

Application for Administrative Site Plan Review For A Restaurant Eating Place Serving Beer & Wine

Municipality of Anchorage
 Planning Department
 PO Box 196650
 Anchorage, AK 99519-6650

Please fill in the information asked for below.

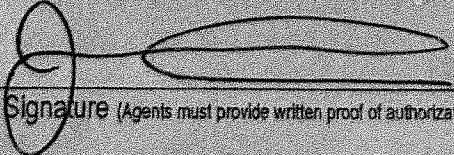
PETITIONER*	PETITIONER REPRESENTATIVE (IF ANY)
Name (last name first) Northern Hospitality Group Inc.	Name (last name first) Jason Motyka
Mailing Address 645 W 3rd Ave. Anch, AK, 99501	Mailing Address 645 W 3rd Ave Anch, AK, 99501
Contact Phone: Day 907-229-5151 Night	Contact Phone: Day 907-229-5151 Night
FAX:	FAX:
E-mail: Jmotyka@NH6Alaska.com	E-mail: Jmotyka@NH6Alaska.com

*Report additional petitioners or disclose other co-owners on supplemental form. Failure to divulge other beneficial interest owners may delay processing of this application.

PROPERTY INFORMATION		
Property Tax # (000-000-00-000):	001-021-11-003-22	
Site Street Address:	721 Depot Drive, Anch, AK, 99501	
Property Owner (if not the Petitioner):	Ship Creek Property LLC	
Current legal description: (use additional sheet in necessary)	Downtown Edge TRI ARR# 20422	
Zoning: PC AO 2006-46	Acreage: 12,496 SF	Grid # SW 1229

ALCOHOLIC BEVERAGE CONTROL BOARD LICENSE PROPOSED	
<input checked="" type="checkbox"/> Restaurant	
Is the proposed license: <input checked="" type="checkbox"/> New	<input type="checkbox"/> Transfer of location: ABC license number:
	Transfer license location:
	Transfer licensed premises doing business as:

I hereby certify that (I am)/(I have been authorized to act for) owner of the property described above and that I petition for a retail sale of alcoholic beverages administrative site plan review in conformance with Title 21 of the Anchorage Municipal, Code of Ordinances. I understand that payment of the application fee is nonrefundable and is to cover the costs associated with processing this application, and that it does not assure approval of the site plan review. I also understand that assigned hearing dates are tentative and may have to be postponed by Planning Department, Municipal Clerk, or the Assembly for administrative reasons.

5-6-2022 Date	 Signature (Agents must provide written proof of authorization)
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Accepted by:	Poster & Affidavit:	Fee:	Case Number Admin: 07/01/22 2022-0077
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COMPREHENSIVE PLAN INFORMATION

Anchorage 2020 Urban/Rural Services: Urban Rural
 Anchorage 2020 West Anchorage Planning Area: Inside Outside
 Anchorage 2020 Major Urban Elements: Site is within or abuts:
 Major Employment Center Redevelopment/Mixed Use Area Town Center
 Neighborhood Commercial Center Industrial Center
 Transit - Supportive Development Corridor

Eagle River-Chugiak-Peters Creek Land Use Classification:
 Commercial Industrial Parks/opens space Public Land Institutions
 Marginal land Alpine/Slope Affected Special Study
 Residential at _____ dwelling units per acre

Girdwood- Tumagain Arm
 Commercial Industrial Parks/opens space Public Land Institutions
 Marginal land Alpine/Slope Affected Special Study
 Residential at _____ dwelling units per acre

ENVIRONMENTAL INFORMATION (All or portion site affected)

Wetland Classification: None *C* *B* *A*
 Avalanche Zone: None Blue Zone Red Zone
 Floodplain: None 100 year 500 year
 Seismic Zone (Harding/Lawson): *1* *2* *3* *4* *5*

RECENT REGULATORY INFORMATION (Events that have occurred in last 5 years for all or portion site)

Rezoning - Case Number:
 Preliminary Plat Final Plat - Case Number(s):
 Conditional Use - Case Number(s):
 Zoning variance - Case Number(s):
 Land Use Enforcement Action for
 Building or Land Use Permit for
 Wetland permit: Army Corp of Engineers Municipality of Anchorage

DOCUMENTATION

- Required:
- Original Planning Department application form, completed, with original signature; plus 12 sets of:
 - Ownership and beneficial interest form, completed.
 - Site plan to scale depicting: building footprints; parking areas; vehicle and pedestrian circulation; lighting; landscaping; signage; and licensed premises location.
 - Building plans to scale depicting: floor plans indicating the location of sales and service areas; building elevations (photographs are acceptable).
 - Photographs of premises from each street frontage that include and show relationship to adjacent structures and the premises visible street address number.
 - Completed application and narrative: explaining the project; construction, operation schedule, and open for business target date.
 - Zoning map showing the proposed location.
 - Completed Alcoholic Beverage Control Board liquor license application form including all drawings and attachments, if filed with ABC Board.
- Optional:
- Traffic impact analysis
 - Economic impact analysis
 - Noise impact analysis

PROPERTY OWNER AUTHORIZATION* (if petitioner is not property owner)

(I/WE) hereby grant permission to and acknowledge that person shown as the petitioner on this application is applying for a conditional use permit for the retail sales of alcoholic beverages on a property under (MY/OUR) ownership and that as part of the conditional use permit process the Assembly may apply conditions which will be (MY/OUR) responsibility to satisfy.

