8	0.6	-			
S635 6" to 3 ½" Round Straight Stepped Steel Pole	9	0.125	18.2	16.2	13.1	10.5	8.6	7.0	5.9	5.0	4.4	3.8	3.3			
A35 3 ½" Round Straight Aluminum Pole	7¾	0.197	2.7	2.2	1.3	0.7	-	-	-	-	-	-	-	16 16ft		
S35 3 ½" Round Straight Steel Pole	7¾	0.125	5.1	4.3	3.1	2.1	1.4	0.9	0.6	-	-	-	-			
S635 6" to 3 ½" Round Straight Stepped Steel Pole	9	0.125	15.6	13.9	11.2	8.9	7.1	5.7	4.8	4.0	3.5	3.0	2.6			
S35 3 ½" Round Straight Steel Pole	7¾	0.125	4.2	3.4	2.2	1.4	0.8	-	-	-	-	-	-	18 16ft		
AT535 5" to 3 ½" Round Tapered Aluminum Pole	8⅝	0.188	8.9	7.6	5.7	4.3	3.3	2.6	2.1	1.7	1.4	1.2	1.0			
S635 6" to 3 ½" Round Straight Stepped Steel Pole	9	0.125	13.7	12.2	9.5	7.5	5.9	4.6	3.8	3.2	2.7	2.3	2.0			
AT535 5" to 3 ¼" Round Tapered Aluminum Pole	8⅝	0.188	7.3	6.2	4.4	3.2	2.3	1.7	1.4	1.1	0.9	-	-	20 20ft		
S635 6" to 3 ½" Round Straight Stepped Steel Pole	9	0.125	12.1	10.8	8.2	6.3	4.8	3.7	2.9	2.4	2.0	1.7	1.4			

Round Pole Motion Sensor

The Selux outdoor rated sensor incorporates Passive Infrared (PIR) Technology for motion sensing and also includes built-in photocell. Sensor comes pre-installed in cast aluminum housing painted to match pole finish.

Series	Hand Hole Orientation	Dim Level	Photocell Feature	Voltage
MS Motion Sensor	00 0° Clockwise from Hand Hole	D0 (Off)	Y Yes	UNV (100-347VAC single phase or 208/230/480VAC phase-to-phase)
	09 90° Clockwise from Hand Hole	D1 (1V=10%)		
	18 180° Clockwise from Hand Hole	D3 (3V=30%)	N No	
	27 270° Clockwise from Hand Hole	D5 (5V=50%)		

Factory Defaults:
Delay to Dim: 5 minutes
Delay to Off: 1 hour
Sensitivity: Max
Custom Programming: Consult Factory

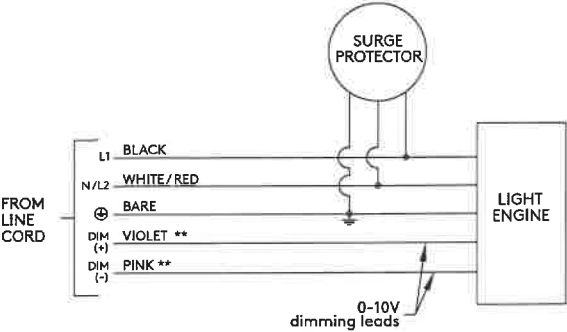


- Motion Sensor Features**
- Customize programming using smartphone application (Refer to the FSP-321 at www.wattstopper.com).
 - 5 Year Warranty.
 - 100% Digital PIR Detection, excellent RF Immunity
 - 270° coverage pattern.
 - IP66 Rated for outdoor applications.
 - Made for LED light source.
 - Adjustable time delays, max/min dim levels, and ramp rates.
 - Suitable for Title 24 applications.
- (For coverage details refer to wattstopper FSP-321 spec sheet at www.wattstopper.com).

Wiring Diagrams

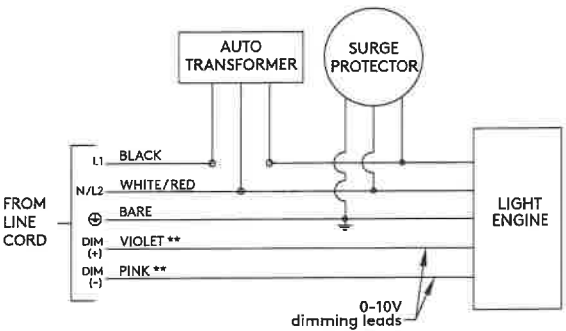
Standard Wiring (120V-277V)

**When dimming is not required cap dimming wires.



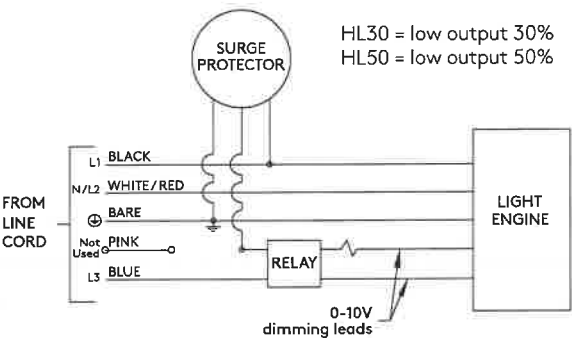
Standard Wiring (347/480V with Step-down Transformer)

**When dimming is not required cap dimming wires.



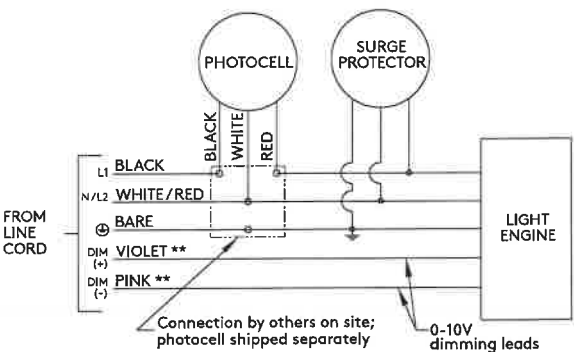
Hi-Lo Switching Option (HL) Wiring HL30 & HL50 Only

120V, 240V, 277V. When blue is energized, light output will be at "Lo" level. Specify low-level by using one of the 2 levels listed below (i.e. HL30 or HL50). For other combinations, consult factory

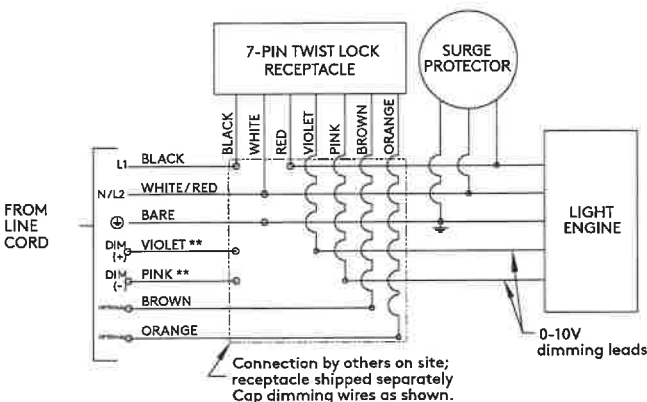


Photocell Option (TLRP) Wiring

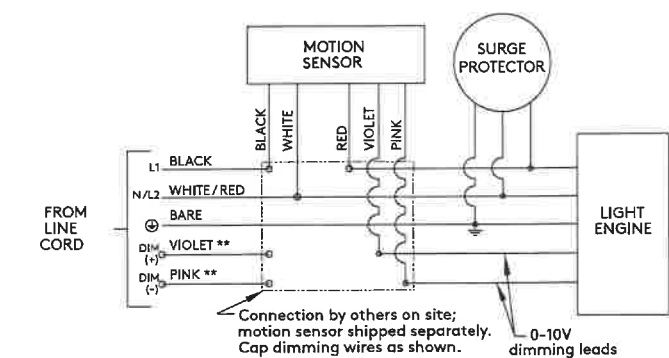
**When dimming is not required cap dimming wires.



7-Pin Twist Lock Receptacle Option (TLR) Wiring



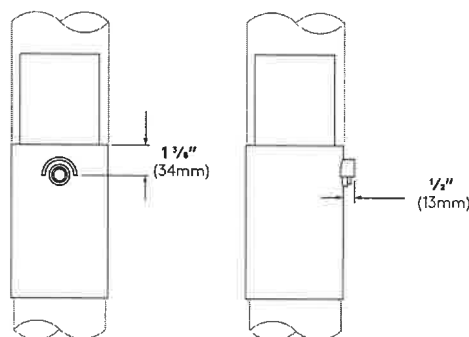
Motion Sensor Option (MS) Wiring (120-480V)



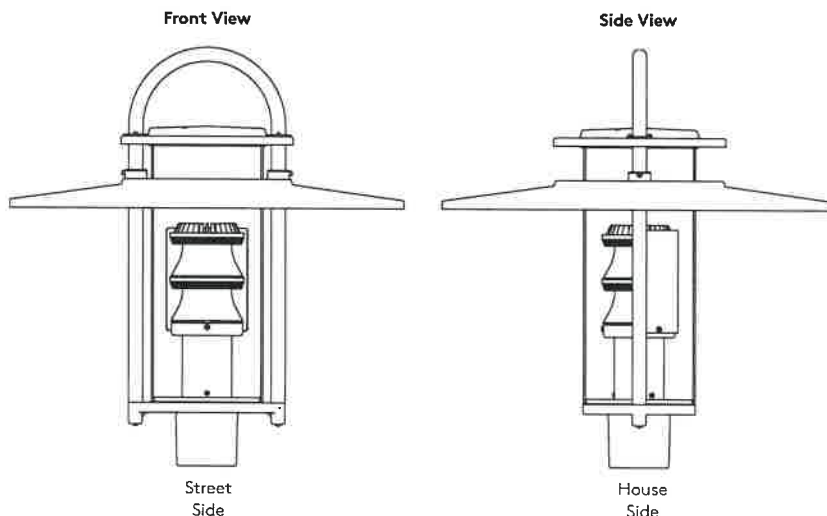
Wire Designation Table		
Source Voltage (VAC)	Wire Color	Wire Designation
120V, 277V, or 347V	Black	L1
	White	Neutral
208V, 240V, or 480V	Black	L1
	Red	L2
UNV (120V-277V)	Black	L1
	White	Neutral (120/277V) or L2 (208/240V)

Optional Accessories

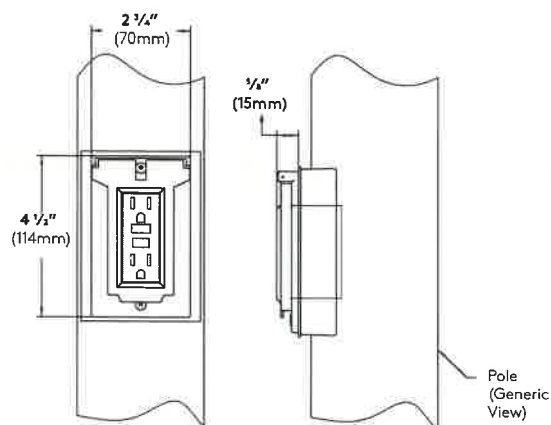
Photo Cell Tenon (PCT) - Button type photocell mounted in cast aluminum pole top tenon. Tenon has integral cast visor to prevent false start/stop cycle and can be oriented for optimum performance. Refer to luminaire spec sheet to determine if this option is applicable.



House Side Shield



REC and REC3

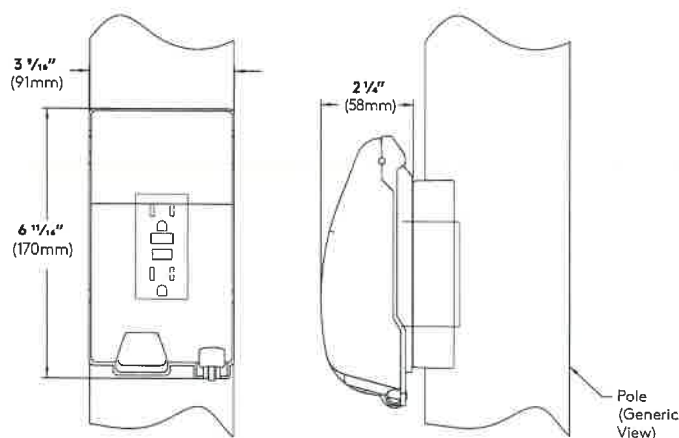


Cover shown in the closed position

GFCI Duplex Receptacle (REC) - 120V 15A GFCI duplex receptacle with weatherproof, self-closing cover; located 36" (914mm) o.c. from base of pole, in-line with hand hole. Receptacle is intended only for portable tools or other portable equipment to be connected to outlet only when attended by operating personnel (120V only).

USB & GFCI Duplex Receptacle (REC3) (not shown) - 120V 15A GFCI duplex receptacle with USB combination ports. (1) USB Type-A and (1) USB Type-C port share 2.0A charging capacity between both ports. Includes weatherproof, self-closing cover; located 36" (914mm) o.c. from base of pole, in-line with hand hole. Receptacle is intended only for portable tools or other portable equipment to be connected to outlet only when attended by operating personnel.

REC2 and REC4

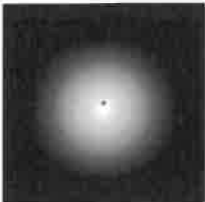


Cover shown in the closed position

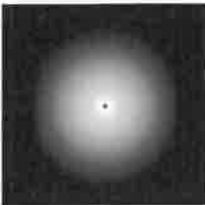
GFCI Duplex Receptacle (REC2) - 120V 15A GFCI duplex receptacle with weatherproof, self-closing, padlockable in-use cover; located 36" (914mm) o.c. from base of pole, in-line with hand hole. Receptacle is intended only for portable tools or other portable equipment to be connected to outlet only when attended by operating personnel (120V only).

USB & GFCI Duplex Receptacle (REC4) (not shown) - 120V 15A GFCI duplex receptacle with USB combination ports. (1) USB Type-A and (1) USB Type-C port share 2.0A charging capacity between both ports. Includes weatherproof, self-closing padlockable in-use cover; located 36" (914mm) o.c. from base of pole, in-line with hand hole. Receptacle is intended only for portable tools or other portable equipment to be connected to outlet only when attended by operating personnel.

Photometry



TA - Distribution Type IV					
Light Engine	Lumens	CCT	Input Watts	lm/W	BUG Rating
S1G1	2228	3000K	24	92	B1-U3-G1
S1G2	4569	3000K	48	95	B2-U3-G2



TS - Distribution Type V5					
Light Engine	Lumens	CCT	Input Watts	lm/W	BUG Rating
S1G1	2782	3000K	28	100	B1-U3-G1
S1G2	5176	3000K	50	104	B2-U3-G2

Saturn 1 LED	
Multiplier Chart	
2200K	0.61
2700K	0.93
3000K	1.00
4000K	1.09
Gold Reflector	0.85
Blue/Red Prism Ring	0.88

Date: _____ Customer: _____
 Project: _____
 Type: _____ Qty: _____

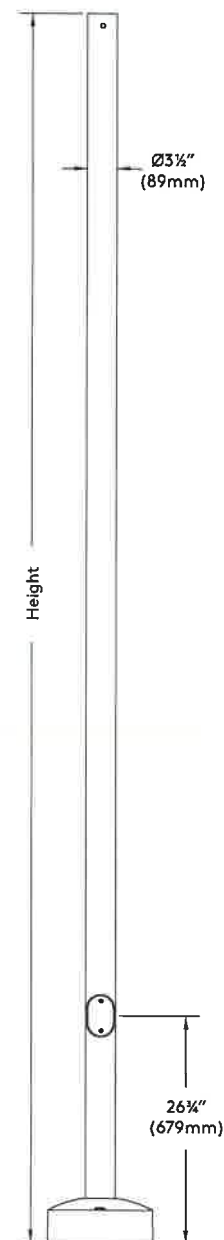
selux

S35

3 1/2" Round Straight Steel Pole

Order Code: S35 - - - -

S35	Series	S35 3 ½" Round Straight Steel Pole						
	Height	8 8'	10 10'	12 12'	14 14'	16 16'	18 18'	
	Finish	WH White	BK Black	BL Semi-Matte Black	BZ Bronze	SV Silver	SP Specify Premium Color	
	Options	BC5 Standard Cast Aluminum Base Cover	REC¹ GFCI Receptacle with weather-proof cover	REC2¹ GFCI Receptacle with padlockable in-use cover	REC3¹ USB & Duplex Receptacle with weather-proof cover	REC4¹ USB & Duplex Receptacle with weather-proof padlockable in-use cover	MS² Motion Sensor Meets Title 24 Requirements	¹ See page 3-4 for details ² See pages 5-6 for details
		T30 Supplied with Ø3" Tenon, 4" High	PCT¹ GFCI Photocell Tenon					



Product Modifications

Please list modification requirements for review by factory:

Approvals

Date:

Specifications

Pole Shaft - Pole shaft is constructed of ASTM A500 steel tubing.

Anchor Base - Anchor base is manufactured of 3/4" thick ASTM A709 steel. The anchor base and shaft are joined by a continuous circumferential weld at the outside top and inside bottom of the anchor base.

Access Hole - The opening measures 2" x 4" (50 x 100mm) oval opening reinforced hand hole. Cover is supplied with tamper resistant fasteners. 3/16"-18 ground lug is located inside pole, opposite the hand hole.

Anchor Bolts - Pole is supplied with four 3/4" x 17" steel hot dip galvanized anchor bolts each with two nut and two flat washers.

Base Cover - Standard two-piece base cover is made from die cast A360 alloy aluminum.

Exterior Luminaire Finish - Selux utilizes a high quality Polyester Powder Coating. All Selux luminaires and poles are finished in our Tiger Drylac certified facility and undergo a five stage intensive pretreatment process where product is thoroughly cleaned, phosphated and sealed. Selux powder coated products provide excellent salt and humidity resistance as well as ultraviolet resistance for color retention. All products are tested in accordance with test specifications for coatings from ASTM and PCI.

Standard exterior colors are White (WH), Black (BK), Semi-Matte Black, Bronze (BZ), and Silver (SV). Selux premium colors (SP) are available, please specify from your Selux color selection guide. Hot Dip Galvanized finish (GV) on all steel parts also available.

All Poles are constructed per AASHTO standards for structural supports for highway signs, luminaires and traffic signals as published in 2013 (LTS-6).

A consideration of field conditions such as (but not limited to) wind zone, height, and vibration must be given by the designer/specifier for the appropriate application.

Performance of poles is dependent upon proper support/attachment of pole to adequate foundation design. Selux does not design or offer recommendations for foundations. EPA values assume that the bottom of the pole is at grade level.

Call Selux (1-800-SELUXCS) if there are any questions, or for any assistance in determining suitability with appropriate fixtures.

S35 - EPA MATRIX (ft²)														
Height (ft)	Bolt Circle (in)	Wall Thk (in)	Max Luminaire Weight (lbs)	Maximum EPA (ft²) / Basic Wind Speed (mph)										
				85 mph	90 mph	100 mph	110 mph	120 mph	130 mph	140 mph	150 mph	160 mph	170 mph	180 mph
8	Ø7 ¼"	1/8	100	13.1	11.5	9.2	7.4	6.0	5.0	4.2	3.6	3.2	2.8	2.4
10				10.5	9.2	7.2	5.7	4.6	3.7	3.1	2.6	2.3	2.0	1.7
12				8.6	7.5	5.7	4.4	3.5	2.7	2.2	1.9	1.6	1.3	1.1
14				6.3	5.4	4.0	3.0	2.2	1.6	1.2	1.0	0.8	0.6	0.5
16				5.1	4.3	3.1	2.1	1.4	0.9	0.6	0.4	0.3	-	-
18				4.2	3.4	2.2	1.4	0.8	0.3	-	-	-	-	-

S35 with REC														
Height (ft)	Bolt Circle (in)	Wall Thk (in)	Max Luminaire Weight (lbs)	Maximum EPA (ft²) / Basic Wind Speed (mph)										
				85 mph	90 mph	100 mph	110 mph	120 mph	130 mph	140 mph	150 mph	160 mph	170 mph	180 mph
8	Ø7 ¼"	1/8	100	3.8	3.3	2.4	1.8	1.3	0.9	0.7	0.5	0.4	0.3	-
10				2.4	1.9	1.2	0.7	1.4	-	-	-	-	-	-
12				1.2	0.9	0.3	-	-	-	-	-	-	-	-

Notes:

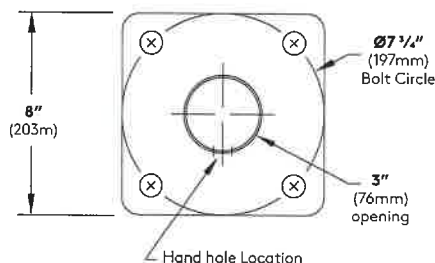
- 1) Maximum EPA ratings certified in accordance with AASHTO 2013 (LTS-6) for 3-s gust wind speeds based on Allowable Stress Design (ASD) analysis
- 2) Consult factory for equivalent Load and Resistance Factor Design (LRFD) wind speeds
- 3) Centroid of all loads located a max height of 2'-6" above pole top and 2'-0" eccentric
- 4) Rated performance is dependant upon the pole being properly attached to a supporting foundation of adequate design

S35
3 1/2" Round Straight Steel Pole

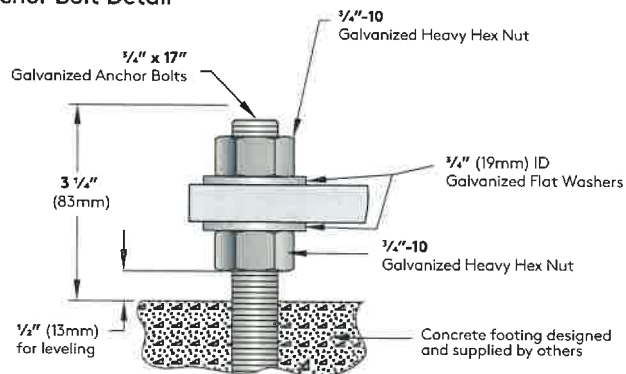
selux

Bolt Circle

Use caution when setting anchor bolts. Bolts must be vertically straight and centered on dimensions shown.



Anchor Bolt Detail



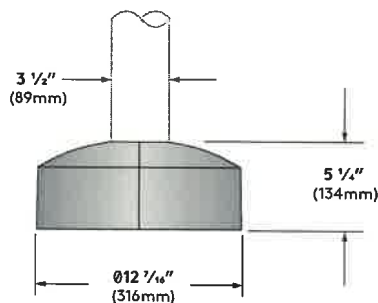
Note: Adequate drainage must be provided in concrete foundation or grout.

Base Cover Information

Refer to pole specification sheets for construction details, anchorage information, and additional options.

Straight Poles (S35) BC5 Standard Base Cover

Two-piece cast aluminum



AASHTO recommended orientation of hand hole.

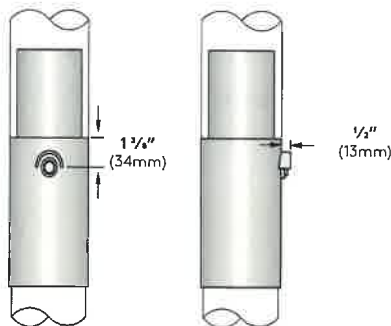
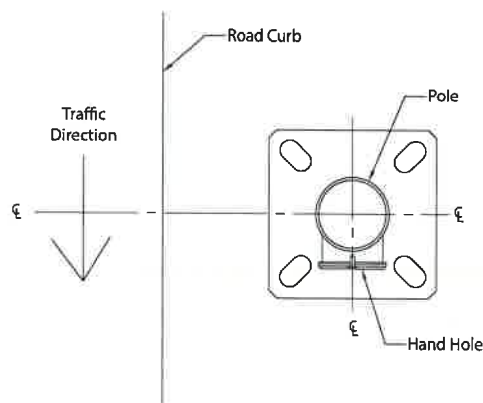
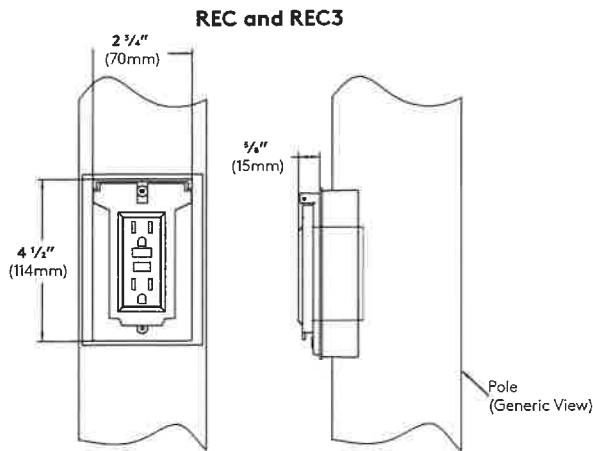


Photo Cell Tenon (PCT) - Button type photocell mounted in cast aluminum pole top tenon. Tenon has integral cast visor to prevent false start/stop cycle and can be oriented for optimum performance. Refer to luminaire spec sheet to determine if this option is applicable.

Optional Accessories

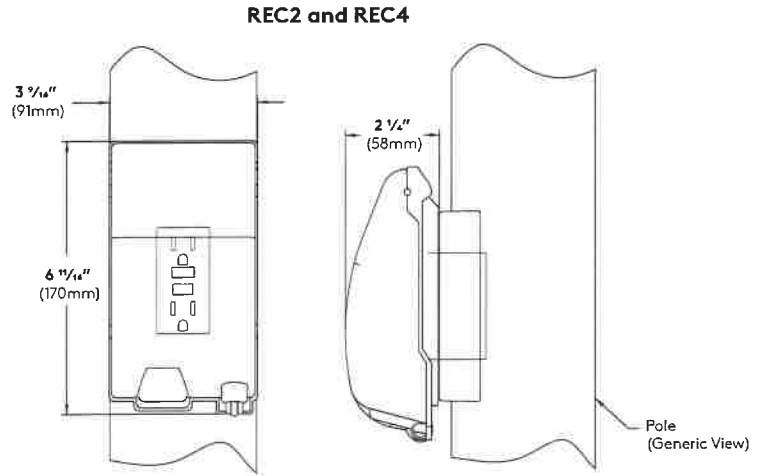


Cover shown in the closed position

GFCI Receptacle (REC) - 120V 15A GFCI duplex receptacle with weatherproof, self-closing cover; located 36" (915mm) o.c. from base of pole, in-line with hand hole. Receptacle is intended only for portable tools or other portable equipment to be connected to outlet only when attended by operating personnel (120V only).

USB & Duplex Receptacle (REC3) (not shown) - 120V 20A duplex receptacle with USB combination ports. (1) type A and (1) type C high power 5A, 5V USB outlets. With weatherproof, self-closing cover; located 36" (915mm) o.c. from base of pole, in-line with hand hole. Receptacle is intended only for portable tools or other portable equipment to be connected to outlet only when attended by operating personnel.

REC3 does not incorporate GFCI (Ground Fault Circuit Interrupter) protection, and shall be powered by a GFCI protected branch circuit (by others).



Cover shown in the closed position

GFCI Receptacle (REC2) - 120V 15A GFCI duplex receptacle with weatherproof, self-closing, padlockable in-use cover; located 36" (915mm) o.c. from base of pole, in-line with hand hole. Receptacle is intended only for portable tools or other portable equipment to be connected to outlet only when attended by operating personnel (120V only).

USB & Duplex Receptacle (REC4) (not shown) - 120V 20A duplex receptacle with USB combination ports. (1) type A and (1) type C high power 5A, 5V USB outlets. With weatherproof, self-closing padlockable in-use cover; located 36" (915mm) o.c. from base of pole, in-line with hand hole. Receptacle is intended only for portable tools or other portable equipment to be connected to outlet only when attended by operating personnel.

REC4 does not incorporate GFCI (Ground Fault Circuit Interrupter) protection, and shall be powered by a GFCI protected branch circuit (by others).