5-6-2022

Signature

Date

*Report additional petitioners or disclose other co-owners on supplemental form. Failure to divulge other beneficial interest owners may delay processing of this application.

FACILITY OPERATIONAL INFORMATION

What is the proposed or existing business name (Provide both if name is changing):

49th State Brewing @ the Rail

What is the gross lease able floor space in square feet?

2617 SF

What is the facility occupant capacity?

329 inside and outside

What is the number of fixed seats(booth and non movable seats)?

27

What is the number non-fixed seats(movable chairs, stools, etc.)?

64, inside, 30 outside

FACILITY OPERATIONAL INFORMATION

What will be the normal business hours of operation?

11am - 10pm

What will be the business hours that alcoholic beverages will be sold or dispensed?

11am - 10pm

What do you estimate the ratio of food sales to alcohol beverage sales will be?

18.4 % Alcoholic beverage sales

70.8 % Food sales

Type of entertainment proposed: (Mark all that apply)

Recorded music Live music Floor shows Patron dancing Sporting events Other None

Do you propose entertainment or environmental conditions in the facility that will meet the definition of "indecent material" or "adult entertainment" as set forth by AMC 8.05.420 Minors-Disseminating indecent material or AMC 10.40.050 Adult oriented establishment? Yes No

ADMINISTRATIVE SITE PLAN REVIEW STANDARDS

The Planning Department may only approve the site plan review if it finds that **all** of the following 4 standards are satisfied. Each standard must have a response in as much detail as it takes to explain how your project satisfies the standard. The burden of proof rests with you. Use additional paper if needed.

Explain how the proposed use furthers the goals and policies of the comprehensive development plan and conforms to the comprehensive development plan in the manner required by AMC 21.05.

49th State Brewing @ The Rail will be a full service Restaurant that will serve locals and visiting tourist.
Policy #18, #21, #22

Explain how the proposed use conforms to the standards for that use in this title and regulations promulgated under this title.

The Use is compatible with existing and proposed land uses in the area and surrounding neighborhood.

Explain how the proposed use will be compatible with existing and planned land uses in the surrounding neighborhood and with the intent of its use district.

The facility is located in the Ship Creek PC District and the intended use for this facility aligns with the Proposed uses in that District.

Training. If application is made for issue, renewal or transfer of a beverage dispensary license, restaurant or eating place license, or package store license, whether the applicant can demonstrate prospective or continued compliance with a Liquor "Server Awareness Training Program approved by the State of Alaska Alcoholic Beverage Control Board, such as or similar to the program for techniques in alcohol management (T.A.M.). Until such plan is approved, training by a licensee's employees in the T.A.M. shall constitute compliance with this ordinance.

How many employees in direct contact with alcohol will be trained in accordance with the Alcoholic Beverage Control Board's Liquor Server Awareness Training Program?

All Employees that will be in direct contact with Alcohol will be properly certified with a T.A.M license. We estimate this number to be 4 at any given time at the establishment.

Operations procedures. If application is made for issue, renewal, or transfer of a license, whether the applicant can demonstrate prospective or continued compliance with operations procedures for licensed premises set forth in Section 10.50.035 of this code.

- Yes No Happy hours?
- Yes No Games or contests that include consumption of alcoholic beverages?
- Yes No Patron access and assistance to public transportation?
- Yes No Notice of penalties for driving while intoxicated posted or will be posted?
- Yes No Non-alcoholic drinks available to patrons?
- Yes No Solicitation or encouragement of alcoholic beverage consumption?

Public safety. When application is made for the renewal or transfer of location or transfer of ownership of a restaurant or eating place license, the Assembly shall consider whether the operator can demonstrate the ability to maintain order and prevent unlawful conduct in a licensed premises. In determining the operator's demonstrated ability to maintain order and prevent unlawful conduct, the Assembly may consider police reports, testimony presented before the Assembly, written comments submitted prior to or during the public hearing, or other evidence deemed to be reliable and relevant to the purpose of this subsection. For purposes of this section and Section 10.50.035 "licensed premises" shall include any adjacent area under the control or management of the licensee.

What are the proposed precautions to maintain order and prevent unlawful conduct at the licensed premises?

inside facility: On site owners and Managers surveille the Premises to ensure patron safety.

Public safety. When application is made for the renewal or transfer of location or transfer of ownership of a restaurant or eating place license, the Assembly shall consider whether the operator can demonstrate the ability to maintain order and prevent unlawful conduct in a licensed premises. In determining the operator's demonstrated ability to maintain order and prevent unlawful conduct, the Assembly may consider police reports, testimony presented before the Assembly, written comments submitted prior to or during the public hearing, or other evidence deemed to be reliable and relevant to the purpose of this subsection. For purposes of this section and Section 10.50.035 "licensed premises" shall include any adjacent area under the control or management of the licensee.

outside facility: Security Cameras and managers and Owner Presence will ensure that the facility is a good neighbor to the surrounding businesses

Yes No As the applicant and operator can you comply? If no explain

Dear Assembly Members,

Northern Hospitality Group Inc, D.B.A 49TH State Brewing @ The Rail is seeking an REPL license for its facility at 721 Depot Drive, Suite #50 in downtown Anchorage. The zoning district is PC AO 2006-46 (S). As stated in (AMC) 21.40.170.B.1 and 21.40.170.C.1, Alcohol Manufacturing is a permitted use by a conditional use in PC AO 2006-46 (S). Northern Hospitality Group Inc is looking to incorporate a restaurant into Suite #50 at the warehouse space that is approximately 12,496 SF. By converting this portion of the facility into a restaurant and by providing the associated outdoor dining area, locals and tourists alike can come and experience local Alaskan products in a location new to downtown Anchorage. Ship Creek development has long been discussed and with the pandemic starting to pass us this facility will bring new life to the Ship Creek development area and will help spur future developments. Using locally sourced products to the best of our ability and providing world class Alaskan hospitality is at the core of what our company has set out to accomplish. With the addition of this new restaurant, we will be able to ensure that Alaskan products are being served at the highest quality providing the guest the best possible experience. In the restaurant a TAP certified, and knowledgeable staff member will ensure that the public is provided with the highest quality products available with all knowledge expected about these unique Alaskan offerings.

Upon approval we would like to stage construction of the project over the next 4 months with a target completion date by December 2022. In conclusion, we are confident that the changes we are proposing will allow us to provide the public with the best possible Alaskan hospitality and increase the visibility of Ship Creek development area. We feel that this service will add to the overall downtown Anchorage experience for the tourists and locals alike.

Thank you for your time and consideration.

Jason Motyka-Manager

Northern Hospitality Group, Inc.

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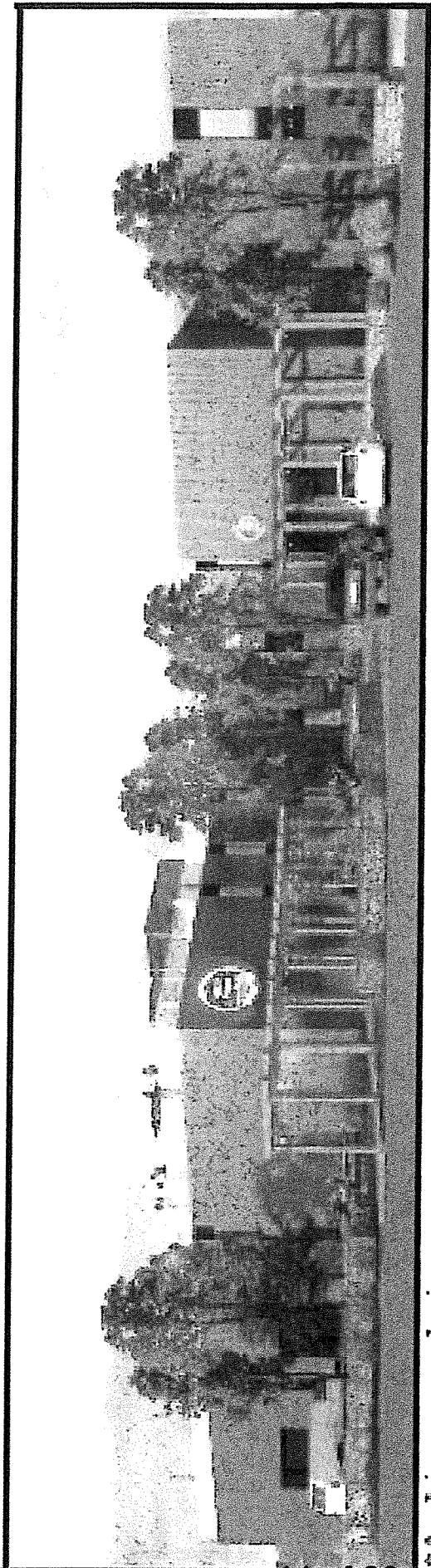
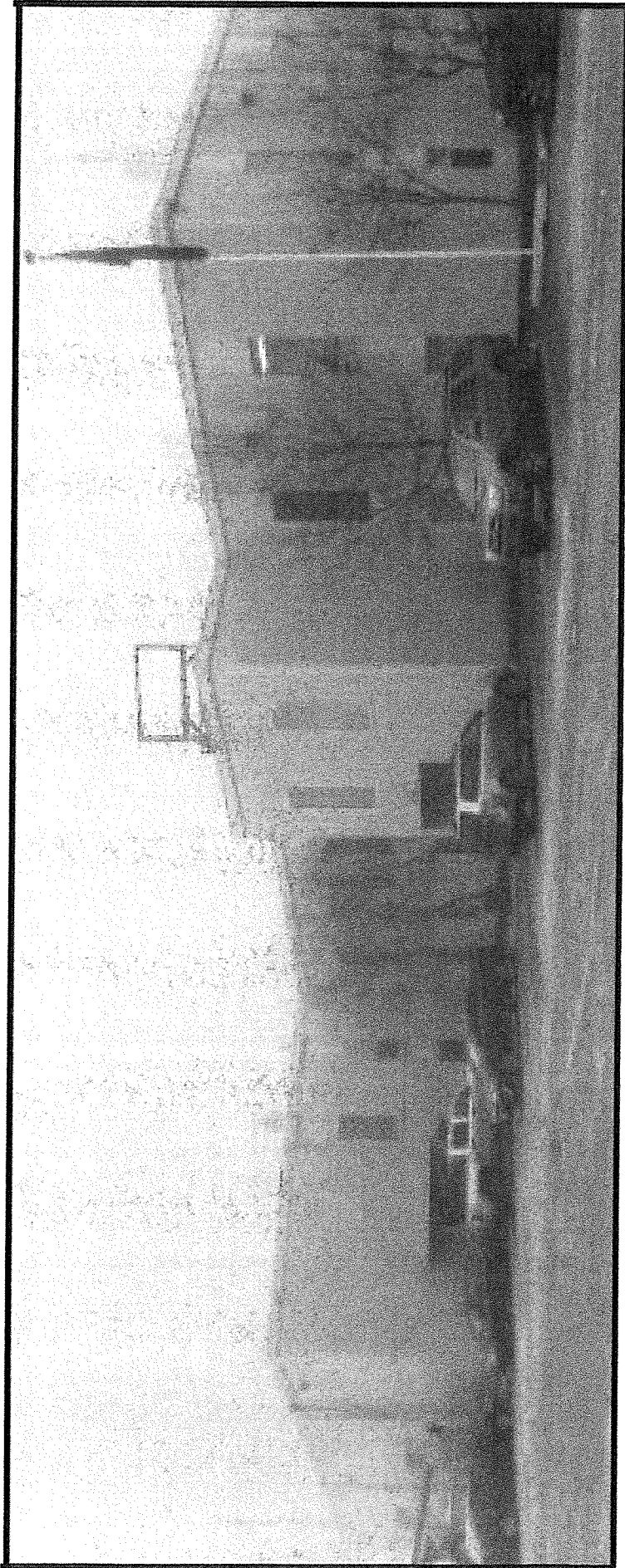
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Jason Motyka-Manager