S35
3 1/2" Round Straight Steel Pole

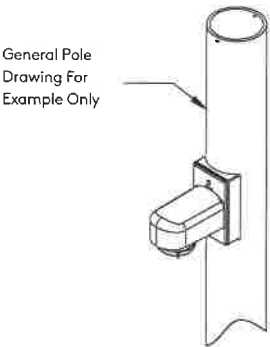
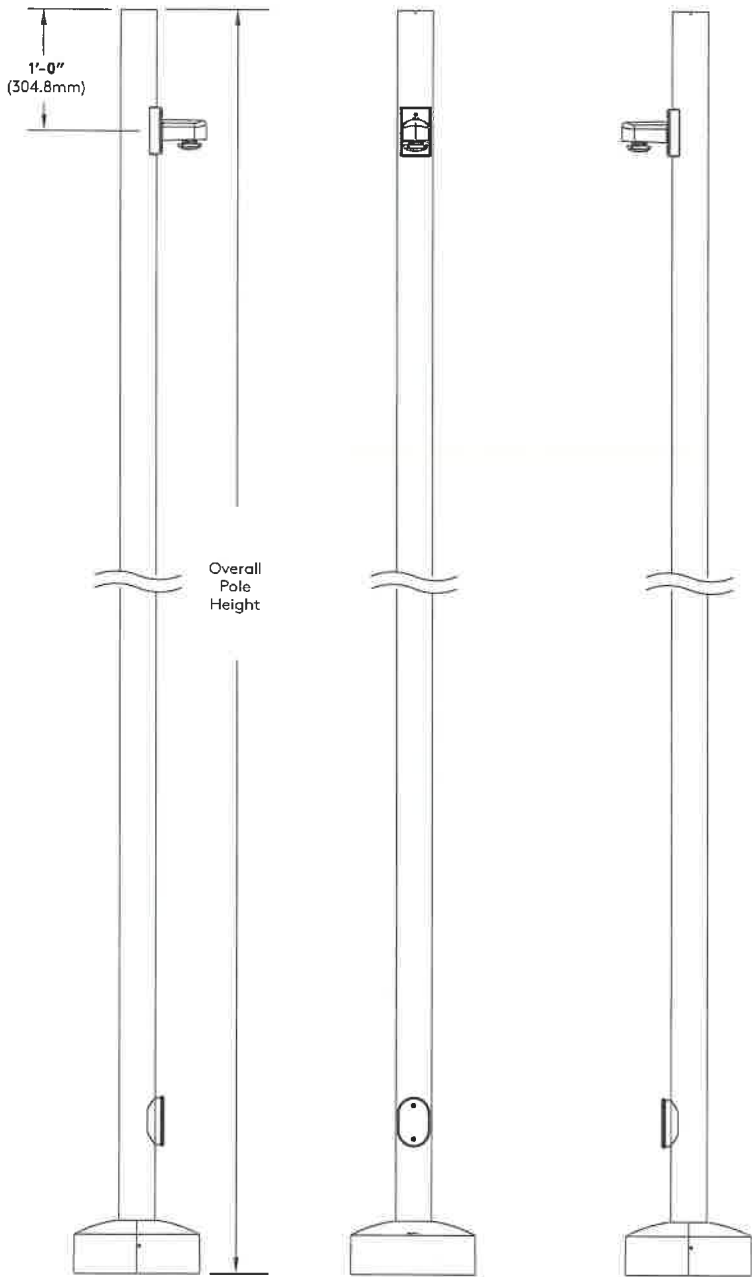


Round Pole Motion Sensor

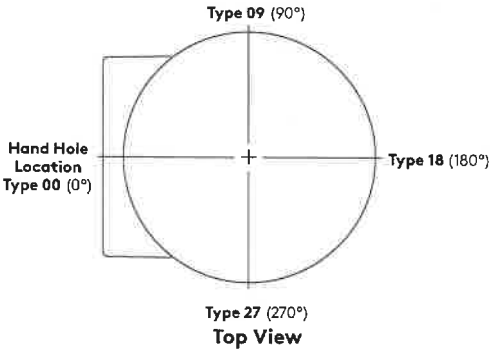
The Selux outdoor rated sensor incorporates Passive Infrared (PIR) Technology for motion sensing and also includes built-in photocell. Sensor comes pre-installed in cast aluminum housing painted to match pole finish.

Series	Hand Hole Orientation	Dim Level	Photocell Feature	Voltage
MS Motion Sensor	00 0° Clockwise from Hand Hole	D0 (Off)	Y Yes	UNV (100-347VAC single phase or 208/230/480VAC phase-to-phase)
	09 90° Clockwise from Hand Hole	D1 (1V=10%)		
	18 180° Clockwise from Hand Hole	D3 (3V=30%)	N No	
	27 270° Clockwise from Hand Hole	D5 (5V=50%)		

Factory Defaults:
Delay to Dim: 5 minutes
Delay to Off: 1 hour
Sensitivity: Max
Custom Programming: Consult Factory



Sensor angular orientation from hand hole 0°
90° increments clockwise around pole (Type 00, 09, 18, 27)

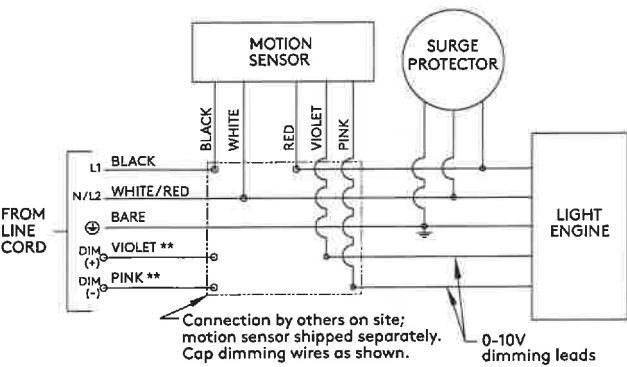


- Motion Sensor Features**
- Customize programming using smartphone application (Refer to the FSP-321 at www.wattstopper.com)
 - 5 Year Warranty
 - 100% Digital PIR Detection, excellent RF Immunity
 - 270° coverage pattern
 - IP66 Rated for outdoor applications
 - Made for LED light source
 - Adjustable time delays, max/min dim levels, and ramp rates
 - Suitable for Title 24 applications
- (For coverage details refer to wattstopper FSP-321 spec sheet at www.wattstopper.com)

S35
3 1/2" Round Straight Steel Pole



Motion Sensor Option (MS) Wiring (120-480V)



Wire Designation Table		
Source Voltage (VAC)	Wire Color	Wire Designation
120V, 277V, or 347V	Black	L1
	White	Neutral
208V, 240V, or 480V	Black	L1
	Red	L2
UNV (120V-277V)	Black	L1
	White	Neutral (120/277V) or L2 (208/240V)

DATE:	LOCATION:
TYPE:	PROJECT:
CATALOG #:	

**Architectural
FLOODLIGHT COLLECTION**

FEATURES

- Lumen range from 10,000 to 20,000 lm
- Color Temperature 3000K, 4000K, 5,000K at 70 and 80 CRI
- Yoke and Threaded Knuckle, and Slipfitter Knuckle mounting options
- 6 beam distributions and beam angles including: Narrow 17°x17°, Medium 26°x26°, Medium Flood 62°x62°, Wide 80°x81°, Horizontal 53°x21°, and Vertical 21°x53°



CONTROL TECHNOLOGY



SPECIFICATIONS

CONSTRUCTION

- One piece die-cast, low copper (<0.6% Cu) Aluminum Alloy 360 with vents and .100" minimum wall thickness
- Separate internal driver compartment rated for IP66 ingress protection
- Finish: fade and abrasion resistant, electrostatically applied, thermally cured, triglycidal isocyanurate (TGIC) polyester powdercoat.
- Standard colors include (BLS) Black Gloss Smooth, (BLT) Black Matte Textured, (DBS) Dark Bronze Gloss Smooth, (GTT) Graphite Matte Textured, (LGS) Light Gray Gloss Smooth, (PSS) Platinum Silver Smooth, (VGS) Verde Green Smooth, (WH) White, and (CC) Custom Color (Include RAL#).
- Lens is impact resistant 1/8" tempered glass with anti-reflective coating
- Lens has a one-piece extruded vulcanized silicone gasket
- Lens frame one piece die-cast, low copper (<0.6% Cu) Aluminum Alloy 360 and .100" minimum wall thickness
- Lens frame has a one-piece O-ring extruded vulcanized silicone gasket
- Mid-frame one piece die-cast, low copper (<0.6% Cu) Aluminum Alloy 360 and .100" minimum wall thickness
- Mid-frame secures to Lens Frame and housing by stainless steel recessed Allen-head screws
- Silicone gaskets throughout
- All external fasteners are stainless steel

OPTICS

- LEDs mount to a metal printed circuit board assembly (MCPCB)
- Optical lenses are clear injection molded PMMA acrylic

INSTALLATION

- Fixtures must be grounded in accordance with national, state and/or local electrical codes. Failure to do so may result in serious personal injury

ELECTRICAL

- Universal voltage, 120 through 277V with a ±10% tolerance. Driver is Underwriters Laboratories recognized
- High voltage configurations, 347/480. Driver has a 0-10V dimming interface for multi-level illumination options. Driver is Underwriters Laboratories recognized
- "Thermal Shield", secondary side, thermistor provides protection for the sustainable life of LED module and electronic components
- Drivers shall have greater than a 0.9 power factor, less than 20% harmonic distortion, and be suitable for operation in -40°C to 40°C ambient environments
- Luminaire shall be capable of operating at 100% brightness in a 40°C environment. Both driver and optical array have integral thermal protection that will dim the luminaire upon detection of temperatures in excess of 85°C

ELECTRICAL (CONTINUED)

- Dimming range from 10% to 100% through the use of standard 0-10V interface on the programmable driver
- Modular wiring harness in the service area provides user access to the dimming circuitry
- Optional factory programmed dimming profile
- Surge protection: 10,000k in parallel, 20,000k in series
- SF for 120, 277, 347 Line volts
DF for 208, 240, 480 Line volts
- Wiring: No. 18AWM rated 105°C, wet rating.

CERTIFICATIONS AND LISTINGS

- UL 1598 Standard for Luminaires.
- IP66 certified.
- RoHS compliant.

WARRANTY

- 5 year warranty



KFL3 White

RELATED PRODUCTS

Ouro

Pavilion

PGL8

KEY DATA	
Lumen Range	9,411–21,710
Wattage Range	90–175
Efficacy Range (LPW)	100.3–125.8
Reported Life (Hours)	L70/60,000
Weight	30 lbs 13.6 kg
EPA Front View / Side View	1.85 / .60

ORDERING GUIDE

Example: KFL3-60L-135-3K7-MF-UNV-K-GT-BD

CATALOG #

HOUSING

KFL3											
Housing		LED Engine		CCT/CRI		Beam Spread		Voltage		Mounting	
KFL3	Architectural Floodlight	40L-90	90W, 10,000 lm	3K7	3000K, 70 CRI	N	Narrow	UNV	Universal 120–277V	Y	Architectural Yoke
		60L-135	135W, 15,000 lm	3K8	3000K, 80 CRI	M	Medium	347	347V	K	Threaded Knuckle
		80L-175	175W, 20,000 lm	4K7	4000K, 70 CRI	MF	Medium Flood	480	480V	S	Slipfitter Knuckle
				4K8	4000K, 80 CRI	WF	Wide Flood				
				5K7	5000K, 70 CRI	HF	Horizontal Flood				
				5K8	5000K, 80 CRI	VF	Vertical Flood				
										Mounting	
										Color	
										BLS	Black Gloss Smooth
										BLT	Black Matte Textured
										DBS	Dark Bronze Gloss Smooth
										DBT	Dark Bronze Matte Textured
										GTT	Graphite Matte Textured
										LGS	Light Grey Gloss Smooth
										LGT	Light Grey Matte Textured
										PSS	Platinum Silver Gloss Smooth
										VGT	Verde Green Matte Textured
										WHS	White Gloss Smooth
										WHT	White Matte Textured
										Color Option	
										CC ¹	Custom Color

		TYPE B	
Control Options		Options	
PC ³	Button Photocontrol	SF	Single Fuse 120, 277, 347 Line Volts
NXW	NX Wireless Enabled	DF	Double Fuse 208, 240, 480 Line Volts
		BD	Barn Doors
		HS	Half Glare Shield

Mounting Accessories

Mounting Accessories		Accessories Color	
JBR 2/3/21/24 ²	Brass In-Grade Architectural Junction Box	BLS	Black Gloss Smooth
JBR 4/5 ²	Composite In-Grade Architectural Junction Box	BLT	Black Matte Textured
JBR30 ²	(2) ½" NPT in bottom, (2) 19" long stakes Brass In-Grade Staked Junction Box	DBS	Dark Bronze Gloss Smooth
JBR32 ²	(2) ½" NPT in bottom, (2) 19" long stakes with 9' cord Brass In-Grade Staked Junction Box	DBT	Dark Bronze Matte Textured
J-27N	Surface Mount	GTT	Graphite Matte Textured
JB1	Architectural Junction Box	LGS	Light Grey Gloss Smooth
M2B	Twin Mount Tenon	LGT	Light Grey Matte Textured
M3E	Triple Mount Tenon	PSS	Platinum Silver Gloss Smooth
SPT	Side Pole Mount Tenon	VGT	Verde Green Matte Textured
SM2	Stanchion Mount Tenon	WHS	White Gloss Smooth
SM18	Stanchion Mount	WHT	White Matte Textured
SPM	Side Pole Mount	Color Option	
SMT	Surface Mount Tenon	CC ¹	Custom Color
WM	Wall or Ceiling Mount		
WM1	Wall Mount		
WM2	Wall Mount Tenon		

Notes:

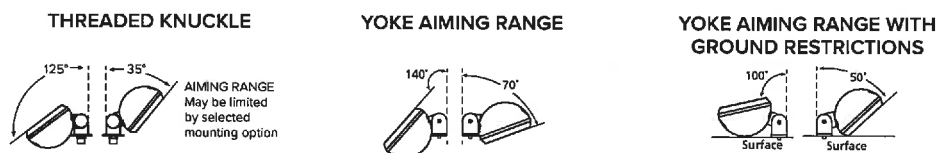
- Consult factory for custom color, marine and corrosive finish options
- See pages 8 for all JBR options and ordering logic
- Not available in 480V

DELIVERED LUMENS

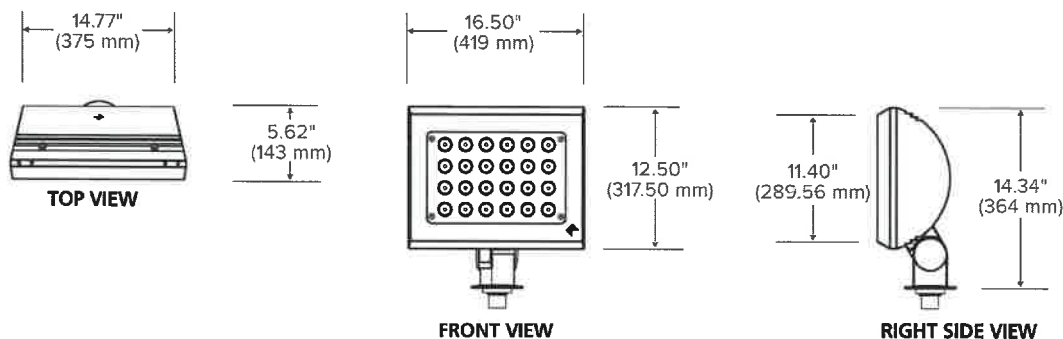
LEDs #	Nominal Watts	Nominal Lumens	Distribution	Beam Angles	3000K 70CRI			4000K 70CRI			5000K 70CRI		
					Lumen	Center Beam Candlepower	lm/w	Lumen	Center Beam Candlepower	lm/w	Lumen	Center Beam Candlepower	lm/w
40L	90	10,000 lm	N	17° x 17°	9447	82353	104.4	9710	84646	107.3	10080	87871	111.6
			M	27° x 28°	9883	34135	109.2	10159	35088	112.2	10546	36425	116.5
			MF	62° x 63°	9941	10543	109.8	10217	10835	112.9	10607	11249	117.1
			WF	81° x 81°	10699	7957	118.2	10997	8178	121.5	11416	8490	125.8
			HF	53° x 21°	9458	16271	104.5	9721	16724	107.4	10092	17362	111.6
			VF	21° x 53°	9411	16308	104.0	9673	16762	106.9	10042	17401	111.1
60L	135	15,000 lm	N	17° x 17°	13951	125164	104.7	14339	128645	107.6	14886	133553	111.6
			M	27° x 27°	14488	50783	108.7	14891	52195	111.7	15459	54186	116.1
			MF	62° x 62°	14753	16207	110.7	15164	16658	113.8	15742	17293	117.6
			WF	80° x 80°	15738	11759	118.1	16176	12086	121.4	16793	12547	125.8
			HF	53° x 21°	13709	23862	102.9	14091	24529	105.7	14628	25464	110.2
			VF	21° x 53°	13610	23691	102.1	13990	24352	105.0	14523	25280	109.3
80L	175	20,000 lm	N	17° x 17°	18241	164445	103.8	18749	169024	106.7	19464	175470	110.7
			M	26° x 26°	18966	67733	107.9	19495	69623	111.0	20238	72276	115.0
			MF	62° x 62°	19035	20901	108.3	19565	21483	111.4	20311	22302	115.5
			WF	80° x 81°	20346	15200	115.8	20913	15624	119.0	21710	16219	123.7
			HF	53° x 21°	17615	31364	100.3	18106	32238	103.0	18796	33467	107.1
			VF	21° x 53°	17679	31509	100.6	18171	32386	103.4	18864	33621	107.5

CRI Lumen Multiplier	
CCT	80 CRI
3000K	0.9119
4000K	0.8941
5000K	0.8625

AIMING INFORMATION



DIMENSIONS



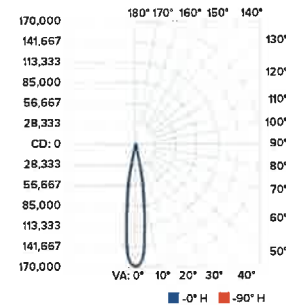
PHOTOMETRY

KFL3-80L-175-4K7-N

LUMINAIRE DATA

Description	4000K, 70CRI
Delivered Lumens	18749
Watts	175.7
Efficacy	106.7
Beam Angles (H x V)	17° x 17°
Center Beam Candlepower	169024

POLAR CANDELA DISTRIBUTION



ILLUMINANCE AT A DISTANCE

Center Beam fc	Beam Width
68.5 ft	36.00 fc
137.0 ft	9.01 fc
205.6 ft	4.00 fc
274.1 ft	2.25 fc
342.6 ft	1.44 fc
411.1 ft	1.00 fc
Vertical Spread: 16.5°	Horizontal Spread: 16.6°

LUMENS PER ZONE

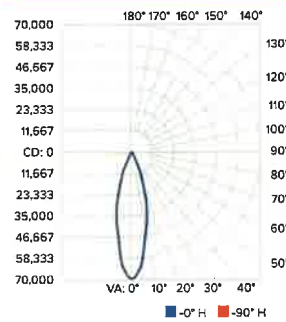
Zone	Lumens	% Total
0-10	10,366.2	54.90%
10-20	5,828.3	30.90%
20-30	1,066.3	5.70%
30-40	476.1	2.50%
40-50	402.6	2.10%
50-60	328.4	1.70%
60-70	239.9	1.30%
70-80	133.9	0.70%
80-90	28.2	0.10%

KFL3-80L-175-4K7-M

LUMINAIRE DATA

Description	4000K, 70CRI
Delivered Lumens	19495
Watts	175.7
Efficacy	111.0
Beam Angles (H x V)	26° x 26°
Center Beam Candlepower	69623

POLAR CANDELA DISTRIBUTION



ILLUMINANCE AT A DISTANCE

Center Beam fc	Beam Width
44.0 ft	36.00 fc
87.9 ft	9.01 fc
131.9 ft	4.00 fc
175.9 ft	2.25 fc
219.8 ft	1.44 fc
263.8 ft	1.00 fc
Vertical Spread: 26.8°	Horizontal Spread: 26.6°

LUMENS PER ZONE

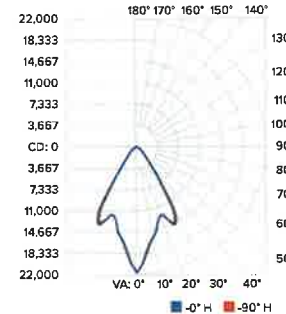
Zone	Lumens	% Total
0-10	5,158.4	26.40%
10-20	8,367.7	42.80%
20-30	4,026.0	20.60%
30-40	1,019.0	5.20%
40-50	395.9	2.00%
50-60	281.9	1.40%
60-70	182.3	0.90%
70-80	90.8	0.50%
80-90	20.2	0.10%

KFL3-80L-175-4K7-MF

LUMINAIRE DATA

Description	4000K, 70CRI
Delivered Lumens	19565
Watts	175.7
Efficacy	111.4
Beam Angles (H x V)	62° x 62°
Center Beam Candlepower	21483

POLAR CANDELA DISTRIBUTION



ILLUMINANCE AT A DISTANCE

Center Beam fc	Beam Width
24.40 ft	36.10 fc
48.8 ft	9.02 fc
73.2 ft	4.01 fc
97.7 ft	2.25 fc
122.1 ft	1.44 fc
146.5 ft	1.00 fc
Vertical Spread: 62.5°	Horizontal Spread: 62.1°

LUMENS PER ZONE

Zone	Lumens	% Total
0-10	1,654.6	8.40%
10-20	3,949.9	20.20%
20-30	6,536.7	33.40%
30-40	4,257.1	21.70%
40-50	1,649.4	8.40%
50-60	782.3	4.00%
60-70	484.1	2.50%
70-80	218.0	1.10%
80-90	51.9	0.30%

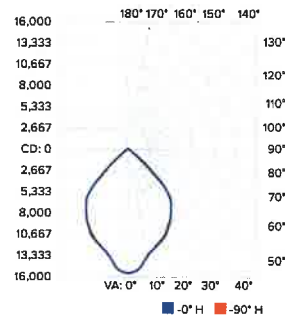
PHOTOMETRY CONTINUED

KFL3-80L-175-4K7-WF

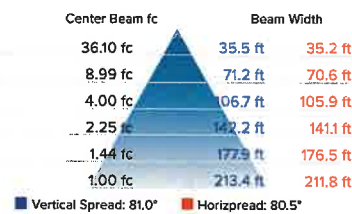
LUMINAIRE DATA

Description	4000K, 70CRI
Delivered Lumens	20913
Watts	175.7
Efficacy	119.0
Beam Angles (H x V)	80° x 81°
Center Beam Candlepower	15624

POLAR CANDELA DISTRIBUTION



ILLUMINANCE AT A DISTANCE



LUMENS PER ZONE

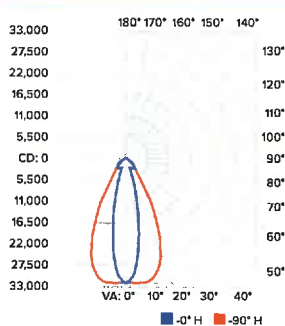
Zone	Lumens	% Total
0-10	1,397.1	6.70%
10-20	3,594.0	17.20%
20-30	5,113.7	24.40%
30-40	5,699.6	27.20%
40-50	4,076.9	19.50%
50-60	823.6	3.90%
60-70	148.6	0.70%
70-80	63.6	0.30%
80-90	17.4	0.10%

KFL3-80L-175-4K7-HF

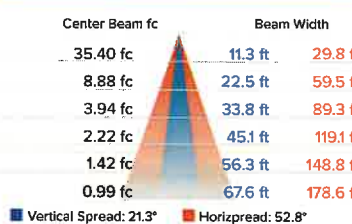
LUMINAIRE DATA

Description	4000K, 70CRI
Delivered Lumens	18106
Watts	175.7
Efficacy	103.1
Beam Angles (H x V)	53° x 21°
Center Beam Candlepower	32238

POLAR CANDELA DISTRIBUTION



ILLUMINANCE AT A DISTANCE



LUMENS PER ZONE

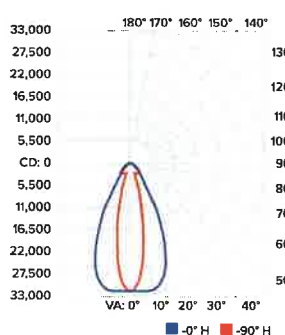
Zone	Lumens	% Total
0-10	2,726.4	15.00%
10-20	4,825.7	26.60%
20-30	3,051.4	16.80%
30-40	2,195.1	12.10%
40-50	2,387.1	13.20%
50-60	1,738.1	9.60%
60-70	830.2	4.60%
70-80	327.8	1.80%
80-90	61.8	0.30%

KFL3-80L-175-4K7-VF

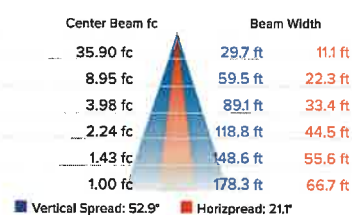
LUMINAIRE DATA

Description	4000K, 70CRI
Delivered Lumens	18171
Watts	175.7
Efficacy	103.4
Beam Angles (H x V)	21° x 53°
Center Beam Candlepower	32386

POLAR CANDELA DISTRIBUTION



ILLUMINANCE AT A DISTANCE

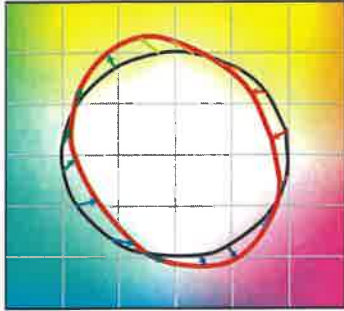


LUMENS PER ZONE

Zone	Lumens	% Total
0-10	2,734.1	15.00%
10-20	4,838.7	26.60%
20-30	3,056.1	16.80%
30-40	2,212.7	12.20%
40-50	2,387.2	13.10%
50-60	1,743.8	9.60%
60-70	837.6	4.60%
70-80	332.8	1.80%
80-90	63.8	0.40%

TM-30 DATA

COLOR VECTOR GRAPHIC

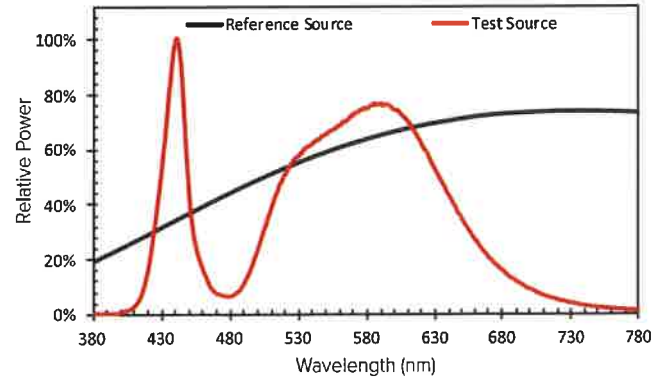


— Reference Illuminant — Test Source

TEST SOURCE

R _r	68
R _g	99
CCT(K)	3947
D _{uv}	0.0004
x	0.3831
y	0.3793
CIE R _a	72

SPECTRAL POWER DISTRIBUTION COMPARISON



ELECTRICAL DATA

Electrical												Dimming					
Light Engine	System Watts	Drive Current	Line Voltage		Amps AC						Min. Power Factor	Max THD (%)	Dimming Range	Source current out of 0-10V		Absolute voltage range on 0-10V (+)	
			VAC	Hz	120	208	240	277	347	480				Min	Max	Min	Max
40L	90	700 mA	120-480	50/60	0.75	0.43	0.38	0.32	0.26	0.19	>0.9	20	10% to 100%	0mA	1mA	0V	10V
60L	135				1.13	0.65	0.56	0.49	0.39	0.28							
80L	175				1.46	0.84	0.73	0.63	0.50	0.36							

TM-21 Lifetime Calculation - Projected Lumen Maintenance (25°C / 77°C)

Hours	0	25,000	36,000	50,000	100,000	Reported L70
Projected Lumen Maintenance	100%	95.95%	94.71%	93.16%	87.84%	> 60,000

CRI Multiplier

CCT	Multiplier
3000K	0.9119
4000K	0.8941
5000K	0.8625

PRODUCT EXCEPTIONS & DETAILS

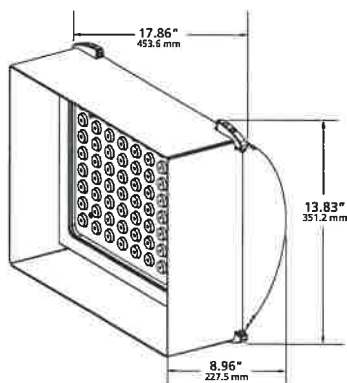
OPTICAL OPTIONS

BARN DOORS (BD)

- Formed 3/32" thick aluminum. Each door is hinged to a cast, low copper (<0.6% Cu) aluminum frame, and locks by set screws. Doors are individually removable. Barn Door assembly mounts to predrilled door frame holes. Assembly will be painted to match fixture housing

CAUTION:

- Not recommended for ground mounted fixtures in vandal prone areas

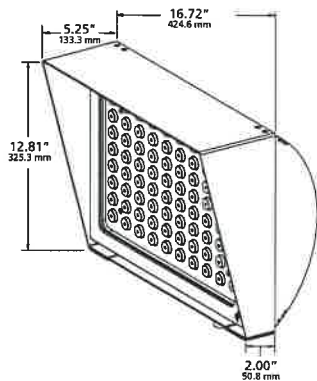


HALF GLARE SHIELD (HS)

- Formed 3/32" thick aluminum. Mounts to predrilled door frame holes. Can be mounted along the top or bottom of the fixture to shield the lamp and lens from view. Assembly will be painted to match fixture housing

CAUTION:

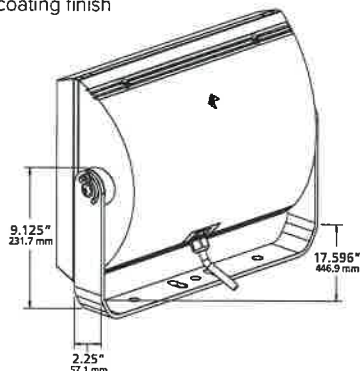
- Not recommended for ground mounted fixtures in vandal prone areas



MOUNTING OPTIONS

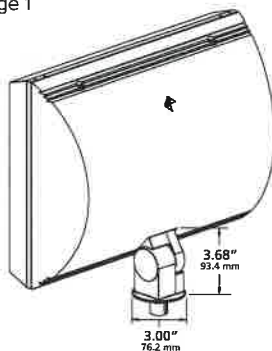
ARCHITECTURAL YOKE (Y)

- Architectural Yoke Mount used for surface mounting applications. Secured to surface using three 1/4" bolts
- Yoke is stainless steel material with powder coating finish



THREADED KNUCKLE (K)

- Threaded Knuckle is die-cast aluminum with integral locking teeth providing 5° adjustment intervals. Stainless steel allen-head screw with spring locking washer and 1/2" NPSM. Clear anodized prior to chromate conversion coating for added corrosion resistance
- Threaded Knuckle mounting used in conjunction with mounting accessories listed on page 1

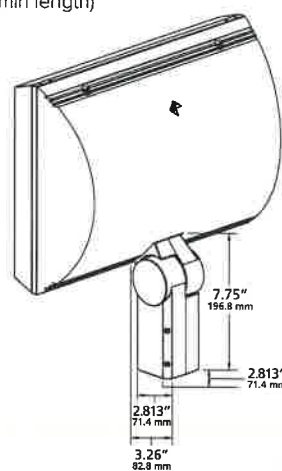


SLIPFITTER KNUCKLE (S)

- Slipfitter Knuckle is die-cast aluminum with integral locking teeth providing 5° adjustment intervals. Stainless steel hardware Allen-head screw with spring locking washer and four set screws. Clear anodized prior to chromate conversion coating for added corrosion resistance

NOTE:

- Slips over 2" pipe-size tenon (2 3/8" O.D. x 3 1/2" min length)

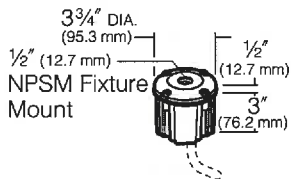


PRODUCT EXCEPTIONS & DETAILS CONTINUED

MOUNTING ACCESSORIES

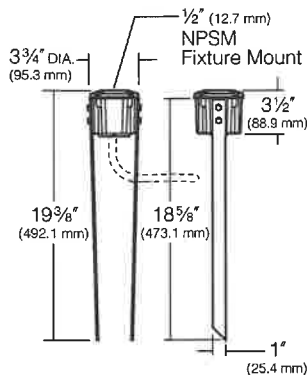
BRASS IN-GRADE ARCHITECTURAL JUNCTION BOX (THREADED KNUCKLE MOUNT ONLY)

- **JBR-2** (2) 1/2" NPT in bottom
- **JBR-3**, (2) 3/4" NPT in bottom
- **JBR21** (2) 1/2" NPT in sides (2) 1/2" NPT in bottom
- **JBR24** (4) 1/2" NPT in sides (2) 1/2" NPT in bottom
- Die-cast brass with 1/2" NPSM fixture mount and die-cast cover. Internal set screw provided for locking position. 21 cu in. internal volume. **NOTE:** All side taps provided with plugs. Creates a flush-mounted appearance. May be cast in concrete for increased stability. **CAUTION:** Fixture stem and swivel must not contact soil or standing water. Provide drainage away from junction box.



BRASS IN-GRADE STAKED JUNCTION BOX (THREADED KNUCKLE MOUNT ONLY)

- **JBR-30** (2) 1/2" NPT in bottom, (2) 19" long stakes Brass In-Grade Staked Junction Box
- **JBR-32**, (2) 19" long stakes
- Die-cast brass with 1/2" NPSM fixture mount and die-cast cover. Internal set screw provided for locking position. 21 cu in. internal volume. Creates a flush-mounted appearance. May be cast in concrete for increased stability. **CAUTION:** To assure a rigid installation, Staked Junction Box must be set in concrete (by others). Fixture stem and swivel must not contact soil or standing water. Provide drainage away from junction box.

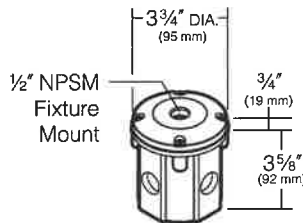


COMPOSITE IN-GRADE ARCHITECTURAL JUNCTION BOX

- **JBR-4** (2) 1/2" NPT knock-outs in bottom (4) 1/2" NPT knock-outs on sides at 90°
- **JBR-5** Same as above but with brass cover
- Composite box with 1/2" NPSM fixture mount and composite cover. Internal set screw provided for locking position. 19 cu in. internal volume.

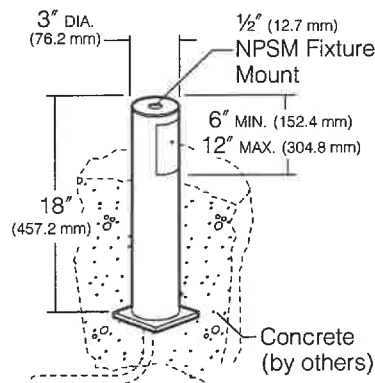
NOTE: May also be used to hard mount low voltage fixtures.

CAUTION: Fixture stem and swivel must not contact soil or standing water. Provide drainage away from junction box.



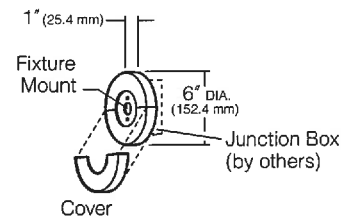
STANCHION MOUNT (SM18) (THREADED KNUCKLE MOUNT ONLY)

- 3" O.D. by .188" wall cast low copper (<0.6% Cu) aluminum with 1/2" NPSM fixture mount and hand hole with flush cover. Internal set screw fixture lock accessible through hand hole. Internal ground lug supplied with installed lead. **CAUTION:** To assure a rigid installation, stanchion must be set in concrete (by others).



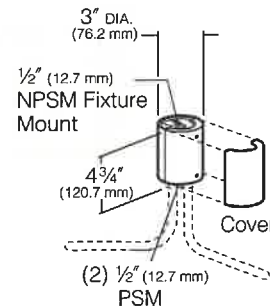
WALL OR CEILING MOUNT (WM) (THREADED KNUCKLE MOUNT ONLY)

- Electro zinc steel mounting plate adapts to standard 4" square or octagonal Junction Boxes. Fixture mounts to cast low copper (<0.6% Cu) aluminum upper cover which attaches to mounting plate. Lower cover half provides splice access. Dielectric sealing compound provided for wall interface.



ARCHITECTURAL JUNCTION BOX (JB1) (THREADED KNUCKLE MOUNT ONLY)

- Die-cast, low copper (<0.6% Cu) anodized aluminum with 1/2" NPSM fixture mount. Internal set screw provided for locking position. Two 1/2" NPSM in bottom, 17 cu in. internal volume. **CAUTION:** Junction Box must be installed high enough to avoid contact with soil or standing water.



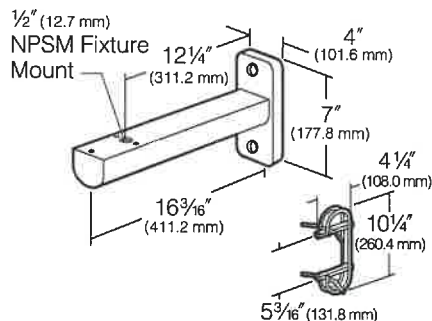
PRODUCT EXCEPTIONS & DETAILS CONTINUED

MOUNTING ACCESSORIES

WALL MOUNT (WM1)

(THREADED KNUCKLE MOUNT ONLY)

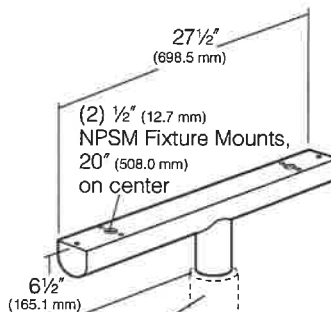
- Extruded aluminum arm with a removable end cap for wiring access. Arm is welded to a cast aluminum plate with two 1/2" dia. mounting holes. Optional Wall Embedment Bracket (WEB) provides 3/8-16 bolt receptacles welded in a galvanized re-bar cage for casting into poured-in-place concrete walls. Bolt receptacles receive fixture attachment bolts. Component EPA: 0.3.



TWIN MOUNT (TM2)

(THREADED KNUCKLE MOUNT ONLY)

- Extruded aluminum arm. Internal set screw fixture locks. Can be mounted on a SM2, SMT, or Steel Kim Pole with steel 2" pipe-size tenon (2-3/8" O.D. x 3-1/2" min. length). Removable end caps for wiring access. CAUTION: Approved for mounting to poles with steel tenons only. Component EPA: 0.6.

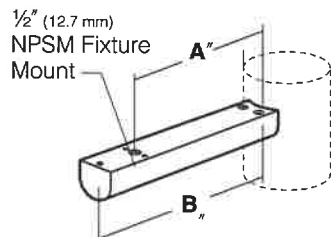


Option with Steel
2" Pipe-Size Tenon (50.8 mm)
(SM2, SMT, or KIM Pole)

SIDE POLE MOUNT (SPM-X)

(THREADED KNUCKLE MOUNT ONLY)

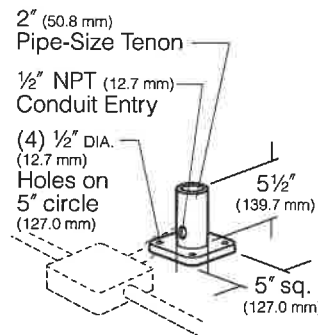
- Available for Round and Square Poles. Extruded aluminum arm. Internal set screw fixture lock. Removable end cap for wiring access. For use with other Kim Site/Roadway Luminaires as an additional mid-pole floodlight. X in Side Pole Mount Cat. No. indicates 3", 3-1/2", 4", 5" or 6" pole dia. Example: SPM-4/BL is for 4" round pole with Black finish. For square poles, omit -X. NOTE: Field drilling of Poles is required. Component EPA: 0.3.



A 11 1/2" (292.1 mm) For Round Poles
12" (304.8 mm) For Square Poles
B 15 3/8" (390.5 mm) For Round Poles
15 7/8" (403.2 mm) For Square Poles

SURFACE MOUNT TENON (SMT/BL)

- (2" tenon for optional heavy duty swivel mount only)
- 2" pipe-size tenon (2-3/8" O.D., 2" I.D.) welded to a cast aluminum plate. Plate has four 1/2" mounting holes, and tenon has one 1/2" NPT for side conduit entry. Black finish.
- NOTE: Not for use with PT2, M2B, or M3E options. May be wall mounted if horizontal fixture adjustment is not required. For wall mounting with horizontal fixture adjustment, use WM2.

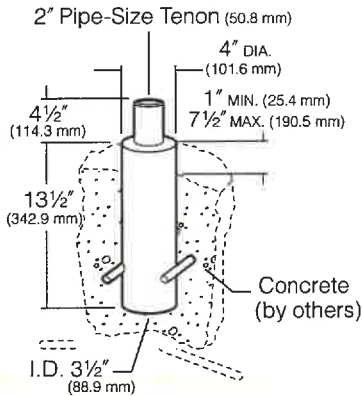


PRODUCT EXCEPTIONS & DETAILS CONTINUED

MOUNTING ACCESSORIES

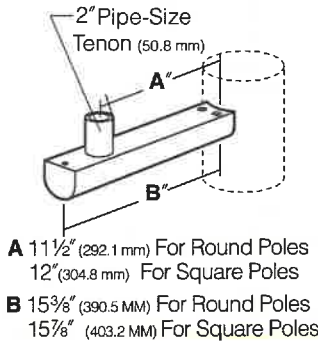
STANCHION MOUNT TENON (SM2/BL)

- (2" tenon for optional heavy duty swivel mount only)
- 4" O.D. cast low copper (<0.6% Cu) aluminum stanchion with 2" pipe-size tenon (2-3/8" O.D., 1-3/8" I.D.) for mounting a single fixture or multiple top-mounts. Black finish.
- CAUTION: Multiple top-mounts must not be used in locations where people can climb on fixtures and mounting arms. To assure a rigid installation, stanchion must be set in concrete (by others).



SIDE POLE MOUNT TENON (SPT-X)

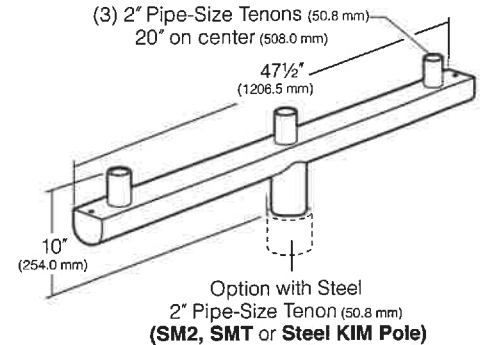
- (2" tenon for optional heavy duty swivel mount only)
- Available for Round and Square Poles. Extruded aluminum arm with one 2" pipe-size tenon (2-3/8" O.D., 2" I.D.). Removable end cap for wiring access. For use with other Kim Site/Roadway Luminaires as an additional mid-pole floodlight. X in Side Pole Mount Cat. No. indicates 3", 3-1/2", 4", 5" or 6" pole dia. Example: SPM-4/BL is for 4" round pole with Black finish. For square poles, omit -X. NOTE: Field drilling of Poles is required. Not for use with PT2 option. Component EPA: 0.3.



Triple Mount Tenon (M3E)

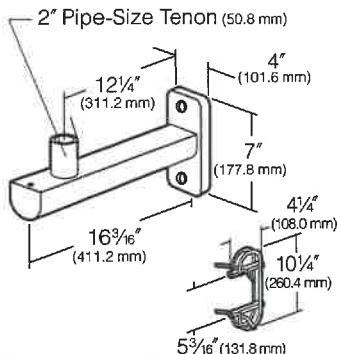
- (2" tenon for optional heavy duty swivel mount only)
- Extruded aluminum arm with three 2" pipe-size tenons (2-3/8" O.D., 2" I.D.). Can be mounted on a SM2, SMT, or Steel Kim Pole with steel 2" pipe-size tenon (2-3/8" O.D. x 3-1/2" min. length). Removable end caps for wiring access.

CAUTION: Approved for mounting to poles with steel tenons only. Not for use with PT2 option. Component EPA: 1.0.



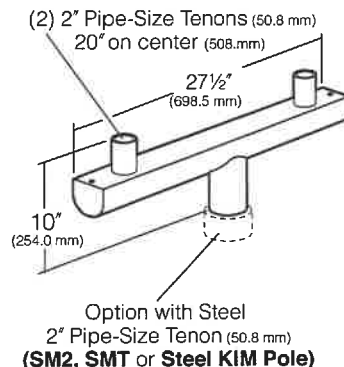
WALL MOUNT TENON (WM2)

- (2" tenon for optional heavy duty swivel mount only)
- 2" pipe-size tenon (2-3/8" O.D., 2" I.D.) welded to an extruded aluminum arm with a removable end cap for wiring access. Arm is welded to a cast aluminum plate with two 1/2" mounting holes. Optional Wall Embedment Bracket (WEB) provides 3/8-16 bolt receptacles welded in a galvanized re-bar cage for casting into poured-in-place concrete walls. Bolt receptacles receive fixture attachment bolts. Component EPA: 0.3.



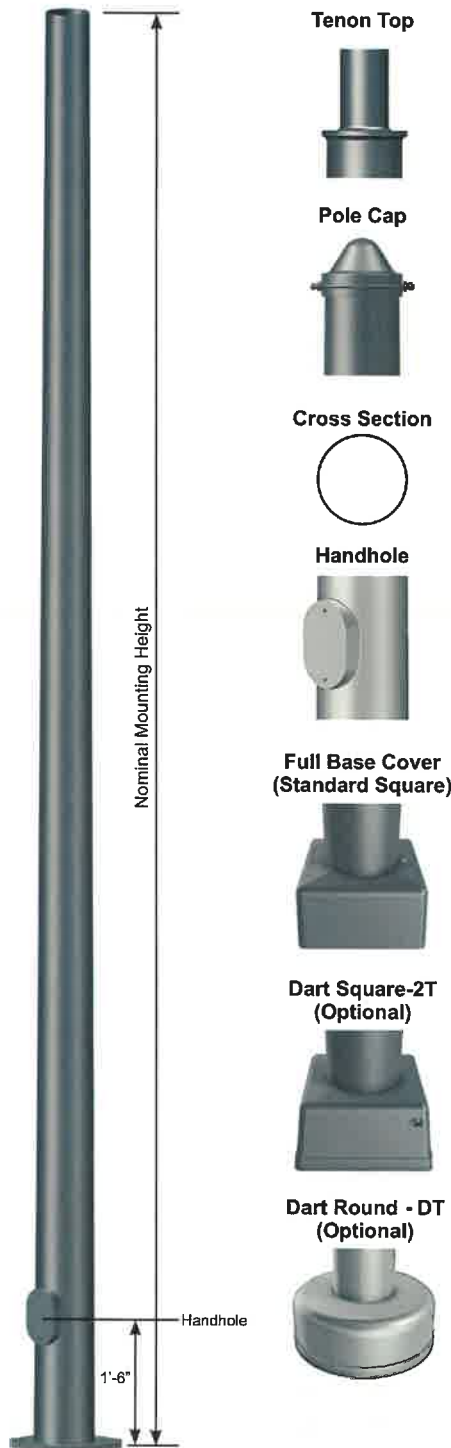
TWIN MOUNT TENON (M2B)

- (2" tenon for optional heavy duty swivel mount only)
- Extruded aluminum arm with two 2" pipe-size tenons (2-3/8" O.D., 2" I.D.). Can be mounted on a SM2, SMT, or Steel Kim Pole with a steel 2" pipe-size tenon (2-3/8" O.D. x 3-1/2" min. length). Removable end caps for wiring access. CAUTION: Approved for mounting to poles with steel tenons only. Not for use with PT2 option. Component EPA: 0.6.



Job Name: _____	Client Name: _____
Job Location - City: _____ State: _____	Created By: _____ Date: _____
Product: DS210 _____ Quote: _____	Customer Approval: _____ Date: _____

SPECIFICATIONS



Pole Shaft - The pole shaft is a 1-piece assembly conforming to ASTM A595 Grade A or A572 Grade 55 with a constant linear taper of 0.14 in/ft.

Pole Top - Pole is provided with either a tenon top or drilled for a fixture mounting. A removable pole cap is provided for drilled poles. Consult the luminaire manufacturer for correct tenon size or drill pattern. Other pole top options include pole cap only (PC) or plain top (PL) which is typical when the pole top diameter matches the necessary slip fit dimensions.

Handhole - A reinforced handhole with grounding provision is provided at 1'-6" from the base end of the pole assembly. Each handhole includes a cover and the cover attachment hardware. Poles with a 5.90" base diameter are supplied with a 3" X 5" rectangular handhole. All other pole assemblies are provided with a 4" X 6.5" ovalized handhole. Handhole dimensions are nominal.

Base Cover - A two-piece full base cover fabricated from ABS plastic is provided with each pole assembly. Valmont reserves the right to provide a two-piece steel full base cover on some applications depending upon the finish requirement and/or pole base diameter. Nut covers can be substituted on most models. Additional base cover options, including the Dart Square (2T) cast aluminum cover and Dart Round (DT) cast aluminum cover, are available upon request.

Anchor Bolts - Anchor bolts conform to ASTM F1554 Grade 55 and are provided with two hex nuts and two flat washers. Bolts have an "L" bend on one end and are galvanized a minimum of 12" on the threaded end.

Hardware - All structural fasteners are galvanized high strength carbon steel. All non-structural fasteners are galvanized or zinc-plated carbon steel or stainless steel.

Finish - Standard finishes are either Galvanized (GV) or Finish Painted (FP). Additional finish options including Finish Paint over Galvanizing (FPGV) or any of the V-PRO™ Finish Coating Systems are available upon request. See the product ordering code for color options.

Design Criteria - Please reference Design Criteria Specification for appropriate design conditions.

ROUND TAPERED STEEL DS210 Light Duty

valmont 
STRUCTURES

Job Name: _____	Client Name: _____
Job Location - City: _____ State: _____	Created By: _____ Date: _____
Product: DS210 _____ Quote: _____	Customer Approval: _____ Date: _____

DESIGNATION, LOAD AND DIMENSIONAL DATA

NOMINAL MOUNTING HEIGHT	DESIGN INFORMATION						POLE DIMENSIONS				DESIGNATION
	80 MPH w/1.3 GUST		90 MPH w/1.3 GUST		100 MPH w/1.3 GUST		BASE OD (IN)	TOP OD (IN)	WALL THK (GA)	STRUCTURE WEIGHT ² (LBS)	
	MAX EPA ¹ (SQFT)	MAX WEIGHT ¹ (LBS)	MAX EPA ¹ (SQFT)	MAX WEIGHT ¹ (LBS)	MAX EPA ¹ (SQFT)	MAX WEIGHT ¹ (LBS)					
20'-0"	19.3	482	15.1	377	12.2	305	5.90	3.10	11	140	590A200
	24.2	605	19.3	482	15.6	390	6.50	3.70	11	160	650A200
25'-0"	12.5	312	9.9	247	8.0	200	5.90	2.40	11	155	590A250
	20.3	507	16.2	405	13.1	327	7.00	3.50	11	200	700A250
	30.5	760	24.0	625	19.8	495	7.00	3.50	7	280	700E250
30'-0"	11.7	292	9.3	232	7.5	187	6.60	2.40	11	200	660A300
	18.9	473	14.9	373	12.0	300	8.00	3.80	11	265	800A300
	33.5	838	27.0	675	22.0	550	8.00	3.80	7	380	800E300
35'-0"	11.2	280	8.9	222	7.1	177	7.30	2.40	11	250	730A350
	18.9	472	15.1	377	12.2	305	8.50	3.60	11	315	850A350
	23.2	580	18.2	455	14.5	363	9.50	4.60	11	370	950A350
39'-0"	10.7	267	8.5	212	6.6	165	7.82	2.40	11	285	782A389
	17.2	430	13.5	338	10.8	270	9.00	3.58	11	355	900A389
	28.5	715	23.0	575	19.0	475	9.00	3.58	7	515	900E389
45'-0"	17.4	435	13.5	338	10.6	265	10.00	3.70	11	450	T00A450
	28.5	715	23.0	575	19.0	475	10.00	3.70	7	650	T00E450
50'-0"	13.2	330	10.6	265	8.3	208	10.00	3.00	11	475	T00A500
	20.5	512	16.5	412	13.6	340	10.00	3.00	7	680	T00E500

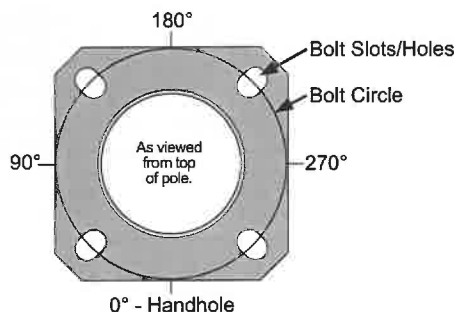
DS210 Heavy Duty poles available at
valmontstructures.com

- Maximum EPA (Effective Projected Area) and weight values are based on top mounted luminaires and/or brackets having a centroid 2'-6" above the Nominal Mounting Height. Variations from sizes above are available upon inquiry at the factory. Satisfactory performance of poles is dependent upon the pole being properly attached to a supporting foundation of adequate design.
- Structure weight is a nominal value which includes the pole shaft and base plate only.

ANCHORAGE DATA

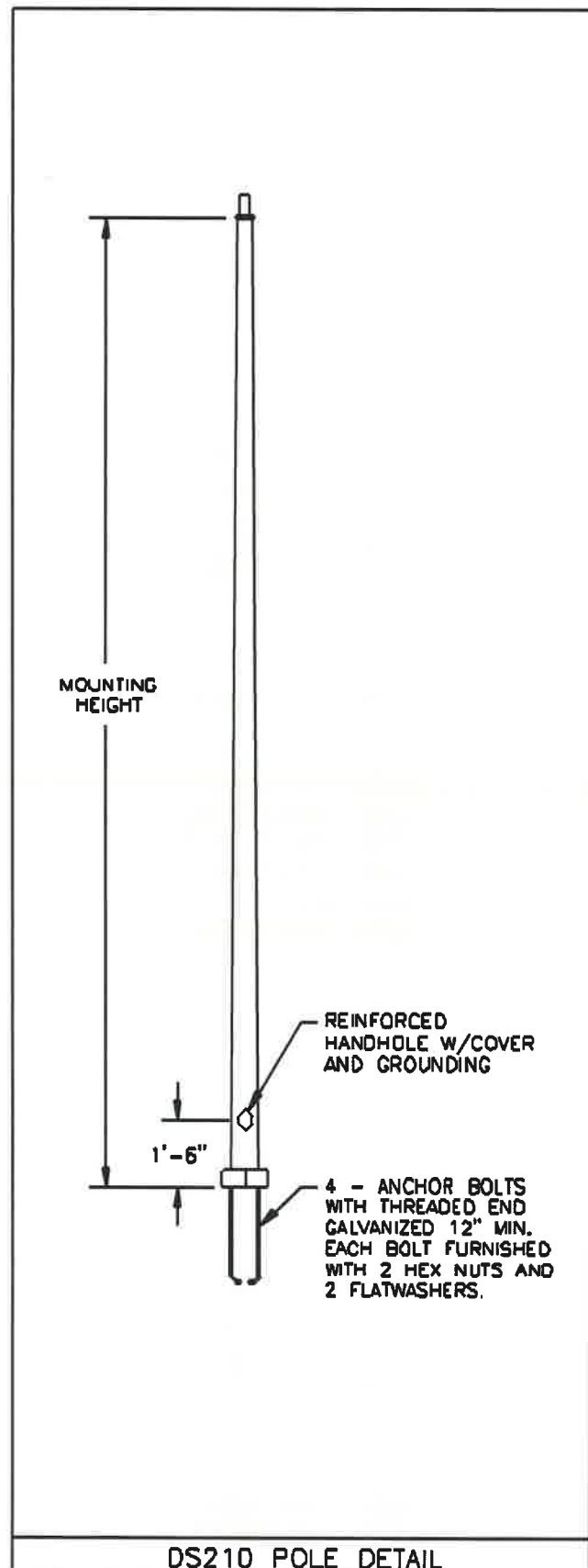
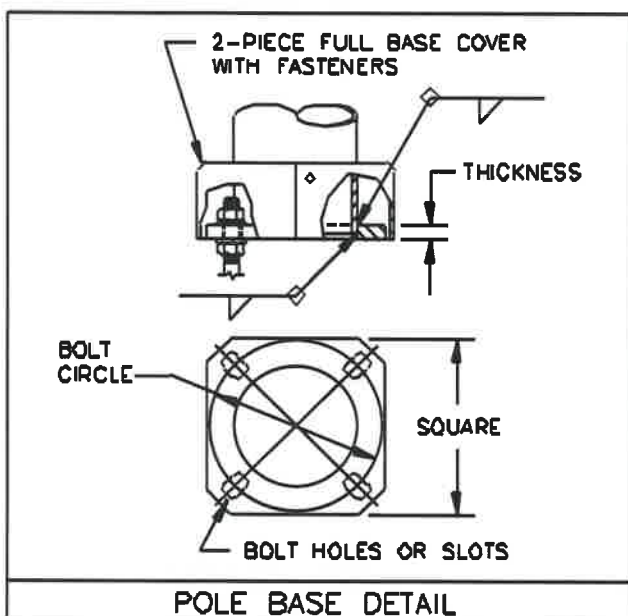
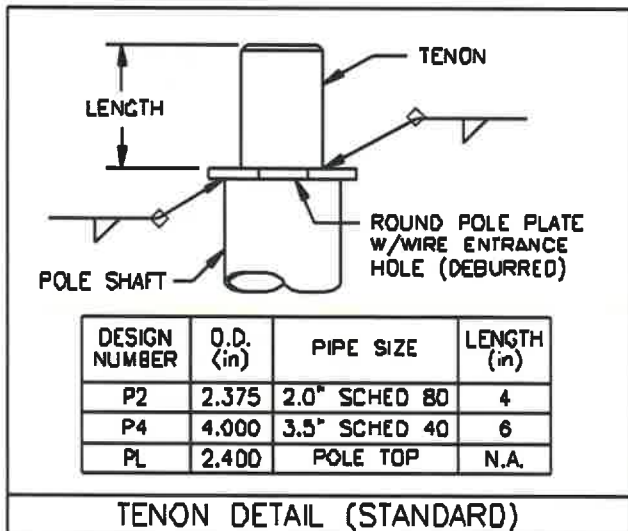
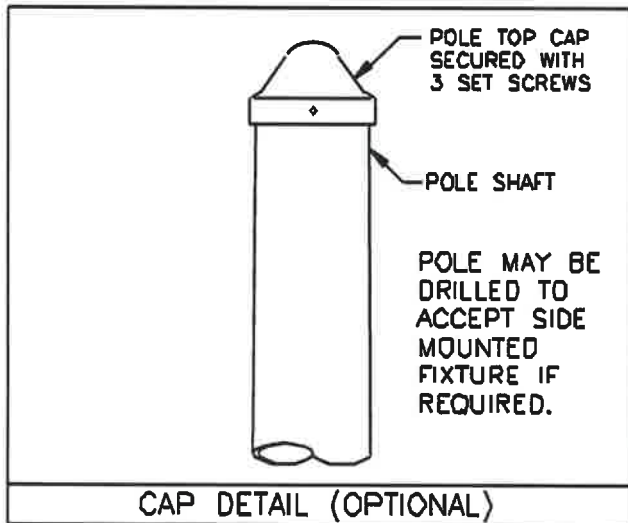
POLE		BASE PLATE				ANCHOR BOLTS			
BASE OD (IN)	WALL THK (GA)	BOLT CIRCLE		SQUARE (IN)	THK (IN)	DIA x LENGTH x HOOK (IN)	PROJECTION (IN)	± (IN)	± (IN)
		DIA (IN)	± (IN)						
5.90	11	9.00	0.50	10.00	0.875	1.00 x 36.00 x 4.00	4.13	0.25	
6.50	11	9.50	0.50	10.50	0.875	1.00 x 36.00 x 4.00	4.13	0.25	
6.60	11	9.50	0.50	10.50	0.875	1.00 x 36.00 x 4.00	4.13	0.25	
7.00	11	10.00	0.50	10.88	0.875	1.00 x 36.00 x 4.00	4.13	0.25	
7.00	7	10.00	0.50	10.88	1.000	1.00 x 36.00 x 4.00	4.25	0.25	
7.30	11	10.50	0.50	11.25	0.875	1.00 x 36.00 x 4.00	4.13	0.25	
7.82	11	11.00	0.50	11.50	0.875	1.00 x 36.00 x 4.00	4.13	0.25	
8.00	11	11.00	0.50	11.50	0.875	1.00 x 36.00 x 4.00	4.13	0.25	
8.00	7	11.00	0.50	11.50	1.250	1.25 x 42.00 x 6.00	5.00	0.25	
8.50	11	11.50	0.50	12.00	1.000	1.00 x 36.00 x 4.00	4.25	0.25	
9.00	11	12.50	0.50	12.38	1.000	1.00 x 36.00 x 4.00	4.25	0.25	
9.00	7	12.50	0.50	12.38	1.250	1.25 x 42.00 x 6.00	5.00	0.25	
9.50	11	13.00	0.50	13.00	1.000	1.00 x 36.00 x 4.00	4.25	0.25	
10.00	11	13.50	0.50	14.00	1.000	1.00 x 36.00 x 4.00	4.25	0.25	
10.00	7	13.50	0.50	14.00	1.250	1.25 x 42.00 x 6.00	5.00	0.25	

Anchor Base Detail



PRODUCT ORDERING CODE

MODEL	DESIGNATION	FIXTURE MOUNTING	FINISH SYSTEM	STANDARD COLOR OPTIONS	BASE COVER	ANCHOR BOLTS	SUPPLEMENTAL INFO
DS210	590A200	P2	GV	SL	FBC	AB	
Select Correct Designation from the Load and Dimensional Data Chart.		Drill Mounting (See Orientation) D1 = (1) Drilling @ 270° D2 = (2) Drillings @ 90° & 270° D3 = (3) Drillings @ 60°, 180°, & 300° D4 = (4) Drillings @ 0°, 90°, 180°, & 270° D5 = (2) Drillings @ 180° & 270° D6 = (3) Drillings @ 90°, 180°, & 270° Tenon Mounting P2 = 2.38" OD x 4" tenon P4 = 4.00" OD x 6" tenon P5 = 2.88" OD x 4" tenon P6 = 2.88" OD x 5" tenon P7 = 2.38" OD x 5" tenon P9 = Special Size (Specify) Other Options PC = Pole Cap PL = Plain Top (No Cap)	GV = Galvanized FP = Finish Painted —OPTIONAL— FPGV = Finish Paint over Galvanizing VP30 = V-PRO™ 30 System VP32 = V-PRO™ 32 System VP53 = V-PRO™ 53 System VP54 = V-PRO™ 54 System VP57 = V-PRO™ 57 System VP100 = V-PRO™ 100 System VP105 = V-PRO™ 105 System	GV = Galvanized BK = Black DB = Dark Bronze MB = Medium Bronze WH = White LG = Light Gray CB = Bronze DG = Dark Green ST = Sandstone HG = Hunter Green SG = Slate Gray SL = Silver SC = Special Color (Specify)	FBC = Full Base Cover —OPTIONAL— NC = Nut Covers 2T = Square Dart Cover DT = Dart Round Cover	AB = With Anchor Bolts LAB = Without Anchor Bolts	



SPC7204 02/17 valmontstructures.com carries the most current spec information and supersedes these guidelines.