Northern Hospitality Group, Inc.

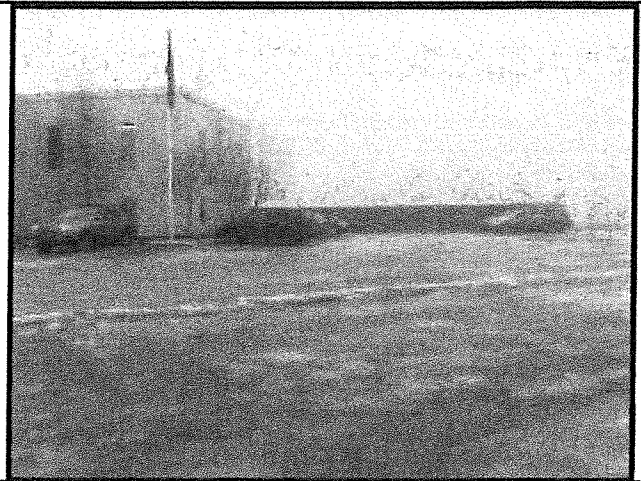
721 W. 1st Avenue
Anchorage, Alaska



*Architects rendering



View northwesterly from/near the SEC.



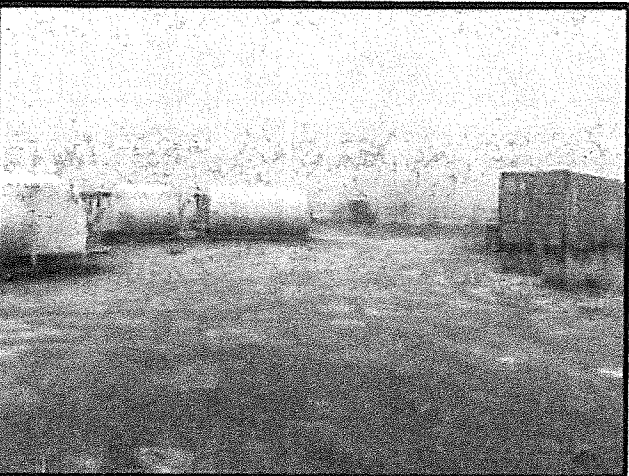
Looking north from/near the SEC.



Looking west along south boundary from/near the SEC.



Looking east along south boundary from/near the SWC.



View northwesterly of the NWC from the south boundary.



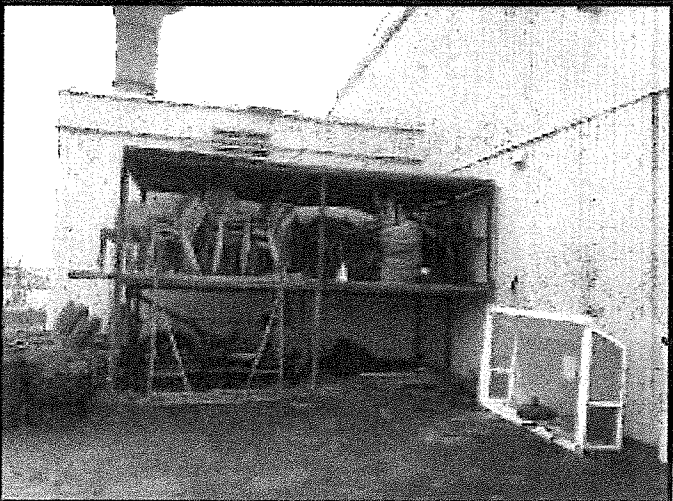
View southwesterly of the SWC and west boundary.