LITESPHERE 2.0



tivoli



Project: _____ Type: _____

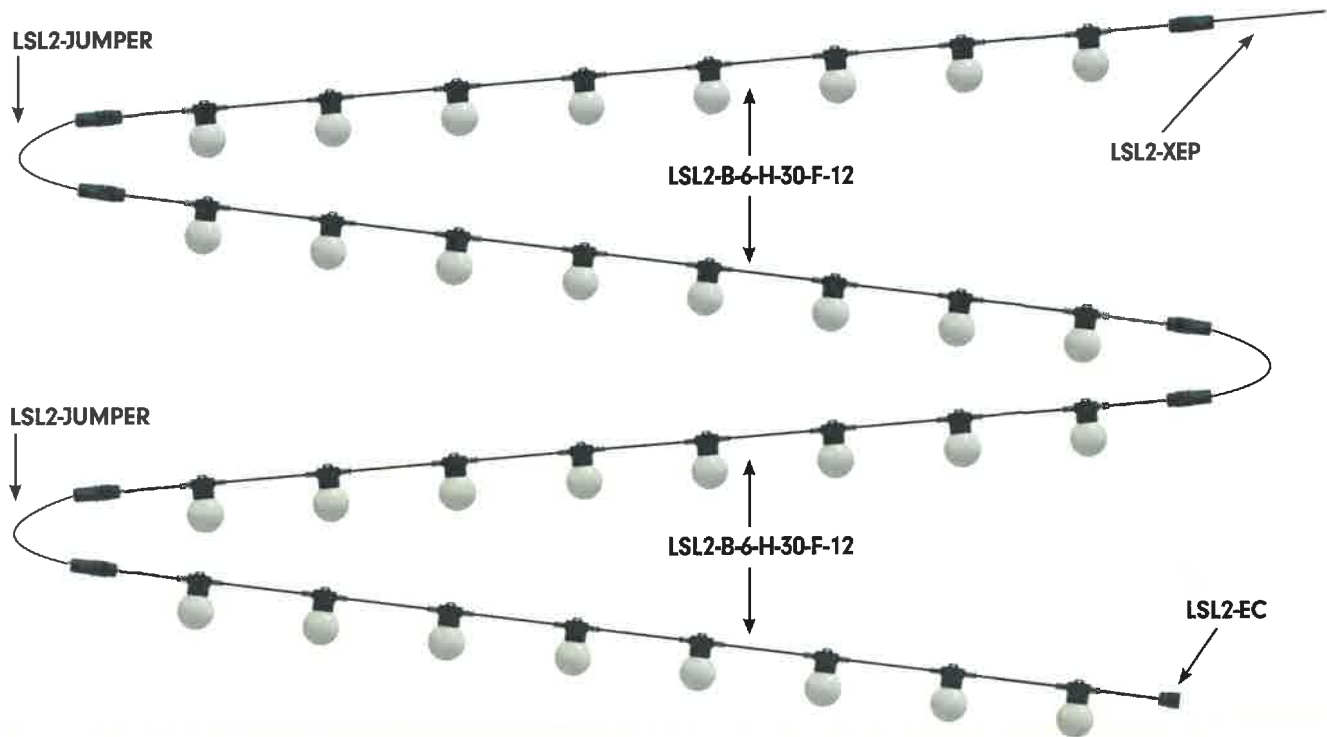
Product Features

- Tivoli's next evolution of Litesphere delivers a robust specification-grade strand with factory molded standard spacing for consistent quality from start to finish
- Litesphere 2.0 design provides optional suspended mounting or a twist-off cap for surface applications
- 12V DC Low voltage system for long runs
- IP67
- cULus
- 3 Year warranty

Dimensions



System Configuration Example



Strand Order Guide

Note: For suspension application, a catenary cable is required for proper installation. Please contact Tivoli for recommendations on unique mounting applications.

Product	Wire	Spacing	LED Type	LED Color	Globe	Voltage
LSL2 Litesphere 2.0	B Black W White	06 6" OC 12 12" OC 18 18" OC 24 24" OC 36 36" OC 48 48" OC	V Very High Output H High Output S Standard Output	19 1900K 27 2700K 30 3000K 35 3500K 40 4000K 50 5000K* AM Amber* RB Royal Blue* RD Red* GN Green* YL Yellow*	C Clear F Frosted O Opal	12 12V DC

*Available in
VHO LED only

Power Lead Order Guide

Figure A - All Litesphere 2.0 are evenly cut between globes according to specified spacing.
Figure B - Power leads are added to the end cut, extending the total length of the power lead.

LSL2-XEP-X-XX

X = B (Black), W (White)

XX = 05 (5'), 10 (10'), 15 (15'), 20 (20'), 25 (25')

For custom length consult factory

Figure A

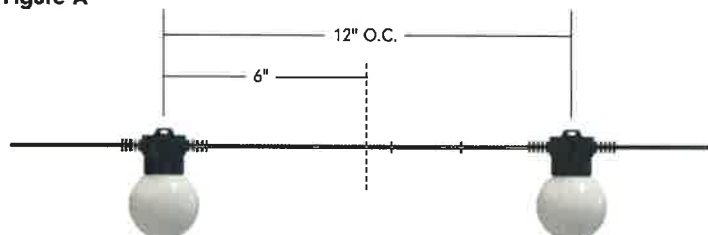
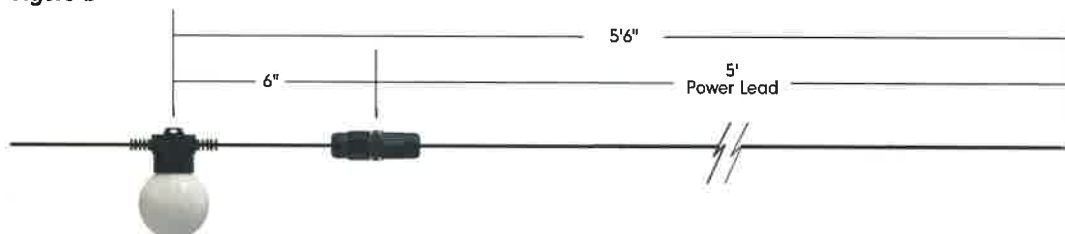


Figure B



Jumper Order Guide

Figure A - All Litesphere 2.0 are evenly cut between globes according to specified spacing.
Figure B - Jumpers are added between the cuts, extending the total length of wire between globes.

LSL2-JUMPER-X-XX

X = B (Black), W (White)

XX = 05 (5'), 10 (10')

For custom length, consult factory

Figure A

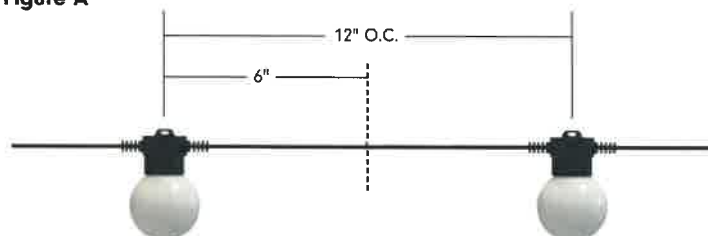
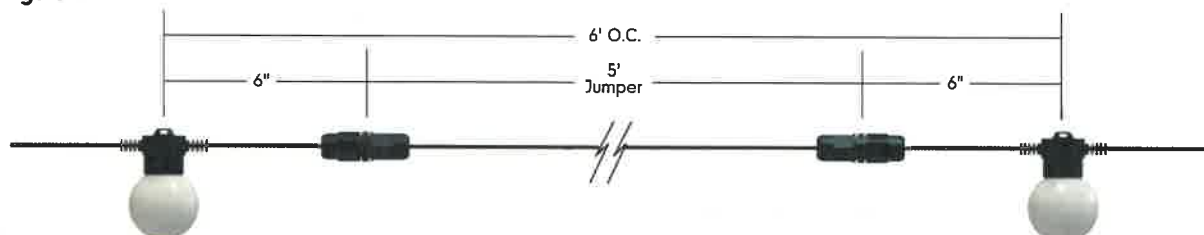


Figure B



Specifications

Output - Standard Brightness

On-Center Spacing	6"	12"	18"	24"	36"	48"
Lumens/ft	11	6	4	3	2	N/A
Watts/ft	0.17	0.09	0.06	0.04	0.03	0.02
Maximun Electrical Run	130'	180'	230'	250'	275'	275'

Output - High Output

On-Center Spacing	6"	12"	18"	24"	36"	48"
Lumens/ft	29.9	15	10	7	5	N/A
Watts/ft	0.46	0.23	0.15	0.12	0.08	0.05
Maximun Electrical Run	80'	110'	130'	150'	175'	200'

Output - Very High Output

On-Center Spacing	6"	12"	18"	24"	36"	48"
Lumens/ft	180	90.2	60	45	30	N/A
Watts/ft	1.92	0.96	0.64	0.48	0.32	0.24
Maximun Electrical Run	30'	55'	70'	80'	90	100'

Weights

On-Center Spacing	6"	12"	18"	24"	36"	48"
lb/ft	0.33	0.28	0.24	0.20	0.17	0.13
lb/ft with catenary cable	0.35	0.30	0.26	0.22	0.19	0.15

Output - Based on 3000K Clear Globe

Efficacy	Standard Brightness (40), High Output (46), Very High Output (94)
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Electrical

Input Voltage	12V DC
Power Consumption (W/LED)	Standard Brightness (.09), High Output (.23), Very High Output (.96)

Control

Control System	0-10V, ELV, MLV, DMX 512 (Dim to 1% with an Infinity power supply and a 0-10V Lutron Diva dimmer)
----------------	---

Physical

Dimensions	2.5"W x 3.8"H
Socket Housing	PVC
American Wire Gauge	14 AWG
Globe	PE
Mounting	Surface Mount, Suspended
Operating Temperature	-20°C to 50°C (-4°F to 122°F)
Storage Temperature	-40°C to 80°C (-40°F to 176°F)

Certification and Testing

Certification	cULus
Environment	Wet Location
Lumen Maintenance (L70) Hours	70,000
IP Rating	IP67
Warranty	3 Years

Mounting Options

SURFACE/FLUSH

For surface mount applications, remove the top suspension-plate by turning counter-clockwise until off. Place socket flush against the desired surface and mount using proper screws according to substrate.



SUSPENDED

Suspended mounting will use a combination of LS-Cable, LS-Locks with LS-UVZP. Tension the cable wire with our LS-TT (Tension Tool) for desired sag (Please adhere to local city code for suspended application).

Note: For suspension application, a catenary cable is required for proper installation.
Please contact Tivoli for recommendations on unique mounting applications.



Mounting Accessories



LS-CABLE-60 Catenary Cable Kit - 60'

(1/8" galvanized cable includes 2 cable locks for use with loads up to 200lbs)

LS-CABLE-110 Catenary Cable Kit - 110'

(1/8" galvanized cable includes 2 cable locks for use with loads up to 200lbs)

LS-CABLE-500 Catenary Cable Kit - 500'

(1/8" galvanized cable for use with loads up to 200lbs)



LS-UVZP-BK-XX

XX = 30 (30pcs), 50 (50pcs)

Black UV resistant, heavy duty ties.

Maximum weight up to 100 lbs./per tie.



LS-LOCK-X Cable Lock

X = 2 (2 Locks), 4 (4 locks) Includes (1) cable release key.
Cable Lock for 1/8th inch cable, Heavy-duty lockable fasteners support loads up to 200 lbs. Can be easily adjusted without the use of tools.



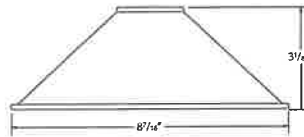
LS-TT

Catenary Cable Tensioning Tool up to 880lbs with minimal effort due to the 6:1 gear drive mechanism. Integral torque gauge controls the load applied to the wire, giving consistent tension every time and optimizing the life of the wire.

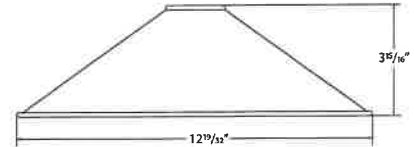
Light Shades



HAT

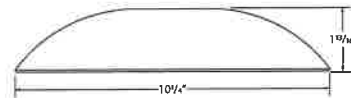


SHADE-HT-BK-BK-8
Light Shade - HAT
8.3" Black Top, Black Bottom
Weight: 0.38 lb



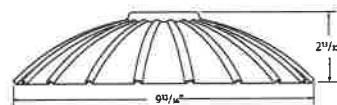
SHADE-HT-BK-BK-13*
Light Shade - HAT
12.6" Black Top, Black Bottom
Weight: 1.06 lb
SHADE-HT-BK-CO-13 *
Light Shade - HAT
12.6" Black Top, Copper Bottom
Weight: 1.06 lb

*Consult factory for lead time and MOQ

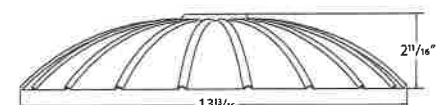


SHADE-DS-BK-BK-10
Light Shade - DISH
10.2" Black Top, Black Bottom
Weight: 0.72 lb

FLOWER



SHADE-FL-BK-BK-10
Light Shade - FLOWER
9.8" Light Shade, Black Top, Black Bottom
Weight: 0.54 lb



SHADE-FL-BK-BK-13
Light Shade - FLOWER
13.8" Light Shade, Black Top, Black Bottom
Weight: 1.1 lb

Accessories



SHADE-ADP-LSL2-XX-01 2.0 Light Shade Adapter

X = BK (Black), WH (White)
PVC Black Adapter - Sold individually.

SHADE-ADP-LSL2-XX-25 2.0 Light Shade Adapter

X = BK (Black), WH (White)
PVC Black Adapter Kit - Sold in packs of 25

SHADE-ADP-LSL2-XX-50 2.0 Light Shade Adapter

X = BK (Black), WH (White)
PVC Black Adapter Kit - Sold in packs of 50

Replacement Parts



Very High Output



Standard & High Output


LST-CG
Litesphere 2.0
Clear globe
sold each

LST-OG
Litesphere 2.0
Opal globe
sold each

LSL-19-V-12
12V Wedge base
1900K
LSL-27-V-12
12V Wedge base
2700K
LSL-30-V-12
12V Wedge base
3000K
LSL-35-V-12
12V Wedge base
3500K
LSL-40-V-12
12V Wedge base
4000K
LSL-50-V-12
12V Wedge base
5000K

LSL-AM-V-12
12V Wedge base
Amber
LSL-RD-V-12
12V Wedge base
Red
LSL-RB-V-12
12V Wedge base
Royal Blue
LSL-GN-V-12
12V Wedge base
Green
LSL-YL-V-12
12V Wedge base
Yellow

STANDARD
LSL-19-S-12
12V Wedge base
1900K
LSL-27-S-12
12V Wedge base
2700K
LSL-30-S-12
12V Wedge base
3000K
LSL-35-S-12
12V Wedge base
3500K
LSL-40-S-12
12V Wedge base
4000K

HIGH OUTPUT
LSL-19-H-12
12V Wedge base
1900K
LSL-27-H-12
12V Wedge base
2700K
LSL-30-H-12
12V Wedge base
3000K
LSL-35-H-12
12V Wedge base
3500K
LSL-40-H-12
12V Wedge base
4000K


LST-FG
Litesphere 2.0
Frosted globe
sold each

LSL2-EC-X
X = B (black), W (white)
Litesphere 2.0 End-Cap
Weight: 0.0375 lb
sold each

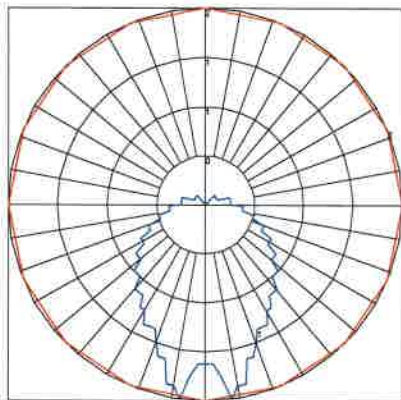
Photometrics

Frosted Globe - Based on 3000K LED

Standard Brightness

PHOTOMETRIC AND ELECTRICAL MEASUREMENTS - DISTRIBUTION METHOD (25°C +/- 1°C)

POLAR GRAPH AND MAXIMUM CANDELA INTENSITY				
Maximum Candela	Location	Horizontal Angle	Location	Vertical Angle
1.6		0		7.5

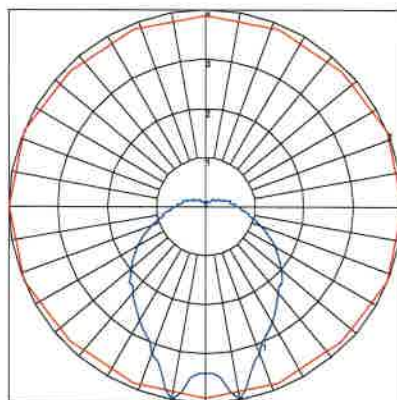


Maximum Candela = 1.6 Located At Horizontal Angle = 0, Vertical Angle = 7.5
1 - Vertical Plane Through Horizontal Angles (0 - 180) (Through Max. Cd.)
2 - Horizontal Cone Through Vertical Angle (7.5) (Through Max. Cd.)

High Output

PHOTOMETRIC AND ELECTRICAL MEASUREMENTS - DISTRIBUTION METHOD (25°C +/- 1°C)

POLAR GRAPH AND MAXIMUM CANDELA INTENSITY				
Maximum Candela	Location	Horizontal Angle	Location	Vertical Angle
4		0		10

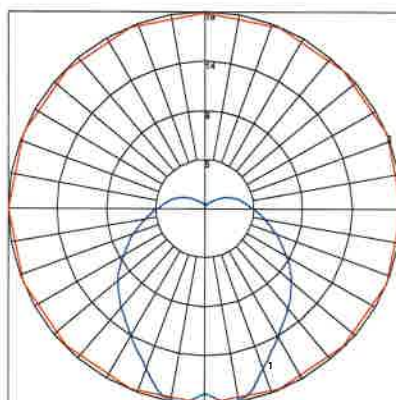


Maximum Candela = 4 Located At Horizontal Angle = 0, Vertical Angle = 10
1 - Vertical Plane Through Horizontal Angles (0 - 180) (Through Max. Cd.)
2 - Horizontal Cone Through Vertical Angle (10) (Through Max. Cd.)

Very High Output

PHOTOMETRIC AND ELECTRICAL MEASUREMENTS - DISTRIBUTION METHOD (25°C +/- 1°C)

POLAR GRAPH AND MAXIMUM CANDELA INTENSITY				
Maximum Candela	Location	Horizontal Angle	Location	Vertical Angle
18.5		0		7.5



Maximum Candela = 18.5 Located At Horizontal Angle = 0, Vertical Angle = 7.5
1 - Vertical Plane Through Horizontal Angles (0 - 180) (Through Max. Cd.)
2 - Horizontal Cone Through Vertical Angle (7.5) (Through Max. Cd.)

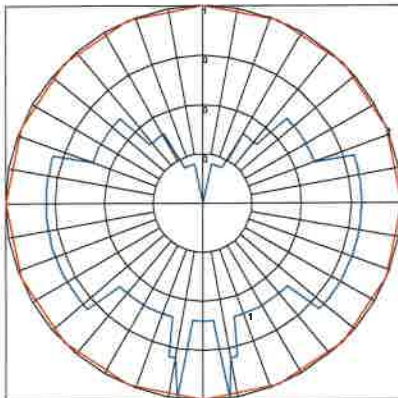
Photometrics

Opal Globe - Based on 3000K LED

Standard Brightness

PHOTOMETRIC AND ELECTRICAL MEASUREMENTS - DISTRIBUTION METHOD (25°C +/- 1°C)

POLAR GRAPH AND MAXIMUM CANDLE INTENSITY				
Maximum Candela	Location	Horizontal Angle	Location	Vertical Angle
0.5		0		7.5

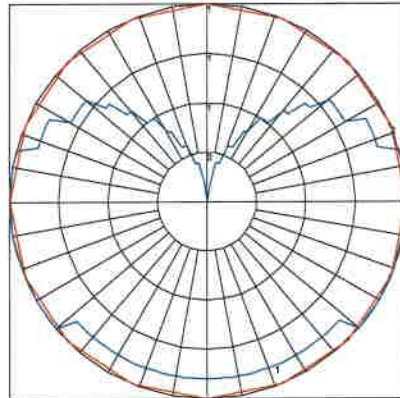


Maximum Candela = .5 Located At Horizontal Angle = 0, Vertical Angle = 7.5
 # 1 - Vertical Plane Through Horizontal Angles (0 - 180) (Through Max. Cd.)
 # 2 - Horizontal Cone Through Vertical Angle (7.5) (Through Max. Cd.)

High Output

PHOTOMETRIC AND ELECTRICAL MEASUREMENTS - DISTRIBUTION METHOD (25°C +/- 1°C)

POLAR GRAPH AND MAXIMUM CANDLE INTENSITY				
Maximum Candela	Location	Horizontal Angle	Location	Vertical Angle
1		0		50

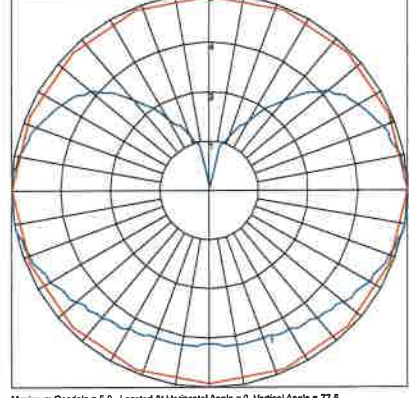


Maximum Candela = 1 Located At Horizontal Angle = 0, Vertical Angle = 50
 # 1 - Vertical Plane Through Horizontal Angles (0 - 180) (Through Max. Cd.)
 # 2 - Horizontal Cone Through Vertical Angle (50) (Through Max. Cd.)

Very High Output

PHOTOMETRIC AND ELECTRICAL MEASUREMENTS - DISTRIBUTION METHOD (25°C +/- 1°C)

POLAR GRAPH AND MAXIMUM CANDLE INTENSITY				
Maximum Candela	Location	Horizontal Angle	Location	Vertical Angle
5.9		0		77.5



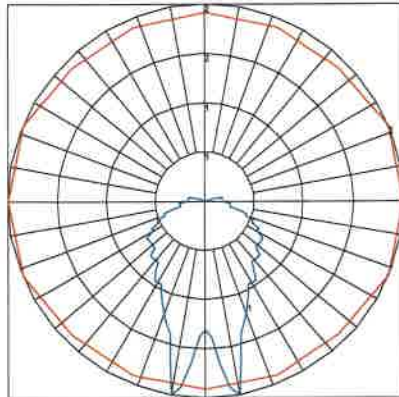
Maximum Candela = 5.9 Located At Horizontal Angle = 0, Vertical Angle = 77.5
 # 1 - Vertical Plane Through Horizontal Angles (0 - 180) (Through Max. Cd.)
 # 2 - Horizontal Cone Through Vertical Angle (77.5) (Through Max. Cd.)

Clear Globe - Based on 3000K LED

Standard Brightness

PHOTOMETRIC AND ELECTRICAL MEASUREMENTS - DISTRIBUTION METHOD (25°C +/- 1°C)

POLAR GRAPH AND MAXIMUM CANDLE INTENSITY				
Maximum Candela	Location	Horizontal Angle	Location	Vertical Angle
2.3		0		10

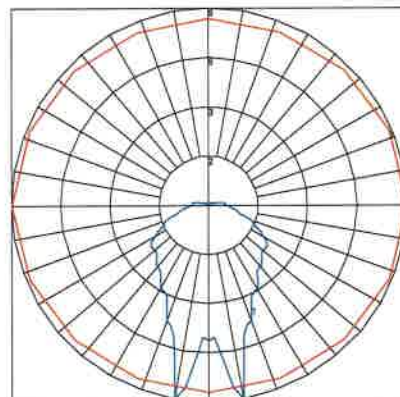


Maximum Candela = 2.3 Located At Horizontal Angle = 0, Vertical Angle = 10
 # 1 - Vertical Plane Through Horizontal Angles (0 - 180) (Through Max. Cd.)
 # 2 - Horizontal Cone Through Vertical Angle (10) (Through Max. Cd.)

High Output

PHOTOMETRIC AND ELECTRICAL MEASUREMENTS - DISTRIBUTION METHOD (25°C +/- 1°C)

POLAR GRAPH AND MAXIMUM CANDLE INTENSITY				
Maximum Candela	Location	Horizontal Angle	Location	Vertical Angle
6.1		0		10

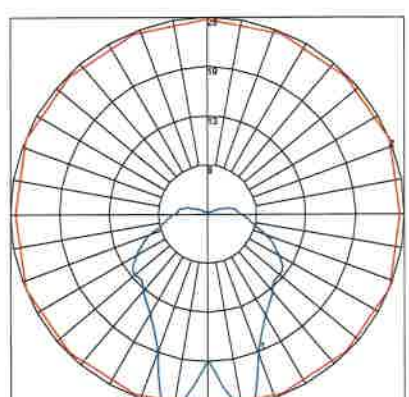


Maximum Candela = 6.1 Located At Horizontal Angle = 0, Vertical Angle = 10
 # 1 - Vertical Plane Through Horizontal Angles (0 - 180) (Through Max. Cd.)
 # 2 - Horizontal Cone Through Vertical Angle (10) (Through Max. Cd.)

Very High Output

PHOTOMETRIC AND ELECTRICAL MEASUREMENTS - DISTRIBUTION METHOD (25°C +/- 1°C)

POLAR GRAPH AND MAXIMUM CANDLE INTENSITY				
Maximum Candela	Location	Horizontal Angle	Location	Vertical Angle
25.3		22.5		12.5



Maximum Candela = 25.3 Located At Horizontal Angle = 22.5, Vertical Angle = 12.5
 # 1 - Vertical Plane Through Horizontal Angles (22.5 - 202.5) (Through Max. Cd.)
 # 2 - Horizontal Cone Through Vertical Angle (12.5) (Through Max. Cd.)

Power Supplies

ADNM - NON DIMMING

DESCRIPTION	CAT NO	APPLICATION	PRIMARY VOLTAGE	SECONDARY VOLTAGE	CIRCUIT BREAKERS	MAX LOAD	CIRCUIT CAPACITY
ADNM Series Class 2 Transformer	ADNM-60-1-5-12-D	Indoor / Outdoor	100-277V AC 50/60 HZ	12V DC	1	60W	5A
	ADNM-80-1-5-12-D				1	60W	5A
	ADNM-150-2-5-12-D				2	2x60W	2x5A
	ADNM-240-3-5-12-D				3	3x60W	3x5A
	ADNM-320-4-5-12-D				4	4x60W	4x5A

ADNM - 0-10V DIMMING

DESCRIPTION	CAT NO	APPLICATION	PRIMARY VOLTAGE	SECONDARY VOLTAGE	CIRCUIT BREAKERS	MAX LOAD	CIRCUIT CAPACITY
ADNM Series Class 2 Transformer	ADNM-60-1-5-12-DOT	Indoor / Outdoor	100-277V AC 50/60 HZ	12V DC	1	60W	5A
	ADNM-80-1-5-12-DOT				1	60W	5A
	ADNM-150-2-5-12-DOT				2	2x60W	2x5A
	ADNM-240-3-5-12-DOT				3	3x60W	3x5A
	ADNM-320-4-5-12-DOT				4	4x60W	4x5A

ADNM - DMX SINGLE ADDRESS

DESCRIPTION	CAT NO	APPLICATION	PRIMARY VOLTAGE	SECONDARY VOLTAGE	CIRCUIT BREAKERS	MAX LOAD	CIRCUIT CAPACITY
ADNM Series Class 2 Transformer	ADNM-60-1-5-12-DIN	Indoor / Outdoor	100-277V AC 50/60 HZ	12V DC	1	60W	5A
	ADNM-80-1-5-12-DIN				1	60W	5A
	ADNM-150-2-5-12-DIN				2	2x60W	2x5A
	ADNM-240-3-5-12-DIN				3	3x60W	3x5A
	ADNM-320-4-5-12-DIN				4	4x60W	4x5A

ADNM - DMX MULTI ADDRESS

DESCRIPTION	CAT NO	APPLICATION	PRIMARY VOLTAGE	SECONDARY VOLTAGE	CIRCUIT BREAKERS	MAX LOAD	CIRCUIT CAPACITY
ADNM Series Class 2 Transformer	ADNM-150-2-5-12-DIN-2	Indoor / Damp	100-277V AC 50/60 Hz	12V DC	2	2x60W	5A
	ADNM-240-3-5-12-din-3				3	3x60W	3x5A

INFINITY - MLV / ELV / 0-10V / PWM / TRIAC

Dim to 1% with a 0-10V Lutron Diva dimmer (by others)

DESCRIPTION	CAT NO	APPLICATION	PRIMARY VOLTAGE	SECONDARY VOLTAGE	CIRCUIT BREAKERS	MAX LOAD	MIN LOAD	CIRCUIT CAPACITY
Infinity Series Class 2 Transformer	INF-30-1-2-5-12	Indoor / Outdoor	100 - 277V AC	12V DC	1	30W	3W	2.5A
	INF-60-1-5-12				1	60W	6W	5A
	INF-180-3-5-12				3	3x60W	3x6W	3x5A
	INF-300-5-5-12				5	5x60W	5x6W	5x5A

Controls



Touchscreen

TVOQ-1-WH

White
512 DMX channel, 16 scene,
4 zone, glass touch screen



Touchscreen

TVOQ-10-XX-7

XX = BK (Black), WH (White)
1024 DMX channel, 500 scene,
10 zone, glass touch screen



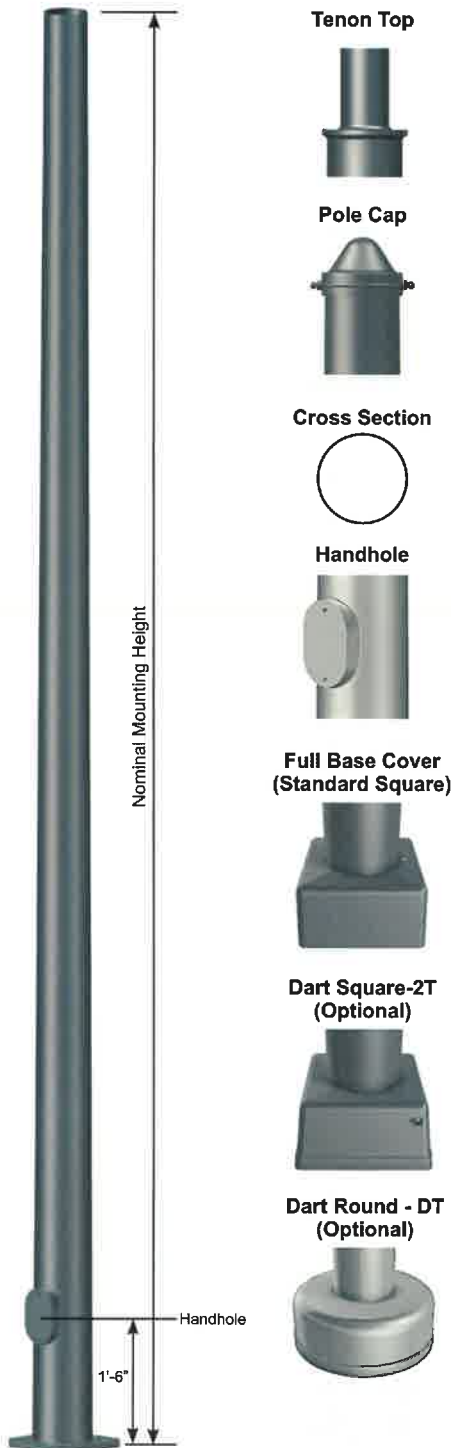
Touchscreen

TVOQ-2-BK

Black
512 DMX channel, 99 scene,
1 zone, glass touch screen

Job Name: _____		Client Name: _____	
Job Location - City: _____	State: _____	Created By: _____	Date: _____
Product: DS210	Quote: _____	Customer Approval: _____	Date: _____

SPECIFICATIONS



Pole Shaft - The pole shaft is a 1-piece assembly conforming to ASTM A595 Grade A or A572 Grade 55 with a constant linear taper of 0.14 in/ft.

Pole Top - Pole is provided with either a tenon top or drilled for a fixture mounting. A removable pole cap is provided for drilled poles. Consult the luminaire manufacturer for correct tenon size or drill pattern. Other pole top options include pole cap only (PC) or plain top (PL) which is typical when the pole top diameter matches the necessary slip fit dimensions.

Handhole - A reinforced handhole with grounding provision is provided at 1'-6" from the base end of the pole assembly. Each handhole includes a cover and the cover attachment hardware. Poles with a 5.90" base diameter are supplied with a 3" X 5" rectangular handhole. All other pole assemblies are provided with a 4" X 6.5" ovalized handhole. Handhole dimensions are nominal.

Base Cover - A two-piece full base cover fabricated from ABS plastic is provided with each pole assembly. Valmont reserves the right to provide a two-piece steel full base cover on some applications depending upon the finish requirement and/or pole base diameter. Nut covers can be substituted on most models. Additional base cover options, including the Dart Square (2T) cast aluminum cover and Dart Round (DT) cast aluminum cover, are available upon request.

Anchor Bolts - Anchor bolts conform to ASTM F1554 Grade 55 and are provided with two hex nuts and two flat washers. Bolts have an "L" bend on one end and are galvanized a minimum of 12" on the threaded end.

Hardware - All structural fasteners are galvanized high strength carbon steel. All non-structural fasteners are galvanized or zinc-plated carbon steel or stainless steel.

Finish - Standard finishes are either Galvanized (GV) or Finish Painted (FP). Additional finish options including Finish Paint over Galvanizing (FPGV) or any of the V-PRO™ Finish Coating Systems are available upon request. See the product ordering code for color options.

Design Criteria - Please reference Design Criteria Specification for appropriate design conditions.

ROUND TAPERED STEEL DS210 Light Duty

valmont 
STRUCTURES

Job Name: _____	Client Name: _____
Job Location - City: _____ State: _____	Created By: _____ Date: _____
Product: DS210 — Quote: _____	Customer Approval: _____ Date: _____

DESIGNATION, LOAD AND DIMENSIONAL DATA

DESIGN INFORMATION							POLE DIMENSIONS				DESIGNATION
NOMINAL MOUNTING HEIGHT	80 MPH w/1.3 GUST		90 MPH w/1.3 GUST		100 MPH w/1.3 GUST		BASE OD (IN)	TOP OD (IN)	WALL THK (GA)	STRUCTURE WEIGHT ² (LBS)	
	MAX EPA ¹ (SQFT)	MAX WEIGHT ¹ (LBS)	MAX EPA ¹ (SQFT)	MAX WEIGHT ¹ (LBS)	MAX EPA ¹ (SQFT)	MAX WEIGHT ¹ (LBS)					
20'-0"	19.3	482	15.1	377	12.2	305	5.90	3.10	11	140	590A200
	24.2	605	19.3	482	15.6	390	6.50	3.70	11	160	650A200
25'-0"	12.5	312	9.9	247	8.0	200	5.90	2.40	11	155	590A250
	20.3	507	16.2	405	13.1	327	7.00	3.50	11	200	700A250
	30.5	760	24.0	625	19.8	495	7.00	3.50	7	280	700E250
30'-0"	11.7	292	9.3	232	7.5	187	6.60	2.40	11	200	660A300
	18.9	473	14.9	373	12.0	300	8.00	3.80	11	265	800A300
	33.5	838	27.0	675	22.0	550	8.00	3.80	7	380	800E300
35'-0"	11.2	280	8.9	222	7.1	177	7.30	2.40	11	250	730A350
	18.9	472	15.1	377	12.2	305	8.50	3.60	11	315	850A350
	23.2	580	18.2	455	14.5	363	9.50	4.60	11	370	950A350
39'-0"	10.7	267	8.5	212	6.6	165	7.82	2.40	11	285	782A389
	17.2	430	13.5	338	10.8	270	9.00	3.58	11	355	900A389
	28.5	715	23.0	575	19.0	475	9.00	3.58	7	515	900E389
45'-0"	17.4	435	13.5	338	10.6	265	10.00	3.70	11	450	T00A450
	28.5	715	23.0	575	19.0	475	10.00	3.70	7	650	T00E450
50'-0"	13.2	330	10.6	265	8.3	208	10.00	3.00	11	475	T00A500
	20.5	512	16.5	412	13.6	340	10.00	3.00	7	680	T00E500

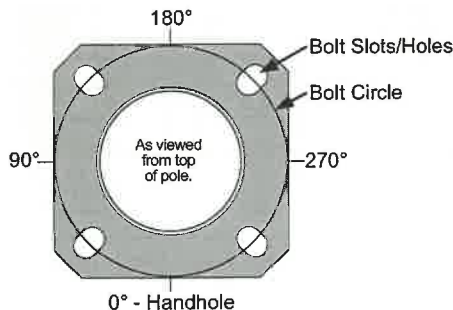
**DS210 Heavy Duty
poles available at
valmontstructures.com**

1. Maximum EPA (Effective Projected Area) and weight values are based on top mounted luminaires and/or brackets having a centroid 2'-6" above the Nominal Mounting Height. Variations from sizes above are available upon inquiry at the factory. Satisfactory performance of poles is dependent upon the pole being properly attached to a supporting foundation of adequate design.
2. Structure weight is a nominal value which includes the pole shaft and base plate only.

ANCHORAGE DATA

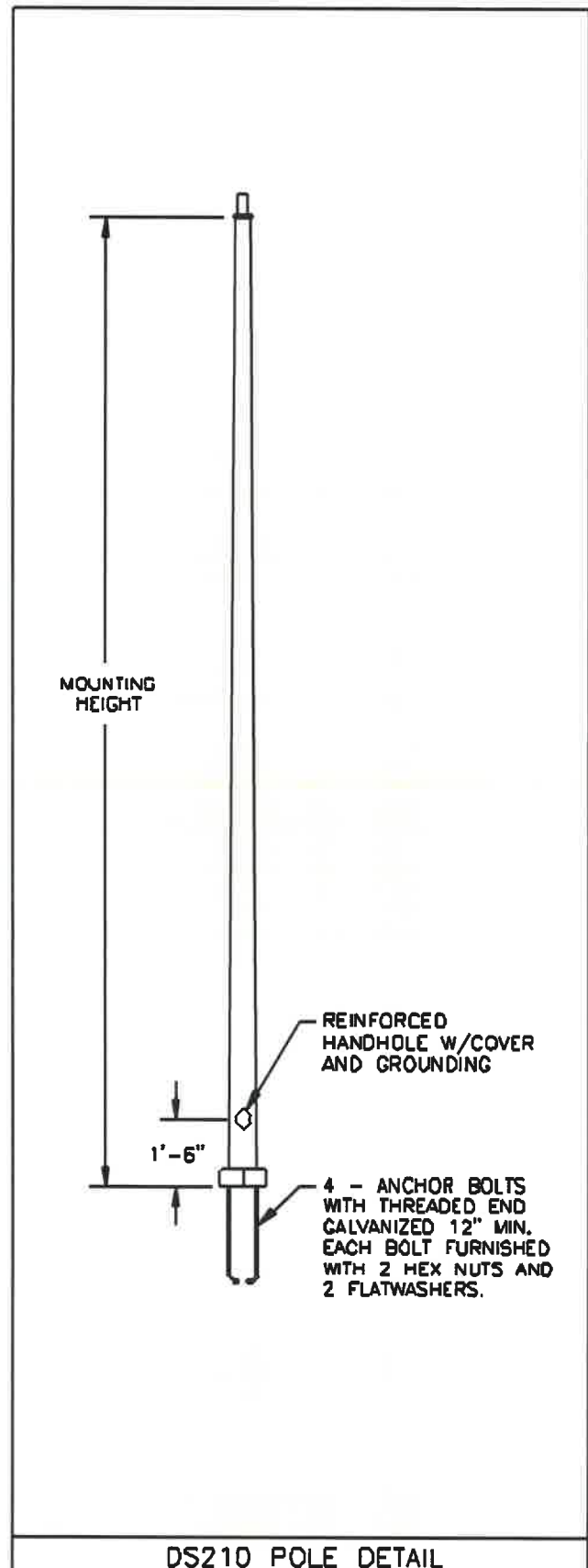
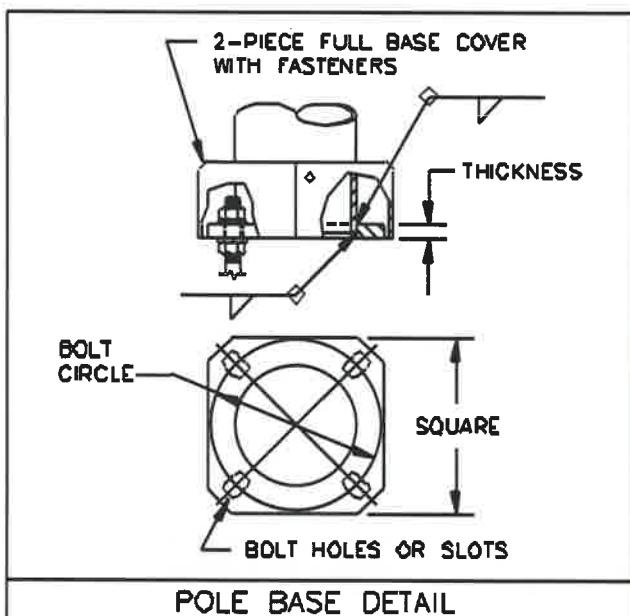
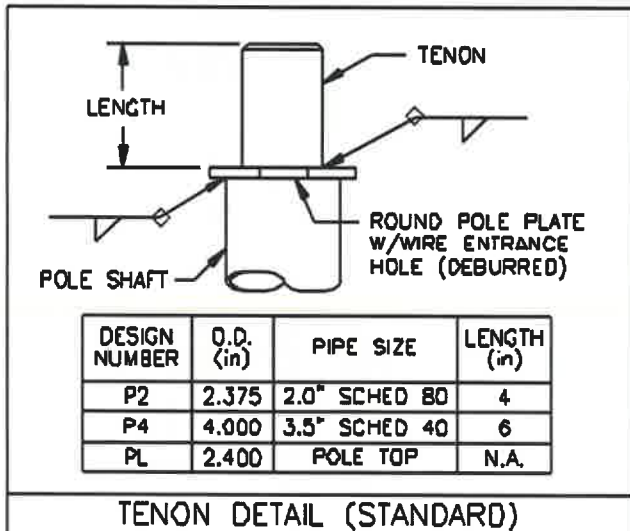
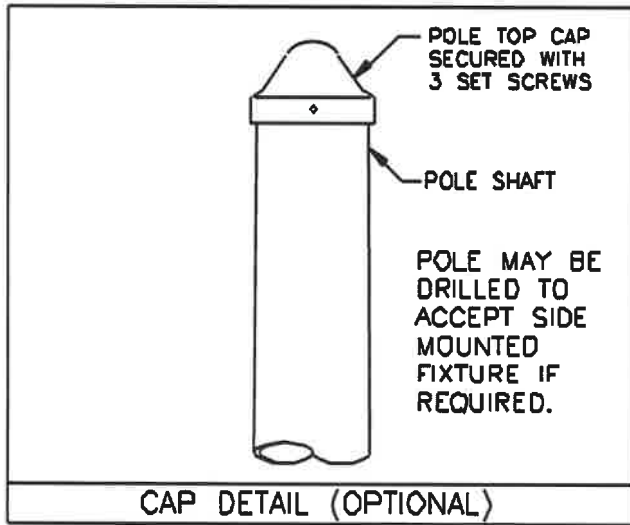
POLE		BASE PLATE				ANCHOR BOLTS			
BASE OD (IN)	WALL THK (GA)	BOLT CIRCLE		SQUARE (IN)	THK (IN)	DIA x LENGTH x HOOK (IN)	PROJECTION (IN)	± (IN)	± (IN)
		DIA (IN)	± (IN)						
5.90	11	9.00	0.50	10.00	0.875	1.00 x 36.00 x 4.00	4.13	0.25	
6.50	11	9.50	0.50	10.50	0.875	1.00 x 36.00 x 4.00	4.13	0.25	
6.60	11	9.50	0.50	10.50	0.875	1.00 x 36.00 x 4.00	4.13	0.25	
7.00	11	10.00	0.50	10.88	0.875	1.00 x 36.00 x 4.00	4.13	0.25	
7.00	7	10.00	0.50	10.88	1.000	1.00 x 36.00 x 4.00	4.25	0.25	
7.30	11	10.50	0.50	11.25	0.875	1.00 x 36.00 x 4.00	4.13	0.25	
7.82	11	11.00	0.50	11.50	0.875	1.00 x 36.00 x 4.00	4.13	0.25	
8.00	11	11.00	0.50	11.50	0.875	1.00 x 36.00 x 4.00	4.13	0.25	
8.00	7	11.00	0.50	11.50	1.250	1.25 x 42.00 x 6.00	5.00	0.25	
8.50	11	11.50	0.50	12.00	1.000	1.00 x 36.00 x 4.00	4.25	0.25	
9.00	11	12.50	0.50	12.38	1.000	1.00 x 36.00 x 4.00	4.25	0.25	
9.00	7	12.50	0.50	12.38	1.250	1.25 x 42.00 x 6.00	5.00	0.25	
9.50	11	13.00	0.50	13.00	1.000	1.00 x 36.00 x 4.00	4.25	0.25	
10.00	11	13.50	0.50	14.00	1.000	1.00 x 36.00 x 4.00	4.25	0.25	
10.00	7	13.50	0.50	14.00	1.250	1.25 x 42.00 x 6.00	5.00	0.25	

Anchor Base Detail



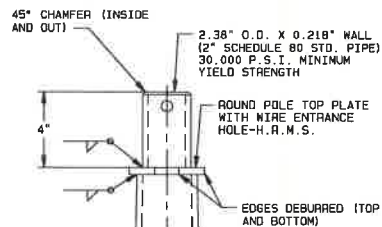
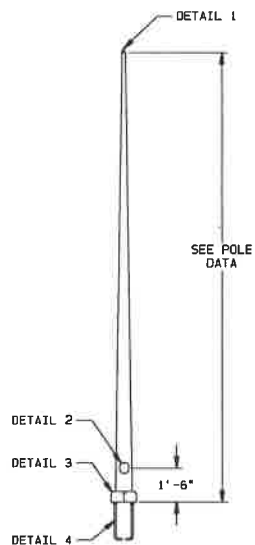
PRODUCT ORDERING CODE

MODEL	DESIGNATION	FIXTURE MOUNTING	FINISH SYSTEM	STANDARD COLOR OPTIONS	BASE COVER	ANCHOR BOLTS	SUPPLEMENTAL INFO
DS210		PC	FPGV	SL	FBC	AB	
Select Correct Designation from the Load and Dimensional Data Chart.		Drill Mounting (See Orientation) D1 = (1) Drilling @ 270° D2 = (2) Drillings @ 90° & 270° D3 = (3) Drillings @ 60°, 180°, & 300° D4 = (4) Drillings @ 0°, 90°, 180°, & 270° D5 = (2) Drillings @ 180° & 270° D6 = (3) Drillings @ 90°, 180°, & 270° Tenon Mounting P2 = 2.38" OD x 4" tenon P4 = 4.00" OD x 6" tenon P5 = 2.88" OD x 4" tenon P6 = 2.88" OD x 5" tenon P7 = 2.38" OD x 5" tenon P9 = Special Size (Specify) Other Options PC = Pole Cap PL = Plain Top (No Cap)	GV = Galvanized FP = Finish Painted —OPTIONAL— FPGV = Finish Paint over Galvanizing VP30 = V-PRO® 30 System VP32 = V-PRO® 32 System VP53 = V-PRO® 53 System VP54 = V-PRO® 54 System VP57 = V-PRO® 57 System VP100 = V-PRO® 100 System VP105 = V-PRO® 105 System	GV = Galvanized BK = Black DB = Dark Bronze MB = Medium Bronze WH = White LG = Light Gray CB = Bronze DG = Dark Green ST = Sandstone HG = Hunter Green SG = Slate Gray SL = Silver SC = Special Color (Specify)	FBC = Full Base Cover —OPTIONAL— NC = Nut Covers 2T = Square Dart Cover DT = Dart Round Cover	AB = With Anchor Bolts LAB = Without Anchor Bolts	

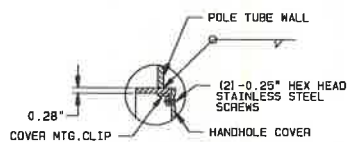


SPC7204 02/17 valmontstructures.com carries the most current spec information and supersedes these guidelines.

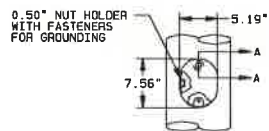
DESIGN INFORMATION:
DESIGN CRITERIA: VALMONT



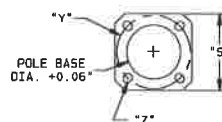
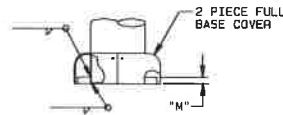
DETAIL 1 POLE TOP TENON



SECTION A-A

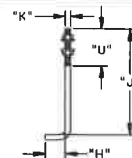


DETAIL 2 4"x6.5" HANDHOLE



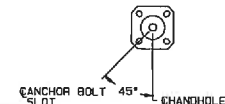
DETAIL 3 POLE BASE

(4) -ANCHOR BOLTS WITH
(2) HEX NUTS AND (2) WASHERS
PER BOLT WITH THREADED
END GALVANIZED AT LEAST
12.00".



DETAIL 4 ANCHOR BOLT

ALL ANGLES MEASURED
CLOCKWISE FROM
HANDHOLE AS VIEWED
FROM SMALL END OF POLE



RADIAL INDEX

ALTHOUGH RARE, VIBRATIONS SEVERE ENOUGH TO CAUSE DAMAGE
CAN OCCASIONALLY OCCUR IN STRUCTURES OF ALL TYPES
BECAUSE THEY ARE INFLUENCED BY MANY INTERACTING VARIABLES,
VIBRATIONS ARE GENERALLY UNPREDICTABLE. THE USER'S
MAINTENANCE PROGRAM SHOULD INCLUDE OBSERVATION FOR
EXCESSIVE VIBRATION AND EXAMINATION FOR ANY STRUCTURAL
DAMAGE OR BOLT LOOSENING. THE VALMONT WARRANTY
SPECIFICALLY EXCLUDES FATIGUE FAILURE OR SIMILAR PHENOMENA
RESULTING FROM INDUCED VIBRATION, HARMONIC OSCILLATION OR
RESONANCE ASSOCIATED WITH MOVEMENT OF AIR CURRENTS AROUND
THE PRODUCT.

VIBRATION DISCLAIMER

MATERIAL DATA

COMPONENT	ASTM DESIGNATION	MIN. YIELD (KSI)
POLE TUBE	A595 GR. A	55
POLE BASE	A36	36
ANCHOR BOLTS	F1554 GR. 55	55
GALVANIZING-HARDWARE	HOT DIP ZINC	--

FINISH DATA

SYSTEM: FINISH PAINT/GALVANIZED
(FPEV)
BASE COAT: HOT-DIP GALVANIZED TO
ASTM A123
PRIME COAT: NONE
FINISH COAT: TGIC OR URETHANE POLYESTER
POWDER
COLOR: SILVER
SPEC: F-2638K

POLE DATA

ITEM	QTY.	POLE TUBE			POLE BASE				ANCHOR BOLT				
		BASE DIA. (IN)	TOP DIA. (IN)	LENGTH (FT)	GAUGE OR THK. (IN)	SQUARE "S" (IN)	BOLT CIRCLE "V" (IN)	THK. "M" (IN)	SLOT "Z" (IN)	DIA. "K" (IN)	LENGTH "J" (IN)	HOOK "H" (IN)	THREAD LENGTH "U" (IN)
1	6	5.90	3.10	20.00	11	10.00	9.00	0.875	1.13 x 1.69	1.00	36.00	4.00	6.00

REV	DATE	DESCRIPTION
AT7	09/26/25	AT7 09/26/25

SOLD TO:	MOA TOWN SQUARE
SHIP TO:	
P.O. #:	SALES PROPOSAL
AGENT:	ARCTIC SALES AGENCY

JOB	MOA TOWN SQUARE
TITLE	LIGHTING STRUCTURES

VALMONT INDUSTRIES, INC. RESERVES
THE RIGHT TO INSTALL VARIOUS,
ENGINEER APPROVED, MATERIAL HANGING
ACCOMMODATIONS TO FACILITATE THE
MANUFACTURING PROCESS.

valmont
Valley, NE 68064
(402) 359-2201

ORDER NUMBER: 606746-P1
PAGE NUMBER: 1 OF 2
DRAWING NUMBER
REV
AK606746P1



Phase 1: Site Reconstruction "Set the Stage"

- Demolition
- Walkways and Plaza
- Seatwalls and Structures
- Site Electrical with Pedestrian and Flood Lights
- Trees, Horticulture Beds and Lawn Areas
- Gas, Sewer and Water Service Extensions
- Irrigation

Phase 2: Future Upgrades "Bring Town Square to Life"

- String Lights and Dynamic Lighting
- Swing Benches and Playful Site Features
- New Site Amenities, Benches,
- New Trash receptacles and Bike Racks
- Iconic Lighted Focal Points
- Legacy Donor Names Structures
- Entrance Feature

Town Square Park Preliminary Design Review

LEGEND

-  Pedestrian Light Pole
-  Architectural Flood Light
-  String Lights - Future Upgrade
-  Secure Power for Events and Vendors
-  Portable Restrooms



Questions or Comments?
www.muni.org/parks
Scan the QR Code to visit the Project Website
to learn more and access the comment form.

1 PARK ENTRANCE GARDENS and HISTORY

As a premier civic space, provide opportunities for education about the history of Anchorage and Alaska.



Collaborate with Downtown Wayfinding Project and Indigenous Place Names Movement at entrances of the park.

Recognize Avis Cupples, Shirley Brundage equally with Ruth Moulton within a Park Story Garden which tells the history of and vision for Town Square Park.