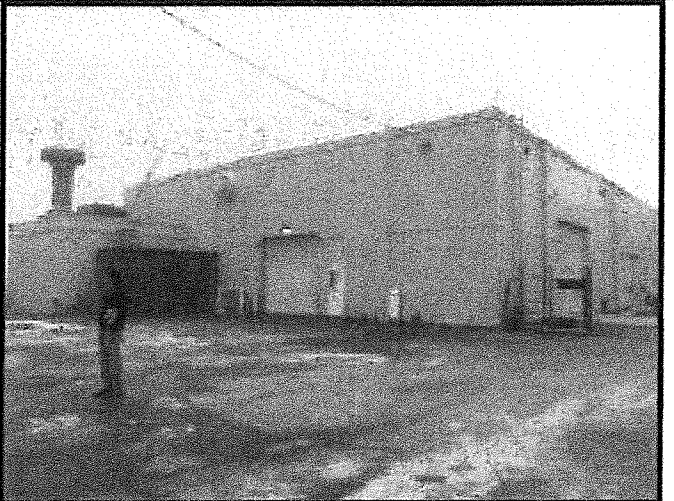
View northwesterly of main entrance into warehouse portion of the building.



Looking north at the main entrance the office portion of the building.



Looking north at the NWC of the building where the addition will be constructed.



View northeasterly of the warehouse portion of the building.

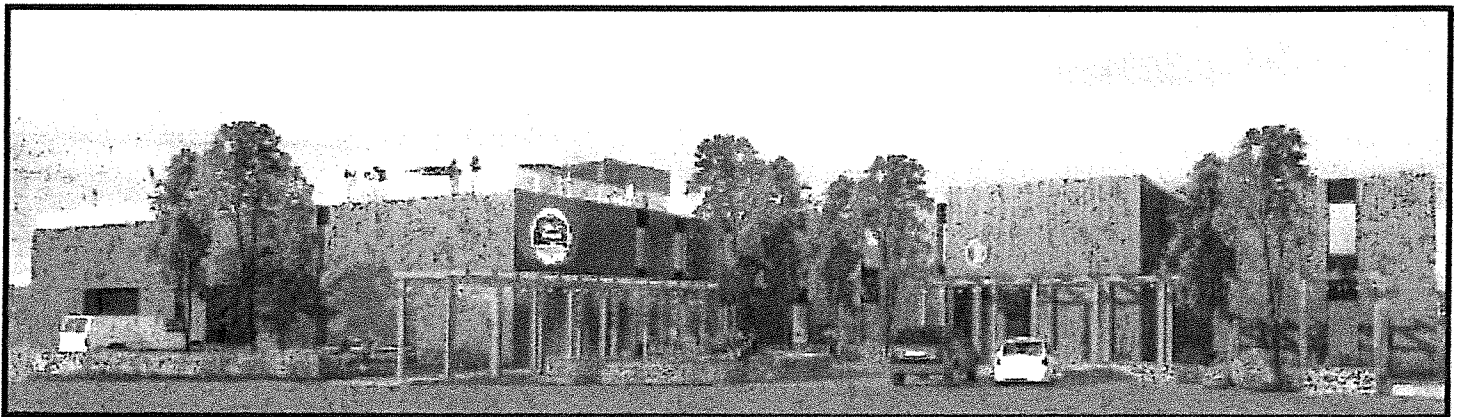


View northeasterly of front of the warehouse portion of the building.



View southeasterly of parking area on the south side of the building.

The subject property consists of a 53,298 SF (\approx 1.22AC) leased parcel located in the Ship Creek industrial area. It is improved with a two-story office/warehouse. An extensive renovation is underway.



*Architects rendering

Legal Description

The parcel is legally described as a Lease Parcel of land within Lot 2 of U.S. Survey 1170 and Lot 1, Block 122 U.S. Survey 408.