LIGHTING IS A PRIORITY FOR YEAR ROUND PARK ENJOYMENT AND PUBLIC SAFETY



2 ADD PLAYFUL, MEMORABLE MOMENTS with ALASKA FLAIR



A rendering of the TLH structure plan along Capital Cascades Trail, designed by Ryan Sheplak and Cosby Hayes, KCC.

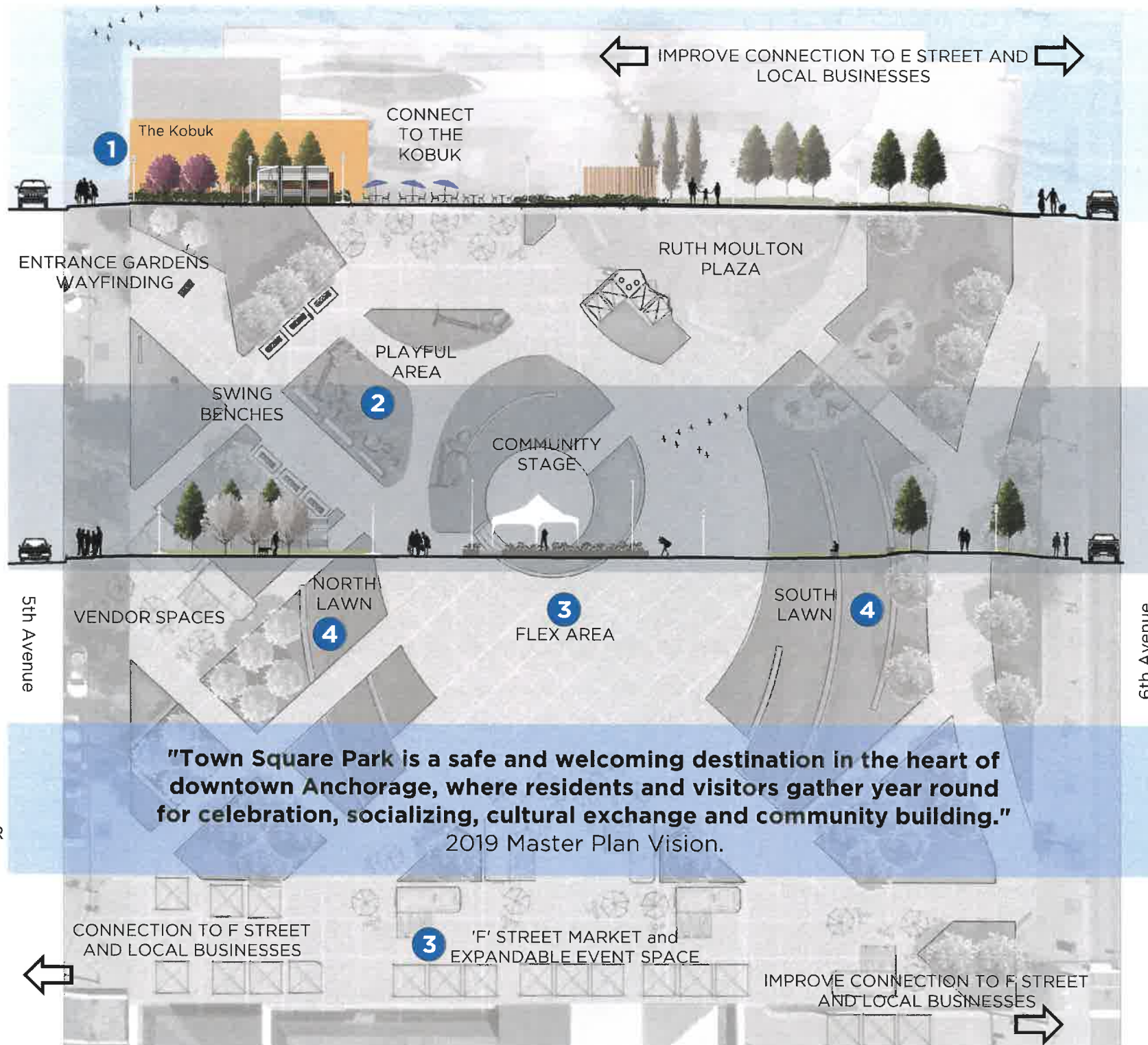
UNIFY DOWNTOWN with COLOR and AMENITIES.



Downtown Site Furniture

Renderings of the Anchorage Downtown Wayfinding Signage for designed by Huddle AK and Merie in collaboration with Sebastian Garber.

4th Avenue Bike Rack



"Town Square Park is a safe and welcoming destination in the heart of downtown Anchorage, where residents and visitors gather year round for celebration, socializing, cultural exchange and community building."
2019 Master Plan Vision.

'F' STREET MARKET FLEX AREA and EXPANDABLE EVENT SPACE 3



July 2025



January 2017

ICONIC ALASKA THEMES and FEATURES



Anchorage, Alaska: a place unforgettable with a town center full of character and multiple cultures.

Ongoing collaboration between Downtown Wayfinding Project, Indigenous Place Names Project and local Artists to further develop project identity and elements.

4 NORTH and SOUTH LAWNS



October 2025

Town Square Park Preliminary Design Review



Questions or Comments?
www.muni.org/parks

Scan the QR Code to visit the Project Website to learn more and access the comment form.



UDC SUBMITTAL
FOR REVIEW
OCTOBER 16, 2025

G1		TITLE SHEET
G2		NOTES, ABBREVIATIONS, AND LEGEND
G3		SURVEY CONTROL
G4		DEMOLITION PLAN

- D1 DETAILS

- E001..... ELECTRICAL LEGEND AND SCHEDULES
E101..... ELECTRICAL DEMOLITION PLAN
E201..... ELECTRICAL REMODEL PLAN
E202..... ELECTRICAL PHOTOMETRIC PLAN
E203..... ELECTRICAL LOAD AND SCHEDULES

APPROVED BY:

SHANNA GAMBLE
DIRECTOR PARKS AND RECREATION



GENERAL NOTES:

1. CONSTRUCTION SHALL BE COMPLETED IN ACCORDANCE WITH THE MUNICIPALITY OF ANCHORAGE STANDARD SPECIFICATIONS, STREETS-DRAINAGE-UTILITIES-PARKS, DATED 2024 HEREAFTER REFERRED TO AS M.A.S.S. (OR MASS), AS CURRENTLY AMENDED BY THE SPECIAL PROVISIONS AND THESE CONSTRUCTION DRAWINGS.
2. DRAWING SCALES ON SHEETS WITHIN THESE PLANS MAY VARY AND SHOULD BE NOTED PRIOR TO USE. THESE PLANS WERE CREATED FOR 11x17 PLAN SET AND AT A SPECIFIC DRAWING SCALE. ANY REPRODUCTION OR PUBLISHING OF THESE PLANS MAY RESULT IN DISTORTION OF SCALE AND SHALL BE VERIFIED PRIOR TO USE.
3. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO BEGINNING CONSTRUCTION. THE PERMITS SHALL BE MAINTAINED AT THE JOB SITE.
4. FURNISH AND INSTALL 6' HEIGHT TEMPORARY CHAIN LINK FENCE AROUND THE PROJECT BOUNDARY AND STAGING AREAS DURING CONSTRUCTION. THE FENCE SHALL BE LOCKED SECURELY EVERY DAY AT THE END OF OPERATIONS. TEMPORARY FENCING SHALL BE CONSIDERED INCIDENTAL TO THIS CONTRACT AND NO SEPARATE PAYMENT SHALL BE MADE.
5. CONTRACTOR SHALL MAINTAIN "REDLINE" RECORD DRAWINGS ON A CLEAN SET OF CONSTRUCTION DRAWINGS IN ACCORDANCE WITH M.A.S.S. DIVISION 65.00 CONSTRUCTION SPECIFICATIONS FOR CONSTRUCTION SURVEY. THE "REDLINES" SHALL BE KEPT CURRENT ON A DAILY BASIS AND SHALL BE AVAILABLE TO THE ENGINEER FOR INSPECTION ON THE JOBSITE.
6. CONTRACTOR SHALL RECORD SURVEY NOTES FOR SUBMITTAL WITH AS-BUILT PLANS/DRAWINGS, INCLUDING HORIZONTAL AND VERTICAL LOCATIONS OF ALL UTILITIES ENCOUNTERED IN THE FIELD. CONTRACTOR SHALL RECORD ALL DEVIATIONS FROM THE DESIGN.
7. THESE NOTES CONTAIN INFORMATION NECESSARY FOR THE PROPER EXECUTION OF THE WORK CONTAINED ON THESE IMPROVEMENT DRAWINGS. THESE NOTES APPLY TO ALL DRAWINGS. ADDITIONAL CONSTRUCTION NOTES MAY ALSO BE SHOWN ON INDIVIDUAL DRAWING SHEETS. THE CONTRACTOR IS RESPONSIBLE TO READ AND COMPLY WITH ALL NOTES SHOWN ON THE DRAWINGS. THE TERM "CONTRACTOR", AS USED IN THESE NOTES AND ELSEWHERE IN THIS DRAWINGS, MEANS THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS AND INDIVIDUALS AUTHORIZED TO PERFORM WORK SHOWN ON THESE IMPROVEMENT DRAWINGS. THE CONTRACTOR IS RESPONSIBLE TO COMPLY WITH ALL NOTES APPLICABLE TO THE WORK. ALL CONTRACTORS ARE DIRECTED TO CONTACT THE ENGINEER FOR ANY QUESTIONS REGARDING THE STATED OR IMPLIED MEANING OF ANY NOTE OR OTHER INFORMATION CONTAINED ON THESE IMPROVEMENT DRAWINGS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT THEIR CONTRACT FOR SERVICES INCLUDES THE RESPONSIBILITIES DEFINED BY THE APPLICABLE NOTES.
8. ALL QUANTITIES SHOWN HEREIN ARE APPROXIMATE. CONTRACTOR SHALL VERIFY ALL QUANTITIES.
9. IMPORT HAUL ROUTE: ANCHORAGE SAND AND GRAVEL: WEST O'MALLEY ROAD - NORTH MINNESOTA DRIVE - NORTH I STREET - WEST 5TH AVENUE.
10. EXPORT HAUL ROUTE: ANCHORAGE SAND AND GRAVEL SAND LAKE PIT: EAST 5TH AVENUE - SOUTH L STREET - SOUTH MINNESOTA DRIVE - WEST DIMOND BOULEVARD - SAND LAKE ROAD - SAND LAKE PIT.
11. HOURS OF OPERATION: MONDAY-SATURDAY: 7AM-7PM, IN COMPLIANCE WITH THE MUNICIPAL NOISE AND HOURS OF OPERATION REQUIREMENTS DURING CONSTRUCTION IN AMC 15.70.060.B.3.

EXISTING UTILITIES:

12. LOCATIONS DEPICTED FOR THE UTILITIES ARE APPROXIMATE. UTILITIES HAVE BEEN LOCATED FROM AS-BUILT DRAWINGS AND UTILITY COMPANY LOCATES. INACTIVE AND UNDOCUMENTED UTILITIES MAY EXIST WITHIN THE PROJECT AREA. UPON DISCOVERY OF UNDOCUMENTED UTILITIES THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER. THE CONTRACTOR SHALL DOCUMENT THE LOCATION, DEPTH, AND TYPE OF UTILITY AND PROVIDE THIS INFORMATION TO THE ENGINEER.
13. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND VERIFYING ALL UTILITIES AND PERFORMING ANY NECESSARY VERIFICATION PRIOR TO CONSTRUCTION.
14. (UNDERGROUND) OVERHEAD ELECTRICAL AND TELECOMMUNICATION LINES (AND POLES) OCCUR NEAR THE PROJECT AREA; CONTRACTOR SHALL COORDINATE WORK ACCORDINGLY. ALL WORK IN CLOSE PROXIMITY TO EXISTING (OVERHEAD) UNDERGROUND LINES (AND POLES) SHALL COMPLY WITH APPLICABLE FEDERAL, STATE, AND LOCAL STATUTES, CODES AND GUIDELINES, AND THE ELECTRICAL FACILITY CLEARANCE REQUIREMENTS OF THE GOVERNING UTILITY.
15. HAND DIGGING IS REQUIRED WITHIN TWO FEET OF BURIED ELECTRICAL CABLE. SOME UTILITIES HAVE BEEN LOCATED FROM AS-BUILT DRAWINGS AND MAY NOT BE VISIBLE.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL EXISTING UTILITIES WITHIN THE LIMITS OF CONSTRUCTION, WHETHER OR NOT SAID UTILITIES ARE SHOWN ON THE PLANS. THIS RESPONSIBILITY INCLUDES CONTACTING UTILITY COMPANIES FOR LOCATIONS OR POT-HOLING PRIOR TO CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES DURING CONSTRUCTION IS THE RESPONSIBILITY OF THE CONTRACTOR.

EXCAVATION:

17. EXACT LOCATION OF EXCAVATION AND BACKFILL SHALL BE AS SHOWN ON THE DRAWINGS OR AS DIRECTED BY THE ENGINEER.
18. ORGANIC MATERIAL SHALL BE REMOVED FROM THE SUBGRADE TO A DEPTH TO BE DETERMINED BY THE ENGINEER. NO ORGANIC MATERIAL OR OTHER DELETERIOUS MATERIAL SHALL BE UTILIZED FOR BACKFILL.
19. DEWATERING IS NOT ANTICIPATED FOR THIS PROJECT. IF DEWATERING IS REQUIRED, REFER TO MASS. ANY SUCH DEWATERING EFFORTS SHALL BE CONSIDERED INCIDENTAL TO THIS CONTRACT.
20. CLASSIFIED FILL SHALL BE PLACED IN LIFTS NOT EXCEEDING 12-INCHES IN DEPTH AND SHALL BE COMPACTED TO 95% M.D.D., AND NON-STRUCTURAL SECTIONS TO 90% M.D.D.
21. NO FROZEN SOILS CAN BE USED IN FILLS. NO FILL CAN BE PLACED OVER FROZEN GROUND
22. ALL AREAS TO BE FILLED SHALL BE CLEARED OF VEGETATION AND ROOT MAT.
23. FINISH GRADE (FG) REPRESENTS THE ELEVATION OF THE FINISHED SURFACE INCLUDING WORK (NIC). THIS INCLUDES LANDSCAPE AREAS, PAVED OR CONCRETE SURFACES, ROCK RIP-RAP SURFACE AND ELEVATION AT EXTERIOR OF STRUCTURE FOUNDATION, UNLESS OTHERWISE DENOTED ON DETAIL OR SPECIAL LABEL. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ADJUST SUBGRADE OR TOPSOIL TO ALLOW FOR FINISHED SURFACE MATERIAL DIMENSIONS.

CLEANUP AND TOPSOIL:

24. WORK AND MATERIALS REQUIRED FOR REMOVING LITTER OR DEBRIS THAT EXISTS WITHIN THE PROJECT LIMITS SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND NO SEPARATE PAYMENT SHALL BE MADE.
25. CONTRACTOR SHALL RESTORE DISTURBED PROPERTY, INCLUDING STAGING AREAS, TO PRE-CONSTRUCTION CONDITION(S), UNLESS OTHERWISE DIRECTED BY THE ENGINEER. PAYMENT FOR RESTORING DISTURBED PROPERTY OUTSIDE THE AREA OF WORK, OR SCOPE OF WORK, SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT. NO SEPARATE PAYMENT SHALL BE MADE UNLESS THESE AREAS HAVE BEEN IDENTIFIED ON THE DRAWINGS BY THE ENGINEER AND ARE ASSOCIATED WITH SCHEDULED BID ITEMS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL RESTORED AREAS UNTIL ACCEPTED BY THE ENGINEER.

ABBREVIATIONS:

ADA	AMERICAN WITH DISABILITIES ACT OF 1990
ADOT	STATE OF ALASKA DEPARTMENT OF TRANSPORTATION
AC	ASPHALTIC CONCRETE
APPROX	APPROXIMATELY
BOP	BEGINNING OF PROJECT
BM	BENCH MARK
BMP	BEST MANAGEMENT PRACTICE
BS	BOTTOM OF STEP
CL	CENTERLINE
CONST	CONSTRUCT
DET	DETAIL
DEPT	DEPARTMENT
E	EAST
EP/EOP	EDGE OF PAVEMENT
EL	ELEVATION
ESMT	EASEMENT LINE
EST	ESTIMATED
EX	EXISTING
FI	FURNISH AND INSTALL
FG	FINISHED GRADE
FG(e)	EXISTING FINISH GRADE
FH	FIRE HYDRANT
FL	FLOW LINE
G	GAS
GB	GRADE BREAK
GPS	GLOBAL POSITIONING SYSTEM
HOR	HORIZONTAL
HP	HIGH POINT
IE	INVERT ELEVATION
INT	INTERSECTION
IAW	IN ACCORDANCE WITH
L	LENGTH
LF	LINEAR FEET
LOC	LOCATION
LP	LOW POINT
LT	LEFT
MASS	MUNICIPALITY OF ANCHORAGE STANDARD SPECIFICATIONS
MAX	MAXIMUM
ME	MATCH EXISTING
MH	MANHOLE
MIN	MINIMUM
MOA	MUNICIPALITY OF ANCHORAGE
MON	MONUMENT
MSL	MEAN SEA LEVEL
N	NORTH
NIC	NOT IN CONTRACT
NTP	NOTICE TO PROCEED
NTS	NOT TO SCALE
PCC	PORTLAND CEMENT CONCRETE
PG	PLAYGROUND GRADE
PL	PROPERTY LINE
PUE	PUBLIC UTILITY EASEMENT
R	RADIUS
RAP	RECYCLED ASPHALT PAVEMENT
R&R	REMOVE AND REPLACE
ROW	RIGHT-OF-WAY
RP	RADIUS POINT
RT	RIGHT
RTK	REAL TIME KINEMATIC
REF	REFERENCE
RET	RETURN
S	SOUTH
SG	SUBGRADE
SS	SANITARY SEWER
STA	STATION
STD	STANDARD
SY	SQUARE YARD
SW	SIDEWALK
ST	STREET
SHT	SHEET
SD	STORM DRAIN
TAN	TANGENT
TEL	TELEPHONE
TBM	TEMPORARY BENCH MARK
TOE	TOE OF SLOPE
TS	TOP OF STEP
TYP	TYPICAL
VER	VERTICAL
W	WEST
YPC	YELLOW PLASTIC CAP

LEGEND:

EXISTING	PROPOSED	
		PROPERTY LINE
		ADJACENT PROPERTY LINE
		EASEMENT LINE
		ROADWAY CENTER LINE
		BUILDING LINE
		CONCRETE EDGE LINE
		FENCE LINE
		EDGE OF ASPHALT LINE
		CURB LINE
		WATER LINE
		SANITARY SEWER LINE
		GAS LINE
		STORM DRAIN LINE
		ELECTRIC LINE
		PRIVATE ELECTRIC LINE
		TELEPHONE LINE
		COMMUNICATION LINE
		FIBER OPTIC LINE
		CONTOUR MAJOR
		CONTOUR MINOR
		WATER VALVE
		SANITARY SEWER MANHOLE
		STORM DRAIN MANHOLE
		STORM DRAIN CATCH BASIN
		ELECTRIC MANHOLE
		ELECTRIC RISER
		ELECTRIC JBOX
		ELECTRIC OUTLET BOX
		LIGHT POLE
		LIGHTED BOLLARD
		IRRIGATION VALVE/CONTROL
		IRRIGATION BOX
		TELEPHONE RISER
		SIGN
		BOLLARD
		BOULDER
		TREE
		CONCRETE
		DONOR BRICKS
		OPEN SPACE
		SEATWALL



Know what's **below**.
Call before you dig.



ORIGINAL TOWNSITE, BLOCK 51, LOTS 2,3,4,6B & 7A, ANCHORAGE, AK, 99501

TOWN SQUARE PARK

NOTES, ABBREVIATIONS, AND LEGEND

JOB #	DRAWN	CHECKED	REV#	DATE	DESCRIPTION	BY	CHK
	ZR	LB					
PROJECT							
TSP IMPROVEMENTS							
STATUS							
UDC SUBMITTAL							
STATUS							
OCTOBER 16, 2025							
SCALE							
HOR. N/A							
GRID: ---							
REVISIONS							

SHEET G2 of XX

WEST 6TH AVENUE

E STREET

9 REMOVE MANHOLE.

- 1 SEE ELECTRICAL FOR REMOVAL OF BOLLARD LUMINAIRES, LIGHTPOLES, OUTLETS, AND JBOXES (TYP).
- 2 REMOVE AND RELOCATE SIGNS.
- 3 REMOVE MODULAR BLOCK WALL.
- 4 PROTECT IN PLACE BOULDER.
- 5 SALVAGE TRASH CANS.
- 6 REMOVE STRUCTURES AND OBSTRUCTIONS (PUMP VAULT).
- 7 REMOVE IRRIGATION STRUCTURES (TYP).
- 8 REMOVE PIPE.
- 9 REMOVE MANHOLE.

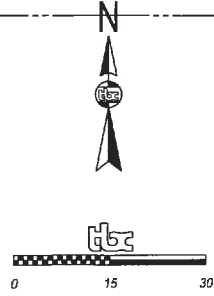


TOWN SQUARE PARK

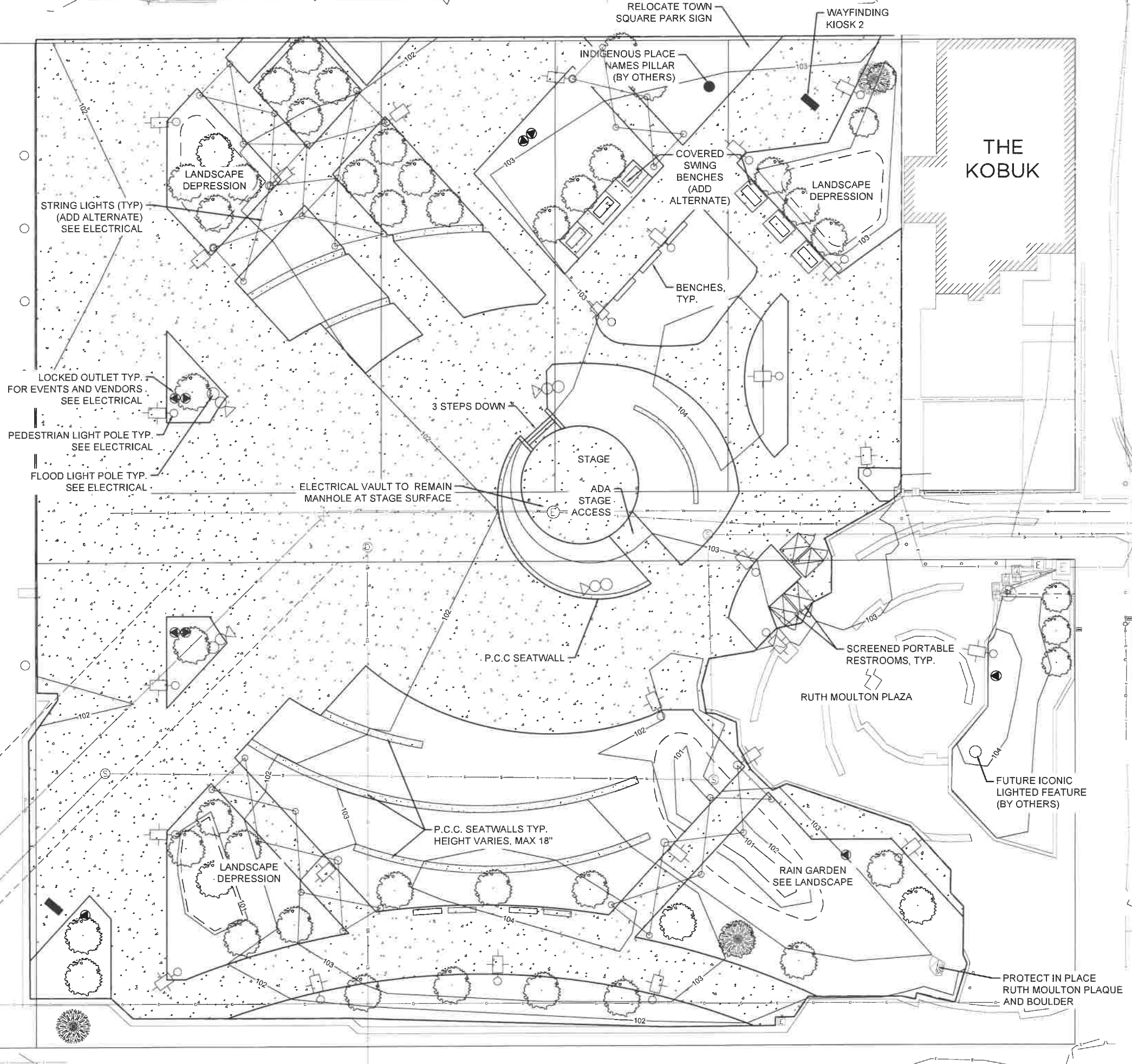
DEMOLITION PLAN

SHEET	JOB #		DRAWN BY		REV#	DATE	DESCRIPTION	BY	CKD
	P25-079		ZR						
	PROJECT		LB						
	TSP IMPROVEMENTS								
STATUS					UDC SUBMITTAL				
STATUS					OCTOBER 16, 2025				
SCALE					HOR. 1" = 40'		GRID: SW7330		REVISIONS
					VER. N/A				

S:\Projects\MOA Parks and Recreation\2024 Parks\Town Square Redevelopment\ACAD\TSP CIVIL C SHEETS.dwg



ALASKA
CENTER FOR
THE
PERFORMING
ARTS



ANCHORAGE PARKS
AND RECREATION
HEALTHY PARKS. HEALTHY PEOPLE

REAL

CONSULTANT

ORIGINAL TOWNSITE, BLOCK 51, LOTS 2,3,4,6B & 7A, ANCHORAGE, AK 99501

BY CKD

DESCRIPTION

REV#

DATE

DESIGNED BY

OM

LB

PROJECT

TSP IMPROVEMENTS

STATUS

UDC SUBMITTAL

STATUS

OCTOBER 16, 2025

SCALE

HOR. 1" = 15'

VER. NA

GRID

SMT250

SHEET

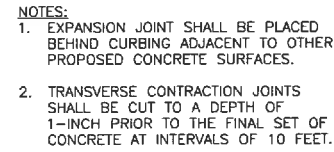
C1

of

XX

SITE PLAN

TOWN SQUARE PARK



4" PORTLAND CEMENT CONCRETE

6" TYPE IIA CLASSIFIED FILL

12" TYPE II CLASSIFIED FILL

EXCAVATION LIMITS

CONCRETE SIDEWALK OR CONCRETE PAD

SAWCUT CONTRACTION JOINT
 DEPTH = $\frac{1}{4}T$
 WIDTH = $\frac{1}{8}$ "

NOTE:
1. STAIR TREAD FINISH SHALL BE "COARSE BROOM" FINISH, TRAVERSE TO DIRECTION OF TRAVEL.

1/2" RADIUS ON ALL EXPOSED CORNERS

#3 NOSE REBAR, 1" CLEAR ALL SIDES

6" TYP. EQUAL

PROVIDE EXPANSION JOINT STAIRS AND P.C.C. SIDEWALK

#4 REBAR @ 12" OC EACH WAY, CENTERED, KEEP 3" CLEAR ALL SURFACES

12"

14" TYP. EQUAL

1.5" NOSING

PROVIDE EXPANSION JOINT STAIRS AND P.C.C. SIDEWALK

3" CLEAR, ALL SURFACES

10"

6"

PROVIDE THICKENED TRANSITIONS

PROVIDE THICKENED EDGES OF P.C.C. SIDEWALK

20" DEPTH TYPE TYPE-IIA CLASSIFIED FILL

GEOTEXTILE FABRIC TYPE-A (SEPARATION)

[illegible]

**ANCHORAGE PARKS
AND RECREATION**
HEALTHY PARKS, HEALTHY PEOPLE



Andersson, G. 1994. *Handbook of the Swedish language*. Stockholm: Almqvist & Wiksell.