MOA Tax ID Number

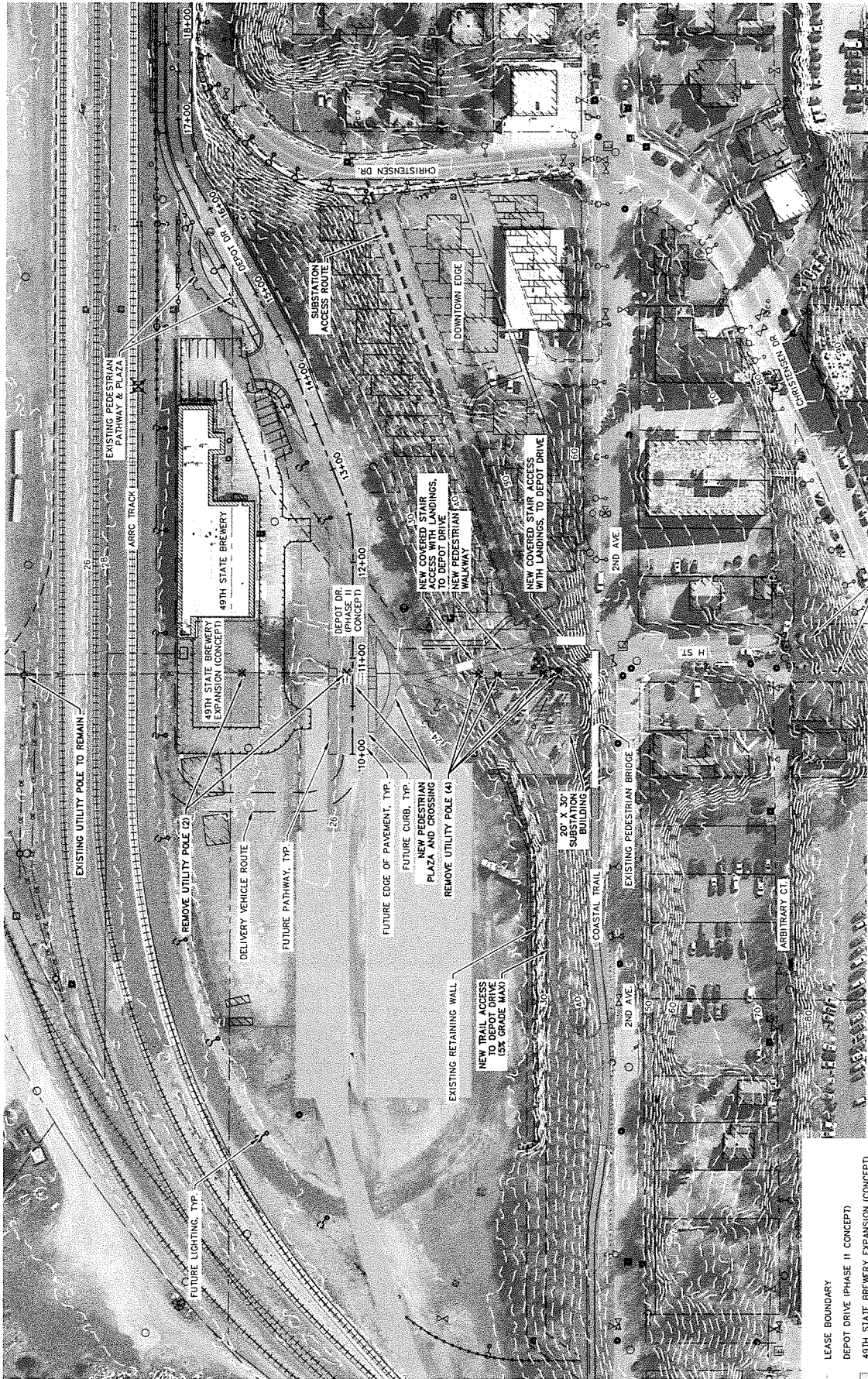
002-071-26-001

Owner of Record

Alaska Railroad Corporation (ARRC)

Lessee (Leasehold Owner)

Ship Creek Property, LLC

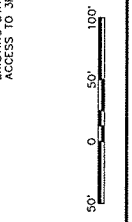


DATE: 03/2021
 SCALE: GRAPHIC
 FIGURE: 1

DEPOT DRIVE
 PEDESTRIAN ACCESS PLANNING
 SITE FIGURE




PROJECT: 31105.01
 STATUS: CONCEPT



- NOTES:
1. AERIAL IMAGE: 2015 MUNICIPALITY OF ANCHORAGE
 2. TOPOGRAPHY: COMPOSITE OF 2019 ARRC SURVEY AND 2015 MUNICIPALITY OF ANCHORAGE LIDAR DATA.
 3. CONTOURS SHOWN AT 2' INTERVALS.

- LEGEND:
- LEASE BOUNDARY
 - DEPOT DRIVE (PHASE II) CONCEPT
 - 49TH STATE BREWERY EXPANSION (CONCEPT)
 - NEW TRAIL / WALKWAY ACCESS
 - NEW COVERED STAIR ACCESS WITH LANDINGS
 - REDUCED SUBSTATION
 - SUBSTATION ACCESS ROUTE
 - EXISTING STAIR & PATHWAY ACCESS

The Bollet Company, Inc.
 601 E. 57th Place #102
 Anchorage, AK 99518
 Ph. 907-522-6779
 Fax. 907-522-6778
 License No. AEC0957



49TH STATE BREWERY - WAREHOUSE
 SITE IMPROVEMENTS
 721 DEPOT DRIVE
 ANCHORAGE, ALASKA

DATE	3/23/2021
DRAWN	JK
CHECKED	JK
PROJECT NO.	102
SHEET NO.	C1
SHEET NAME	COVER

NOT FOR CONSTRUCTION
 THIS SCALE WORKSHIPPED AT 1/2" = 1'

49TH STATE BREWERY DOWNTOWN EDGE SUBDIVISION, TRACT 1

721 DEPOT DRIVE ANCHORAGE, AK 99501 PROGRESS DRAWINGS

LEGAL DESCRIPTION:
 DOWNTOWN EDGE SUBDIVISION, TRACT 1
 PLAT 2018-48,
 ANCHORAGE RECORDING DISTRICT
 SE 1/4 SEC. 8, T. 13N, R. 8W, S.M.

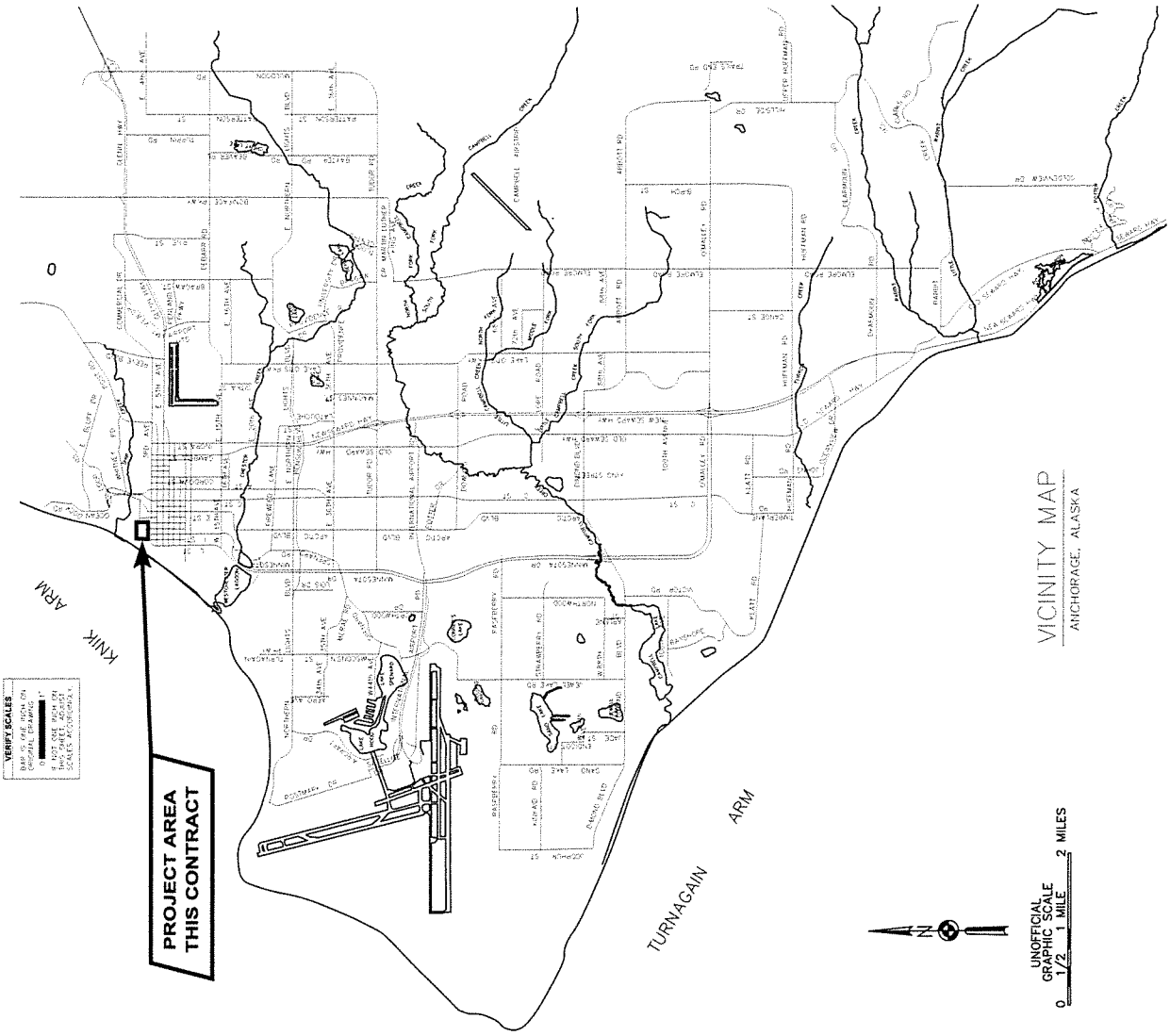
OWNER INFORMATION:
 SHIP CREEK PROPERTY, LLC
 645 WEST 3RD AVENUE
 ANCHORAGE, AK 99501

SITE ADDRESS:
 721 DEPOT DRIVE
 ANCHORAGE, AK 99501


SHEET NO.	COVER SHEET	SUBJECT
C1	COVER SHEET	COVER SHEET
C2	GENERAL NOTES, LEGEND, AND ABBREVIATIONS	GENERAL NOTES, LEGEND, AND ABBREVIATIONS
C3	SURVEY CONTROL PLAN	SURVEY CONTROL PLAN
C4	DEMOLITION PLAN	DEMOLITION PLAN
C5	SITE PLAN	SITE PLAN
C6	GRADING AND DRAINAGE PLAN	GRADING AND DRAINAGE PLAN
C7	SIGING AND STRIPING PLAN	SIGING AND STRIPING PLAN
C8	DETAILS	DETAILS
L1	LANDSCAPE PLAN	LANDSCAPE PLAN
A1-A7	ARCHITECTURAL	ARCHITECTURAL
M1-M13	MECHANICAL	MECHANICAL
E1	ELECTRICAL	ELECTRICAL



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 Anchorage, AK 99518
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**PROJECT AREA
THIS CONTRACT**



 The Bostel Company, Inc.