100

TABLE 1

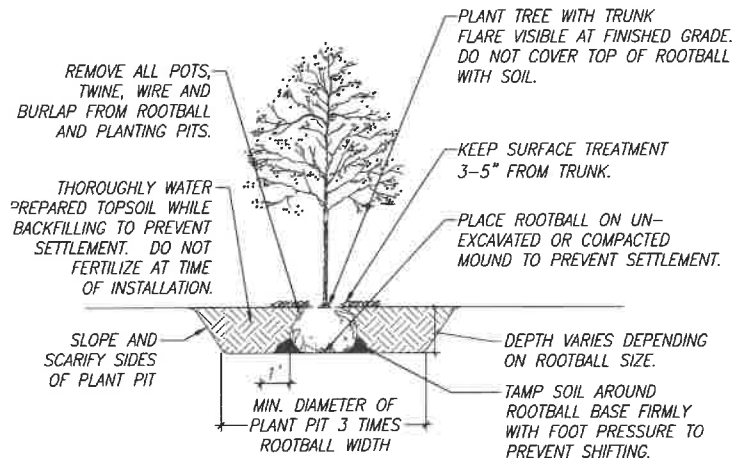
TOWN SQUARE PARK

DETAILS

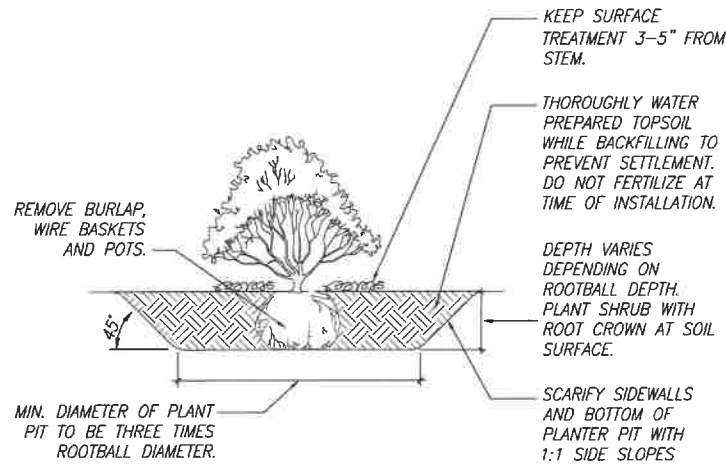
P25-079	ZR	LB
PROJECT TSP IMPROVEMENTS		
STATUS UDC SUBMITTAL		
STATUS OCTOBER 16, 2025		
SCALE	HOR. V/A VER.	GRID: N/A SW'730
REVISIONS		

\\Projects\MOA\Parks and Recreation\2024 Parks\Town Square Redevelopment\ACAD\2025-10-7_TSP_L1_Landscape Plan.dwg

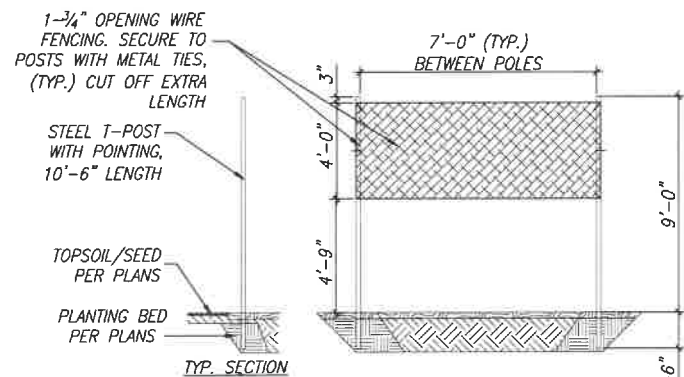
S:\Projects\MOA\Parks and Recreation\2024 Parks\Town Square Redevelopment\ACAD\2025-09-29 TSP LANDSCAPE DETAILS.dwg



1 DECIDUOUS TREE PLANTING
L2 SCALE: NTS

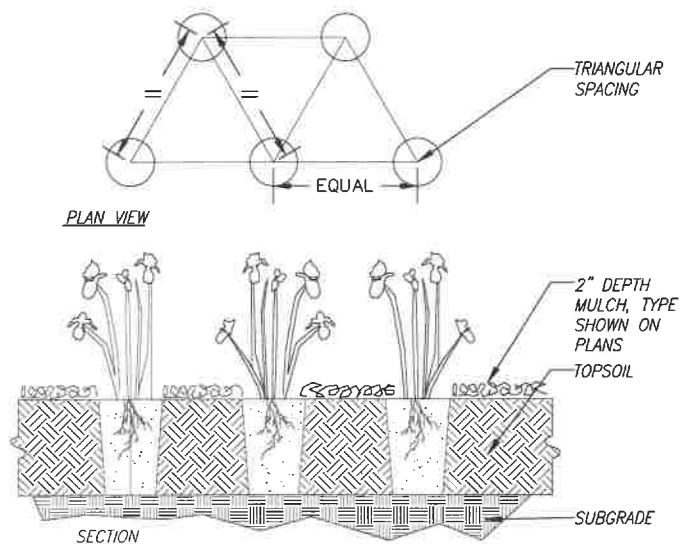


2 SHRUB PLANTING
L2 SCALE: NTS



NOTES:
1. MOOSE PROTECTION FENCING REQUIRED AROUND ALL NEW DECIDUOUS TREES
2. FOR INDIVIDUAL TREES, 3 POSTS REQUIRED PER TREE.
3. FOR TREE GROUPINGS, PLACE POLES AS NECESSARY SO THAT NETTING DOES NOT TOUCH BRANCHES.

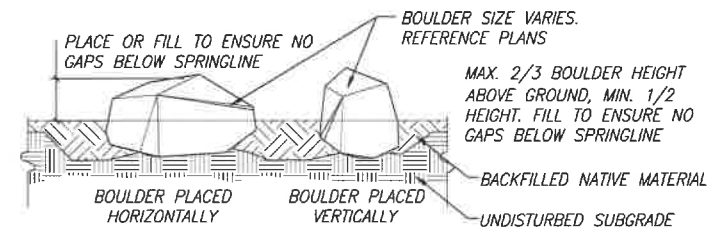
3 MOOSE PROTECTION
L2 SCALE: NTS



4 PERENNIAL PLANTING
L2 SCALE: NTS

LANDSCAPING NOTES

1. CALL BEFORE YOU DIG: 811. CONTRACTOR TO COORDINATE WITH UTILITY PROVIDERS AND VERIFY LOCATION OF UTILITIES PRIOR TO CONSTRUCTION.
2. IMMEDIATELY NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES IN THE PLANS OR ON THE SITE. MODIFICATIONS IN THE FIELD SHALL NOT BE MADE UNTIL APPROVAL HAS BEEN GRANTED BY THE ENGINEER OR OWNER'S REPRESENTATIVE.
3. LANDSCAPE PLANTING DETAILS, TOPSOIL, MATERIALS AND TREE PROTECTION SHALL BE IN ACCORDANCE WITH THE MOST CURRENT VERSION OF THE MUNICIPALITY OF ANCHORAGE STANDARD SPECIFICATIONS (M.A.S.S.) UNLESS OTHERWISE NOTED.
4. ALL PLANT MATERIAL SHALL CONFORM TO AMERICAN STANDARD FOR NURSERY STOCK, ANSI 260.1-2014. ALL PLANT MATERIALS ARE TO BE NURSERY GROWN, FREE OF DISEASE AND DEFECT
5. RESTORE AREAS DISTURBED BY CONSTRUCTION TO EXISTING CONDITIONS.
6. CONTRACTOR TO GUARANTEE PLANT ESTABLISHMENT THROUGH MAINTENANCE. WARRANTY PERIOD SHALL BE ONE GROWING SEASON FROM DATE OF INSTALLATION, IN ACCORDANCE WITH M.A.S.S.
7. CONTRACTOR IS RESPONSIBLE FOR COORDINATION BETWEEN SITE PLANS.
 - SEE CIVIL FOR DRAINAGE, SNOW STORAGE AND GRADING PLANS AND ALL UTILITIES
 - REFER TO ELECTRICAL FOR LIGHTING.
8. HORTICULTURAL PLANTING BEDS TO HAVE A MINIMUM OF 12" OF TOPSOIL.
9. LANDSCAPE BEDS WITH COMBINED TREE AND SHRUB PLANTINGS TO HAVE A MINIMUM PLANTING DEPTH OF 24" OR DEEPER TO ACCOMMODATE ROOT BALLS.
10. LANDSCAPE BEDS WITHOUT TREES TO RECEIVE 18" PLANTING SOIL.
11. ALL LANDSCAPE BEDS TO RECEIVE 3" DECOMPOSED BARK MULCH.
12. SHRUBS AND PERENNIALS TO BE DISTRIBUTED EVENLY WITHIN AREAS SHOWN AS PER DETAILS.
13. ALL DECIDUOUS TREES SHALL RECEIVE MOOSE PROTECTION FENCING PER DETAIL.
14. PROVIDE 4" FLEXIBLE LANDSCAPE EDGING (RECYCLED COMPOSITE BEND-A-BOARD) AS INDICATED ON PLANS.



NOTES:
1) LOCATION AND ORIENTATION OF PLACED ROCKS SHALL BE FIELD VERIFIED BY OWNER'S REPRESENTATIVE.
2) ROCKS SHOULD BE NO HIGHER THAN 24" ABOVE ANY ADJACENT GRADE.
3) CIRCUMFERENCE REFERS TO THE LARGEST CIRCUMFERENCE OF THE BOULDER.
4) HEIGHT IS MEASURED PERPENDICULAR TO AXIS USED FOR DETERMINING CIRCUMFERENCE.

5 LANDSCAPE BOULDERS
L2 SCALE: NTS



SEAL



ORIGINAL TOWNSITE, BLOCK 51, LOTS 2,3,4,8B & 7A, ANCHORAGE, AK 99501
TOWN SQUARE PARK
LANDSCAPE DETAILS
AND NOTES

JOB #	PROJECT	STATUS	DATE	REV#	DESCRIPTION	BY	CKD
P25-079	TSP IMPROVEMENTS	UDC SUBMITTAL	OCTOBER 16, 2025				
SCALE	HOR. N/A	VERT. N/A	GRID	SWT230			

	FLOODLIGHT -- OUTDOORS, WEATHERPROOF
	POLE MOUNTED AREA PEDESTRIAN LIGHT -- OUTDOORS, WP
	BOLLARD LIGHT -- OUTDOORS, WEATHERPROOF
	PHOTOCELL
	FIXTURE TAG (LETTER INDICATES TYPE)
	CONDUIT, CONCEALED
	NUMBER AND SIZE OF WIRES (NO MARKS = 3 #12)
A-2	HOMERUN TO PANEL (PANEL AND CIRCUIT No.)
	OVERHEAD ELECTRICAL LINE (12470/7200V UON)
	EXISTING PANEL
	DUPLEX RECEPTACLE WITH GROUND FAULT CIRCUIT INTERRUPTER
	JUNCTION BOX
	TYPE 1A IN GRADE EXTERIOR JUNCTION BOX (EXISTING, NEW)
	FOOD TRUCK PEDESTAL -- 50A
	FOOD TRUCK PEDESTAL -- 30A
	DUPLEX RECEPTACLE TO BE REMOVED (DASHED OR DOTTED LINES INDICATE ITEMS TO BE REMOVED TYPICAL)
	NOTE TAG (No. INDICATES NOTE)
AFG	ABOVE FINISHED GRADE
C	CONDUIT
CO	CONDUIT ONLY
E	DENOTES EXISTING ITEM
EM	DENOTES EMERGENCY POWER
GFCI	GROUND FAULT CIRCUIT INTERRUPTER
K	KELVIN
LED	LIGHT EMITTING DIODE
LM	LUMENS
TYP	TYPICAL
WP	WEATHERPROOF

TYPE	LOCATION	MANUFACTURER AND CATALOG NUMBER (OR APPROVED EQUAL)	LUMINAIRE DESCRIPTION	MOUNTING		LAMPS	BALLAST/DRIVER	TOTAL INPUT WATTS
				TYPE	HEIGHT			
A	PEDESTRIAN PATH	SELUX #SA1L-TS-1-S1G2-40-12-SV-UNV #S35-12-SV-BC5	LIGHT: SYMMETRIC LED PEDESTRIAN POLE LIGHT, SILVER REFLECTOR DOUBLE STACK, SILVER FINISH POLE: 12' TALL ROUND, STRAIGHT, SILVER FINISH, ALUMINUM BASE COVER.	POLE-MOUNTED	12'-0" AFG	4,000K 5,494LM	120/277V DRIVER	50
B	STAGE	KIM #KFL3-BOL-175-4KB-WF-UNV-S-PSS-NXWE-HS VALMONT #DS210-590A200-P2-FPGV-SL-FBC-AB	FIXTURE: LED FLOOD LIGHT, DIE-CAST ALUMINUM HOUSING, TEMPERED GLASS LENS, WIDE FLOOD BEAM SPREAD, PLATINUM SILVER FINISH, NX WIRELESS ENABLED, HALF GLARE SHIELD. POLE: 20'-0" TALL, PLATINUM SILVER GALVANIZED FINISH TO MATCH FIXTURE, 2.38"OD X 4"TENON.	POLE-MOUNTED	20'-0" AFG	4,000K 20,913LM	120/277V DRIVER 0-10V DIMMING TO 10%	175
C	PEDESTRIAN PATH	TIVOLI #LSL2-B-24-V-35-C-12 #LSL2-XEP-B-05 #LSL2-EC-B #INF-J-300-5-5-12 #15'DS210-700E150-PC-FPGV-FBC-AB-SPCL-BP	LIGHTS: LED STRING LIGHTS WITH BLACK WIRE, 2'-0" SPACING, 3'-0" SAG, HIGH OUTPUT, CLEAR GLOBE LENS, BLACK POWER LEADS AND END CAPS, AND 300W TRANSFORMERS. POLES: 15'-0" TALL, SILVER FINISH.	POLE-MOUNTED	MAX: 15'-0" AFG MIN: 12'-0" AFG	3500K 45LM/FT	12V TO 120/277V DRIVER	0.5W /FT

- A. ALL WORK SHALL CONFORM TO THE 2015 MUNICIPALITY OF ANCHORAGE STANDARD SPECIFICATIONS (MASS).
- B. PROVIDE GENERAL LUMINAIRE POLE BASES, JUNCTION BOXES AND TRENCH WORK PER MASS DETAILS. 80-13, 80-31.
- C. ALL TYPE 'C' FIXTURES WILL BE INCLUDED IN PHASE 2.

1. FIXTURE TO BE PROVIDED IN PHASE 2.

THE CONTRACTOR SHALL NOTIFY ALL AREA UTILITY COMPANIES
PRIOR TO COMMENCEMENT OF EXCAVATION. THE FOLLOWING
IS A PARTIAL LIST:

LOCATE CALL CENTER OF ALASKA (INCLUDES ACS, AWWU, CEA, ENG, BUTLER AVIATION, TESORO, GCI, MDP, TRAFFIC SIGNALS, MOA STORM/STREETS)	278-3121
STATE STORM/STREET LIGHTS	333-2411
MILITARY PETROLEUM LINES	862-4112



Figure 1 consists of two line graphs. The top graph shows the number of men in the labor force, and the bottom graph shows the number of women in the labor force. Both graphs plot data from 1990 to 2000. The x-axis for both graphs is labeled with years: 1990, 1995, and 2000. The y-axis is labeled 'Number of people (thousands)' and ranges from 0 to 1000 in increments of 200. The top graph (men) shows a steady increase from approximately 600,000 in 1990 to 800,000 in 2000. The bottom graph (women) shows a steady increase from approximately 400,000 in 1990 to 600,000 in 2000. Both graphs show a slight dip around 1995.

TYPE C

NO SCALE



TOWN SQUARE PARK

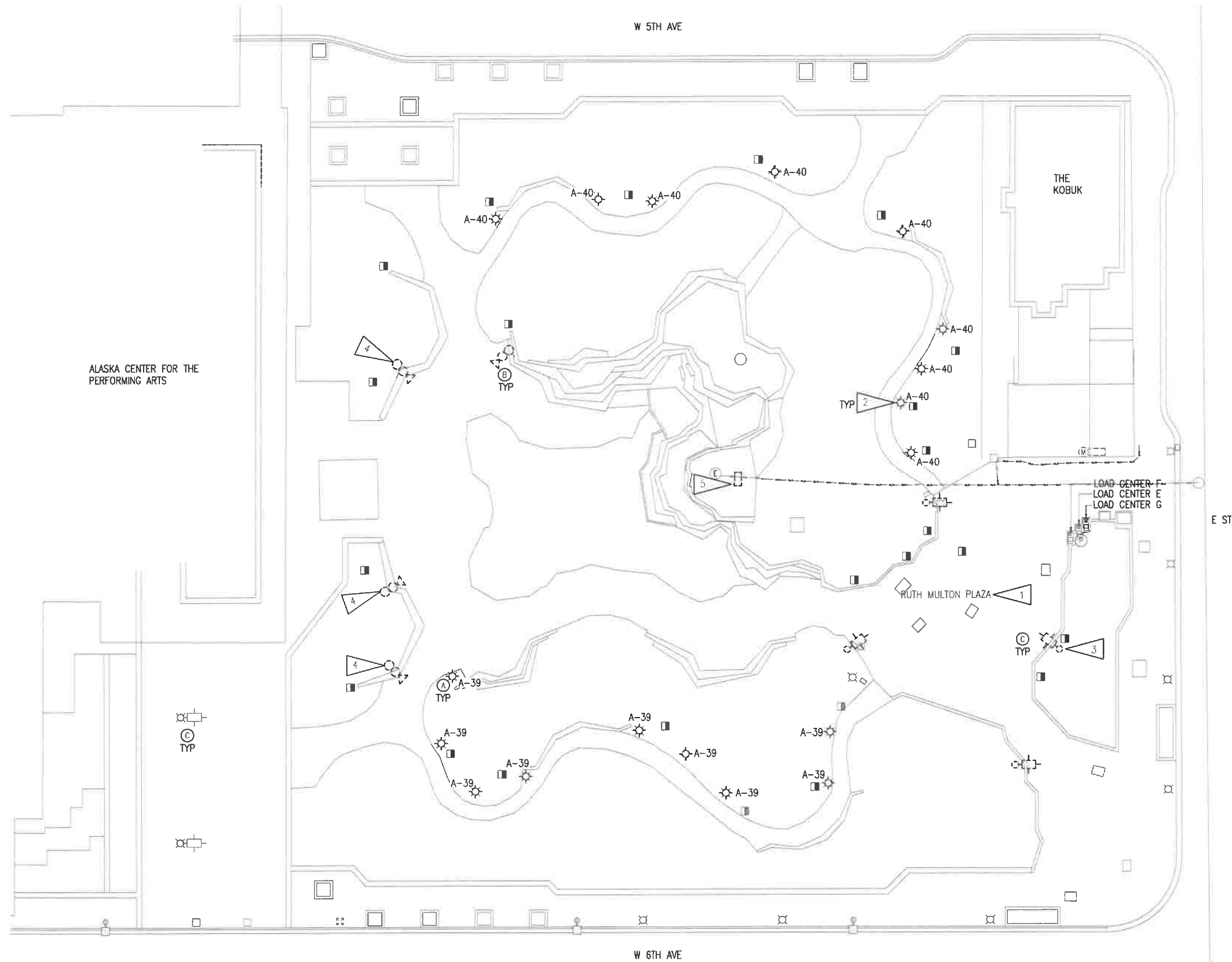
TOWN SQUARE PARK

ELECTRICAL LEGEND AND

FIXTURE SCHEDULE

M3193.10	LKH	CPL
PROJECT		
TSP IMPROVEMENTS		
STATUS		
UDC SUBMITTAL		
STATUS		
OCTOBER 16, 2025		
SCALE	HOR. VER.	GRID:
N/A	N/A	SW1230

SHEET E001 of 14



GENERAL NOTES:

- A. THE INFORMATION SHOWN ON THIS DRAWING IS TAKEN FROM ORIGINAL CONSTRUCTION DRAWINGS, RECORD DRAWINGS DATED FEB 2010, AND A NON-DESTRUCTIVE WALK THROUGH OF THE SITE. THERE IS NO WARRANTY OR GUARANTEE AS TO THE ACCURACY OF THE INFORMATION SHOWN HERE-IN. THE CONTRACTOR SHALL FIELD VERIFY ALL ITEMS SCHEDULED FOR DEMOLITION PRIOR TO START OF WORK.
- B. THE OWNER SHALL HAVE FIRST RIGHT OF REFUSAL ON ALL SALVAGEABLE MATERIALS. THE CONTRACTOR SHALL DELIVER SALVAGED MATERIALS AS DIRECTED BY THE OWNER. THE CONTRACTOR SHALL DISPOSE OF, OFF SITE, ALL UNWANTED MATERIALS.
- C. DASHED OR DOTTED LINES INDICATE ITEMS TO BE REMOVED. SOLID LINES INDICATE EXISTING ITEMS TO REMAIN.
- D. ALL WORK SHALL CONFORM TO THE 2015 MUNICIPALITY OF ANCHORAGE STANDARD SPECIFICATIONS (MASS).

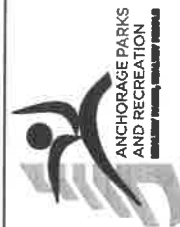
SHEET NOTES

- 1. SALVAGE UNDERGROUND CONDUIT IN THIS AREA. INTENT IS TO LEAVE EXISTING SNOW MELT SYSTEM IN PLACE.
- 2. DEMOLISH BOLLARD AND BASE IN ITS ENTIRETY.
- 3. DEMOLISH LIGHT POLE AND BASE IN ITS ENTIRETY.
- 4. DEMOLISH FIXTURE, POLE, AND CORD AND PLUG.
- 5. DEMOLISH ALL WELL PUMP ELECTRICAL SYSTEMS BACK TO JUNCTION BOX WEST OF RUTH MULTON PLAZA.

EXISTING LIGHT
FIXTURE SCHEDULE

	LUMINAIRE DESCRIPTION	W
(A)	8" DIA., 11" HIGH DOME TOP BOLLARD 240V HPF BALLAST METAL HALIDE	70
(B)	175W METAL HALIDE TEMPORARY FLOODLIGHT	210
(C)	METAL HALIDE PEDESTRIAN LIGHTS	100

1 ELECTRICAL DEMOLITION PLAN
1" = 20'-0"



SEAL

RISA
Mechanical and
Electrical Consulting
Engineers
1000 W. 11th Ave., Suite 200
Anchorage, AK 99501
Phone: 907.561.1234
Fax: 907.561.1235
Email: info@risaak.com

CONSULTANT

TOWN SQUARE PARK
ELECTRICAL DEMOLITION
PLAN

BY CKD

DESCRIPTION

DATE

REV#

CHECKED BY

DRAWN BY

PROJECT

STATUS

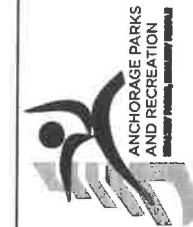
SCALE

DATE

VER

SHEET

14



SEAL

RISA
Mechanical and
Electrical Consulting
1111 W. 11th Ave., Suite 200
Anchorage, Alaska 99501
Phone: (907) 561-1111
Fax: (907) 561-1112
Email: info@risa-ak.com

CONSULTANT

ORIGINAL TOWNSITE, BLOCK 51, LOTS 2, 3, 4, 6B & 7A, ANCHORAGE, AK 99501
TOWN SQUARE PARK
ELECTRICAL REMODEL
PLAN

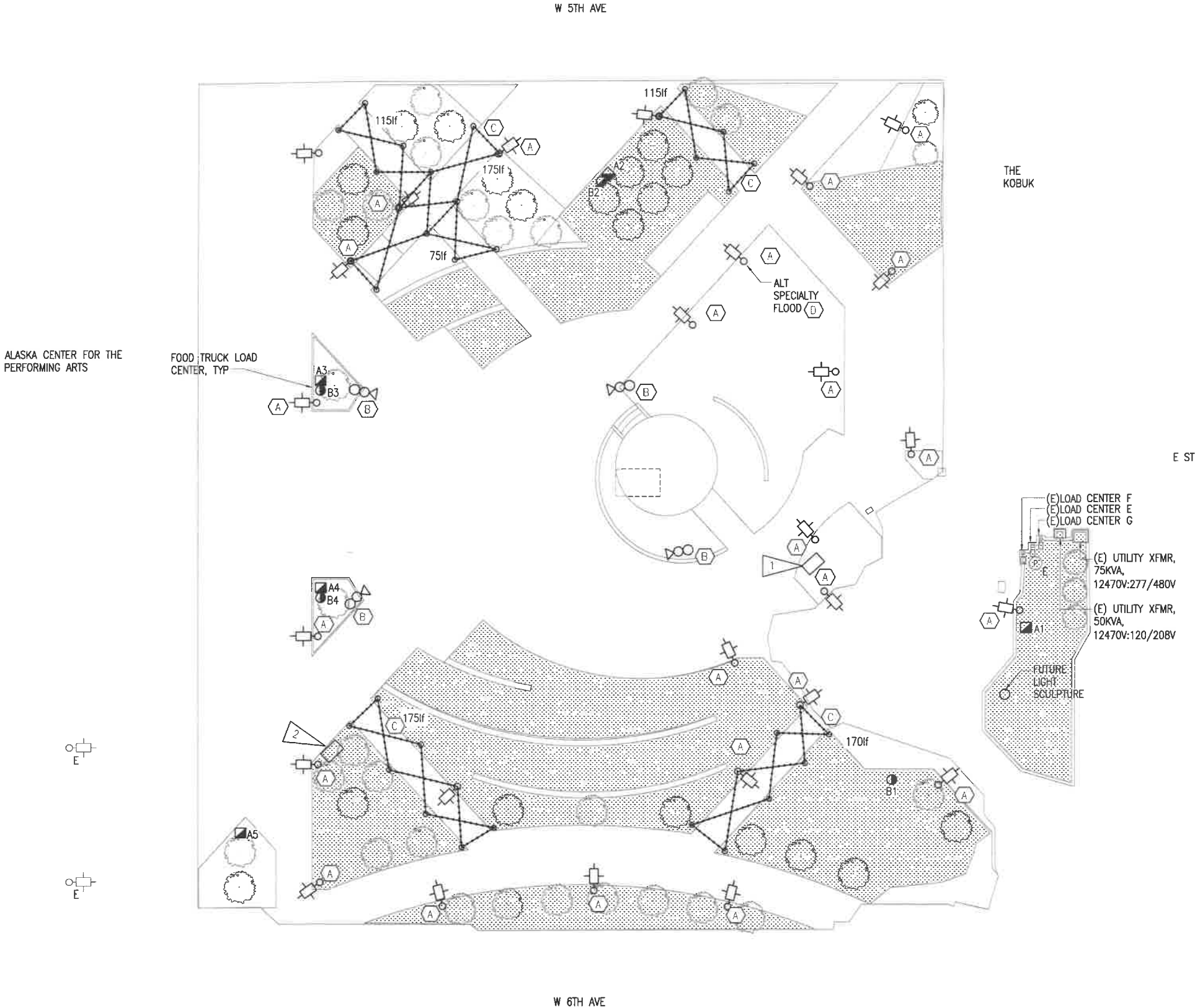
JOB #	DATE	REV#	DESCRIPTION	BY	CHK	REVISIONS
M3193.10	10/16/2025	1	UDC SUBMITTAL	LKH	CPL	
PROJECT	TSP IMPROVEMENTS					
STATUS	UDC SUBMITTAL					
SCALE	HOR. 1"=40'	VER. 1"=20'				
SHEET	E201	14				

GENERAL NOTES:

- A. ALL WORK SHALL CONFORM TO THE 2015 MUNICIPALITY OF ANCHORAGE STANDARD SPECIFICATIONS (MASS).
- B. ALL TYPE 'C' FIXTURES WILL BE INCLUDED IN PHASE 2.

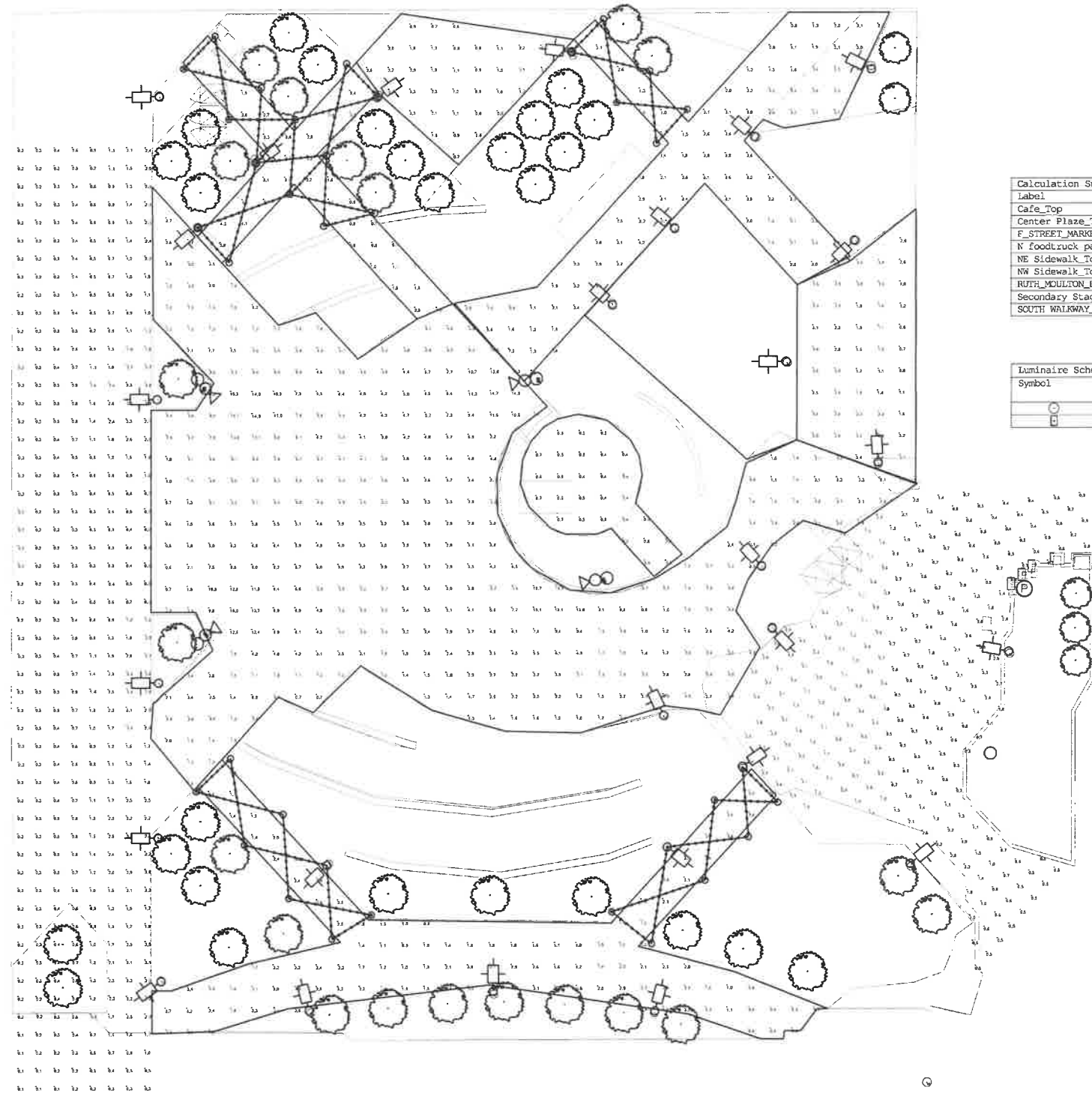
SHEET NOTES

1. PROVIDE 150KVA 480V:120/208V, 3PH TRANSFORMER AND 400A, 120/208V, 3PH PANEL. SPECIFICATIONS TO BE PROVIDED AT NEXT SUBMITTAL.
2. PROVIDE 200A, 120/208V, 3PH COMPANY SWITCH TO PROVIDE CONCERT POWER. SPECIFICATION TO BE PROVIDED AT NEXT SUBMITTAL.



1 ELECTRICAL REMODEL PLAN
1" = 20'-0"

1 PHOTOMETRIC PLAN
1" = 20'-0"



Calculation Summary						
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
Cafe_Top	Fc	2.28	3.6	0.7	3.26	5.14
Center Plaza_Top	Fc	4.16	16.7	0.5	8.32	33.40
F_STREET_MARKET	Fc	0.90	3.4	0.1	9.00	34.00
N foodtruck parking_Top	Fc	1.65	3.3	0.6	2.75	5.50
NE Sidewalk_Top	Fc	2.47	7.2	0.8	3.09	9.00
NW Sidewalk_Top	Fc	2.38	4.6	0.7	3.40	6.57
RUTH_MOULTON_PLAZA	Fc	1.30	4.1	0.4	3.25	10.25
Secondary Stage_Top	Fc	0.53	0.9	0.4	1.33	2.25
SOUTH WALKWAY_Top	Fc	2.01	3.8	0.3	6.70	12.67

Luminaire Schedule						
Symbol	Qty	Label	Description	LLF	Luminaire Lumens	Luminaire Watts
	32	SAIL-TS-X-SIG2-30-XX-UNV	SAIL-TS-X-SIG2-30-XX-UNV	0.850	5176	49.7133
	4	KFL3-80L-175-5K7-WF	KFL3-80L-175-5K7-WF	0.850	21710	175.52

ORIGINAL TOWNSITE, BLOCK 51, LOTS 2,3,4,6,8 & 7A, ANCHORAGE, AK, 99501

TOWN SQUARE PARK

PHOTOMETRIC PLAN

JOB #

M3193.10

PROJECT

TSP IMPROVEMENTS

STATUS

UDC SUBMITTAL

STATUS

OCTOBER 16, 2025

SCALE

HOR. VERT. N/A N/A

VER.

SW1230

DESIGNED

LKH

CHECKED

CPL

DATE

REV#

DESCRIPTION

BY

CHKD

REVISIONS

CONSULTANT

RISA Mechanical and Electrical Consulting Engineers
1000 W. 11th Ave., Suite 200
Anchorage, AK 99501
C. RISA, P.E.
ANCHORAGE, ALASKA

SEAL

SHEET

E202

14

ELECTRICAL LOAD CALCULATION

EXISTING LOAD CENTER 'E' PANEL A	125 A, 240 V, 1 PH
NEC CONNECTED LOAD (PER RECORD DRAWINGS DATED 02/2010)	22.9 KVA
EXISTING PEAK DEMAND (IN AMPS):	95 A
EXISTING LOADS REMOVED (IN KVA)	
LIGHTING	2.5 KVA
RECEPTACLES	19.4 KVA
SUBTOTAL:	21.9 KVA
TOTAL LOADS REMOVED:	-21.9 KVA
TOTAL LOADS REMOVED (IN AMPS):	-91 A
NEW LOADS ADDED (IN KVA)	
LIGHTING	2.47 KVA
27 RECEPTS - 20A	21.60 KVA
1 RECEPTS - 30A @120V	2.88 KVA
SUBTOTAL:	26.95 KVA
TOTAL LOADS ADDED:	26.95 KVA
TOTAL LOADS ADDED (IN AMPS):	112 A
NET LOAD CHANGE:	5.048 KVA
NET LOAD CHANGE (IN AMPS):	21 A
NEW TOTAL NEC DEMAND LOAD:	27.95 KVA
NEW TOTAL NEC DEMAND LOAD (IN AMPS):	116 A

RESULT: THE EXISTING LOAD CENTER HAS ADEQUATE CAPACITY FOR THE ADDED LOAD.

ELECTRICAL LOAD CALCULATION

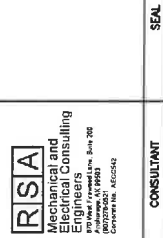
EXISTING LOAD CENTER 'E' PANEL B	70 A, 240 V, 1 PH
NEC CONNECTED LOAD (PER RECORD DRAWINGS DATED 02/2010)	12.1 KVA
EXISTING PEAK DEMAND (IN AMPS):	50 A
EXISTING LOADS REMOVED (IN KVA)	
RECEPTACLES	12 KVA
SUBTOTAL:	12 KVA
TOTAL LOADS REMOVED:	-12 KVA
TOTAL LOADS REMOVED (IN AMPS):	-50 A
NEW LOADS ADDED (IN KVA)	
4 RECEPTS - 30A @ 120V	11.52 KVA
SUBTOTAL:	11.52 KVA
TOTAL LOADS ADDED:	11.52 KVA
TOTAL LOADS ADDED (IN AMPS):	48 A
NET LOAD CHANGE:	-0.48 KVA
NET LOAD CHANGE (IN AMPS):	-2 A
NEW TOTAL NEC DEMAND LOAD:	11.62 KVA
NEW TOTAL NEC DEMAND LOAD (IN AMPS):	48 A

RESULT: THE EXISTING LOAD CENTER HAS ADEQUATE CAPACITY FOR THE ADDED LOAD.

ELECTRICAL LOAD CALCULATION

EXISTING LOAD CENTER 'F' PANEL A	200 A, 480 V, 3 PH
NEC CONNECTED LOAD (PER RECORD DRAWINGS DATED 02/2010)	66 KVA
EXISTING PEAK DEMAND (IN AMPS):	79 A
EXISTING LOADS REMOVED (IN KVA)	
WELL PUMP	66 KVA
SUBTOTAL:	66 KVA
TOTAL LOADS REMOVED:	-66 KVA
TOTAL LOADS REMOVED (IN AMPS):	-79 A
NEW LOADS ADDED (IN KVA)	
5 RECEPS - 50A @208V, 1PH	41.60 KVA
CONCERT POWER 200A, 208V, 3PH	72.05 KVA
SUBTOTAL:	113.65 KVA
TOTAL LOADS ADDED:	113.7 KVA
TOTAL LOADS ADDED (IN AMPS):	137 A
NET LOAD CHANGE:	47.65 KVA
NET LOAD CHANGE (IN AMPS):	57 A
NEW TOTAL NEC DEMAND LOAD:	113.7 KVA
NEW TOTAL NEC DEMAND LOAD (IN AMPS):	137 A

RESULT: THE EXISTING LOAD CENTER HAS ADEQUATE CAPACITY FOR THE ADDED LOAD.



TOWN SQUARE PARK

ELECTRICAL LOAD CALCULATIONS

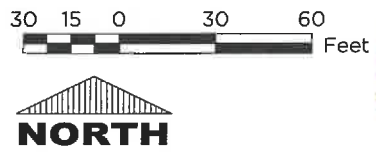
SHEET	JOB #	DRAWING NUMBER	CHECKED BY	DATE	DESCRIPTION	BY	CHKD
	M3193.10	LKH	CPL				
	PROJECT	TSP IMPROVEMENTS					
	STATUS	UDC SUBMITTAL					
	STATUS	OCTOBER 16, 2025					
	SCALE	HDR. N/A VER. N/A	CPL: SW 2300		REVISIONS		

DESIGN & GUIDING PRINCIPLES

The physical layout and design of Town Square Park influences the overall use, function, and security of the park.

The 2019 master plan proposes design changes that both addresses issues and works to achieve the community's vision for a welcoming, safe, and attractive park.

The September 2025 Preliminary Design builds on the 2019 Preferred Concept, carrying forward the priorities, guiding principles and design elements of the community's vision.



PARK CIRCULATION

Walkways throughout the park are designed to encourage visitors to move freely about the park. Clear sight lines and wayfinding help park guests to make decisions about where to go next and bottlenecks are removed by providing multiple, wide walkways.

Likewise, the park is also designed to allow for access for emergency and service vehicles, snow removal, and event support equipment.

TOWN SQUARE PARK and THE KOBUK

As stated in the master plan, and as a historic property directly abutting the park, The Kobuk is uniquely situated to provide highly sought after concessions to park users. An improved physical and visual relationship helps to support park use and improve 'eyes on the park'.

FLEX AREA

Flexible open space, as provided by the central plaza, is the heart of Anchorage's premier civic space. The Flex Area is large enough to host all-city events such as New Year's Eve Fire and Ice Festival and encourage a range of programmed events such as markets and concerts, gatherings and more.

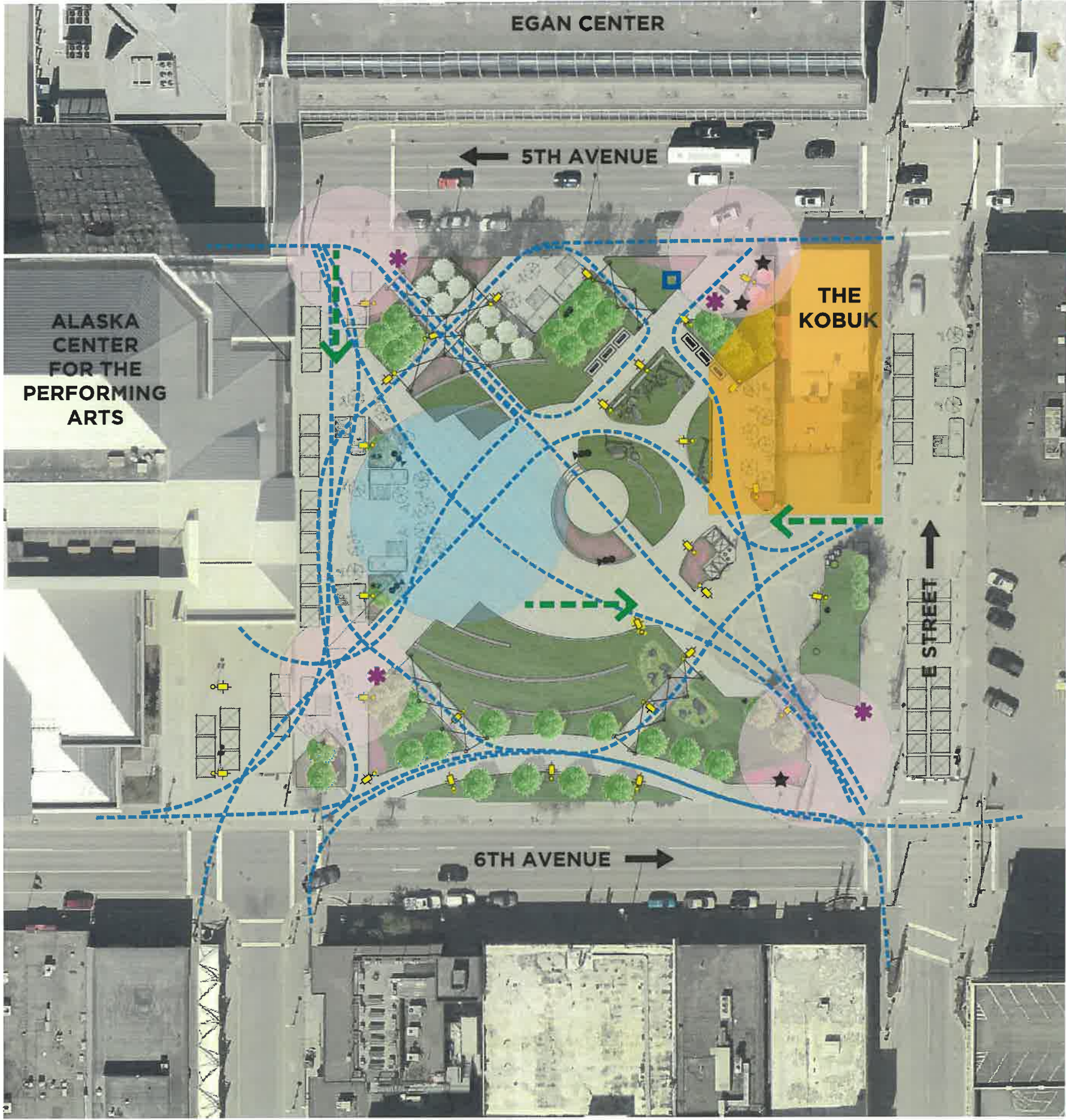
The surface must be easy to clean and keep snow and ice free. The surface must be strong enough to hold heavy vehicles like snow equipment, emergency and service vehicles while also offer visual interest during quiet moments in the park.





Questions or Comments?
www.muni.org/parks

Scan the QR Code to visit the Project Website to learn more and access the comment form.



ENTRANCES/ACCESS POINTS

All corners of the park are important park entrance access points, allowing park visitors to quickly become oriented within the area.

Entrance walkways are wide and provide clear sight lines to locate activities, amenities and adjacent uses along the perimeter of the park, like local businesses.

Open, welcoming entrances include colorful flower beds and Downtown Core Wayfinding information.

- ✱ WAYFINDING SIGNS
- EDUCATION OPPORTUNITY
- ★ MEMORIAL AREAS

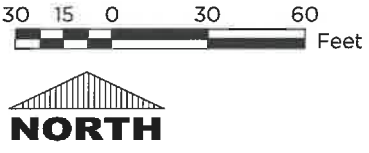
The Ruth Moulton memorial plaque mounted on a boulder will remain in the location at the park entrance at 6th Ave and E Street.

The master plan proposes similar boulders with plaques honoring Avis Cupples and Shirley Brundage recognizing their work alongside the Anchorage Garden Club to establish Town Square Park. These are proposed to be installed within a dedicated garden space at the northeast park entrance near the Kobuk, fulfilling Anchorage Assembly AR 2007-216.

SUPPORT FOR ACTIVITIES



SEPTEMBER 2025



MARKET SPACE & FOOD TRUCK VENDORS

Amenities and space for Market and Food vendors are well-considered in the 2025 Preliminary Design. The Ruth Moulton Plaza and E Street relationship remains unchanged, preserving work from 2008.

Additional market space is proposed along the front of the Performing Arts Center. This helps to activate the area directly in front of the PAC. It also strengthens the F Street pedestrian connection between the Egan Center and 4th Avenue to the North and Delaney Park Strip by way of the Dena'ina Convention Center to the South.

Where the E Street Market is sunny all day, the F Street Market is especially sunny in the morning and during lunch.

A third vendor area is also proposed along 5th Ave, this area could be operated year round under contract by artists or food vendors for additional "eyes on the park".

PEDESTRIAN ALLEE

A pedestrian allee is a tree lined walkway. The 2019 Preferred Concept showed this feature buffering 6th Avenue by diverting pedestrians away from the busy traffic and into the park. The 2025 Preliminary Design keeps both the allee and the existing 11 foot sidewalk to allow for improvements along 6th Avenue in the future.



Questions or Comments?
www.muni.org/parks

Scan the QR Code to visit the Project Website to learn more and access the comment form.



EVENT STAGES

For larger events, temporary stage trailer and tent systems are preferred as they incorporate the equipment needed to showcase the attraction. Temporary stage areas need clearance for setup, supporting equipment, and for safety.

A covered performance space is not currently in the 2025 Preliminary Design budget. In the future, one could be incorporated to cover the central community stage.



NORTH and SOUTH LAWNS

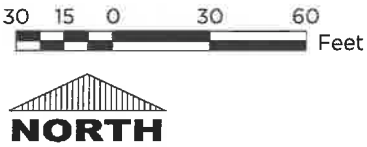
The north and south lawns provide green space for passive recreation such as socializing with friends and enjoying the sun. Park visitors may eat lunch brought from home or a local restaurant outside on a nice day. The space is also suited to event watching, where visitors can sit either on the provided seat walls or set up a chair on the gentle rise. A gentle slope away from the central plaza offers a subtle sense of separation from while also keeping clear sight lines across the park.

WINTER DESIGN AND LIGHTING

Town Square Park Preliminary Design Review



SEPTEMBER 2025



SNOW REMOVAL and STORAGE

Snow removal strategies are important considerations for a winter-city park.

Looking for opportunities to store snow for average years as well as surplus snow helps snow removal crews quickly clear snow from the park, ensuring daily use and safety.

ICE SKATING

Maintaining ice for skating in Town Square is challenging and impedes day-day park use.

The new design provides space for a small ice skating rink if conditions allow and demand remains. Public input is split on this issue, however many believe that there are better places to skate near downtown Anchorage such as West Chester Lagoon and Delaney Park Strip.

HOLIDAY TREE

The 2019 master plan recognizes the importance of a holiday tree at Town Square Park.

In the new design, it is not feasible to keep the existing holiday tree which sits atop the concrete terraced sunbowl, 7' above the central plaza.

A solution proposed by the master plan is similar to a model of the National Christmas Tree, where a new tree is brought to Town Square Park each winter. Trees could be locally-sourced or donated.



Town Square Park has an existing deep, in-ground tree-stand with a decorative cover.

Temporary HOLIDAY TREE



COMPREHENSIVE SITE LIGHTING

As part of the base bid, a full site lighting plan is proposed to include pedestrian light poles and architectural flood lights to illuminate the park for year-round use and safety.



ADDITIONAL and DYNAMIC LIGHTING

Future upgrades are anticipated and electrical services are planned to be provided for future lighting such as overhead string lights and lighted focal points.



Additional elements being considered include integrated bench lighting and artistic, vertical elements for the iconic site features.



Questions or Comments?
www.muni.org/parks

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ICONIC & MEMORABLE ELEMENTS



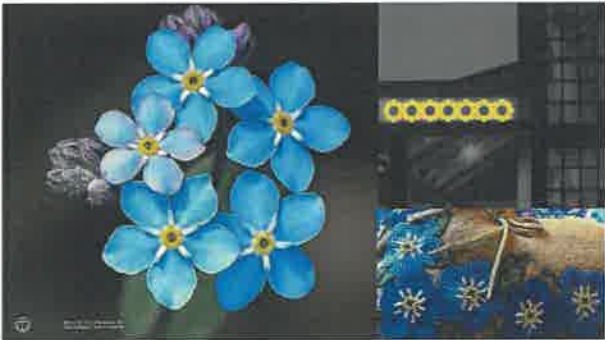
SEPTEMBER 2025

LEGACY DONOR NAMES SOLUTION

The 2019 master plan proposes re-locating bricks into low retaining seat-walls at the entrances of the park. Donor bricks are a valued element of the park, yet many are damaged, illegible or missing. At this time, it is envisioned that donor names and messages be recorded in a different way - on a series of lighted structures for example - or perhaps in a way where more names can be added over time.

Bricks may be returned to donors if desired and feasible. There are -13,458 bricks.

FORGET ME NOT



Statement and imagery provided by local artist Sebastian Garber.

Anchorage Alaska, a place unforgettable with a town center of full of character and multiple cultures.

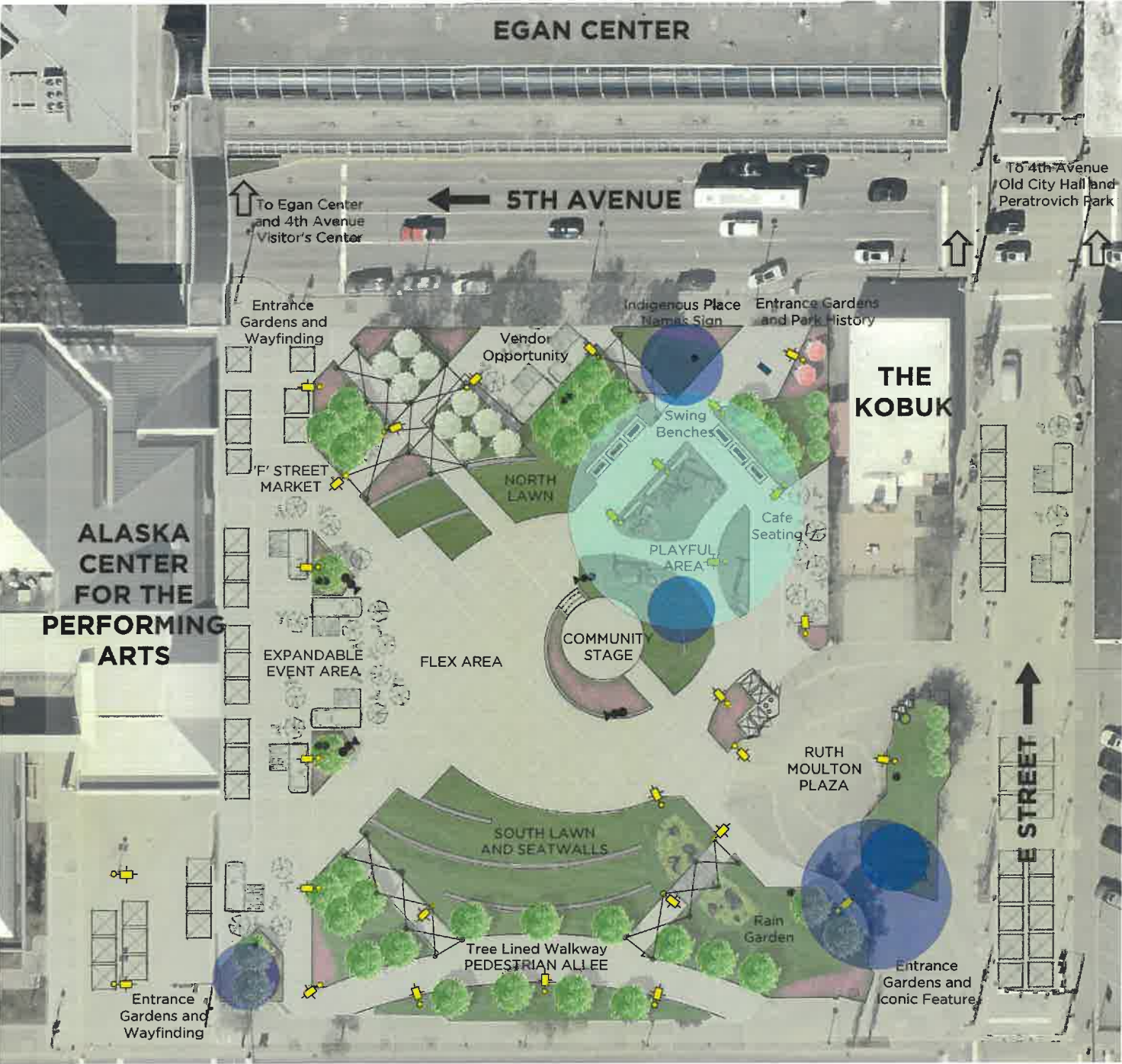
NOW + FUTURE	
GOLDEN RUSH PIPELINE CAPTAIN COOK	INDIGENOUS ARTISTS
INDIGENOUS ARTISTS	INDIGENOUS ARTISTS

ICONIC FEATURES & FOCAL POINTS

The 2019 Master Plan points to an Athabaskan seasonal round for the inspiration for an iconic focal point. In 2025, we aim to look forward, advancing our worldview beyond Alaska's stereotypical identities. This allows us altogether to anchor ourselves to place, celebrate all cultures towards an educational, caring future.

Additional input for an art strategy is also looking to the completed work by a steering committee of local and Indigenous artists for the Downtown Core Streets Streetscape Plan in 2007.

Placeholders for these elements are identified as part of the Playful Area, an Entrance Feature and a Central Iconic Focal Point All locations will have electrical service allowing the features to incorporate creative lighting.



Annual Flower Displays installed by Anchorage Parks & Recreation's Horticulture team continue to be one of the most celebrated, memorable features of the park. Coordination with horticulture will be an important part of balancing this feature with the resources of the department. Photos below show the park in July 2003.



PLAYFUL AREA

The 2019 master plan suggests a modern and attractive play area to create a destination for families within Town Square Park.

In 2025, the design proposes a playful area for all ages. Artful, colorful covered swing benches look into the park, providing a place to go, people watch, drink coffee or meet friends.

Commercial grade swing benches with custom designed canopy to integrate with the Downtown Wayfinding graphic storytelling. Early concept by local artist Sebastian Garber.



Central to the park and situated near the Kobuk, the playful area provides an opportunity for a gentle photo-interaction, playful experiences and positive activities for everyone.

Currently, the design proposes an Alaskan Gravel Bar or Coastal Beach theme with large driftwood, boulders, beach grass and other native plants, reminding us that we are a coastal city.



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FREQUENTLY ASKED QUESTIONS

IS THERE A LONG TERM STRATEGY FOR UPKEEP AND MAINTENANCE?

"A comprehensive and sustainable management approach is needed to ensure the long-term success of Town Square Park. Residents and businesses alike recognize that Town Square Park is more than just a park, it is an important civic and cultural institution with the potential to be a catalyst of economic development downtown." 2019 Master Plan, p.87.

A lasting management structure is needed, and numerous examples exist in other cities around the world, where a non-profit management entity, partners with the city to host, maintain and seek sustainable funding for ongoing operations of the park.

WILL THERE BE PUBLIC RESTROOMS IN THE NEW PARK?

For now, portable restrooms will be provided in the park. This solution is identified as the most economical solution in the 2024 Anchorage Areawide Public Restroom Project report.

Additionally, the Anchorage Municipal Charter, Sections 20.01-20.04, stipulates the dedication of Block 51 as Town Square Park and limits the placement or erection of any new buildings on Block 51.

A restroom is considered a building.

WILL THERE BE FIRE PITS?

Permanently installed natural gas fire-pits are not planned for this project but gas line extensions are being considered.

LEGEND

Pedestrian Light Pole

Architectural Flood Light

String Lights - Future Upgrade

Secure Power for Events and Vendors

Portable Restrooms

POSSIBLE UTILITY EXTENSIONS

MORE ABOUT UTILITIES & POWER

While permanent buildings are not currently permitted in Town Square Park, we understand that future uses may benefit from access to utility services.

Part of the long-term park activation strategy involves exploring future utility connections. Utility locations shown are approximate.

Water

Sewer

Gas

EXISTING UTILITIES

EX.WATER

EX.SEWER

EX.GAS

POSSIBLE FUTURE CONNECTIONS

WATER

SEWER

GAS

Improving power loads for the park is part of site electrical and lighting.

Irrigation is a separate water service.

Town Square Park Preliminary Design Review

ANCHORAGE PARKS AND RECREATION

HEALTHY PARKS, HEALTHY PEOPLE

SEPTEMBER 2025

ARE ANY EXISTING TREES GOING TO BE PRESERVED?

Trees are an important part Town Square Park's identity.

While all existing trees will be removed due to the extreme changes to the mounds that will help to improve sight lines, accessibility and utility changes, the plan is to keep the smaller, more recently planted trees and replant them in the park or on other park projects.

In earlier concepts, some trees were proposed to remain in place. However, providing for future uses and park activation are also important strategies for a safe and vibrant town square.

New tree plantings aim to balance safety, wind, shade and sun, as well as giving space to each tree to reach it's full width and height. The master plan recommends a mix of non-invasive and native species; predominantly deciduous trees. Deciduous trees are preferred as they offer seasonal color and movement, and have branch structures that allow for clear sight lines.

WHAT IS THE PLAN FOR THE DONOR BRICKS?

The donor bricks will be removed and offered back to the donors. All the names, organizations and their messages are recorded, and the intent is to incorporate this as text into vertical elements. Many of the -13,458 bricks are lost, broken or becoming illegible due to age so it's time for an upgraded solution. The full solution is currently under development.

WILL ADA DROP OFF ACCESS BE PROVIDED TO THE PAC?

Formal plans for passenger drop off and loading for the performing Arts Center are subject to review and approval by the Planning department, in conjunction with the Traffic Engineer, and subsequent review and approval of the Planning and Zoning Commission.

Likewise vehicular access into the formerly platted F Street are subject to the review and approval of the Planning and Zoning Commission.

The 2019 Master Plan and preferred concept were approved without showing vehicular access and passenger loading and drop off to the PAC, siting that this issue would need to be addressed by Planning and Zoning and abide by the Planning and Zoning Commission Resolution 81-104C.

The proposed 2025 Preliminary Design is designed to serve the park's needs first and foremost and seeks to follow the direction of the 2019 Master Plan while not precluding PAC access.

Long-range plans for bi-directional, lower speeds for 5th and 6th Avenue are being evaluated, and new drop-off patterns to the PAC could be possible with these changes.

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