 401 E. 57th Place, #102

 Anchorage, AK 99518

 P.O. Box 222, 8778

 P.O. Box 222, 8778

 License No. AEC0557

49TH STATE BREWERY - WAREHOUSE

 721 DEPOT DRIVE

 ANCHORAGE, ALASKA

REVISED: _____

 SHEET: _____

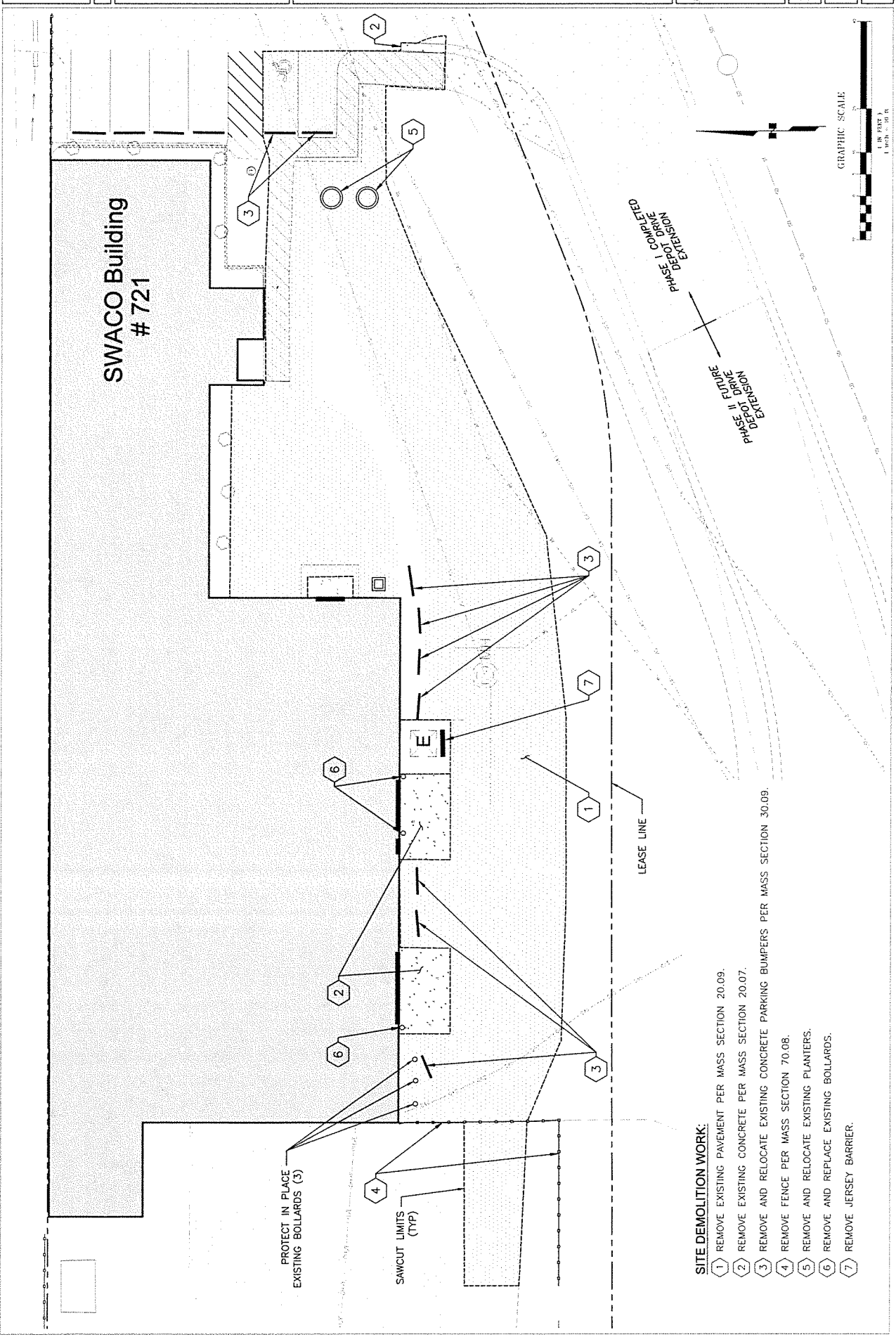
PERMITS: 3333027

 DRAWN BY: _____

 REVIEWED BY: _____

SHEET NAME: DEMOLITION PLAN

 SHEET NO.: C4




SITE DEMOLITION WORK:

- 1 REMOVE EXISTING PAVEMENT PER MASS SECTION 20.09.
- 2 REMOVE EXISTING CONCRETE PER MASS SECTION 20.07.
- 3 REMOVE AND RELOCATE EXISTING CONCRETE PARKING BUMPERS PER MASS SECTION 30.09.
- 4 REMOVE FENCE PER MASS SECTION 70.08.
- 5 REMOVE AND RELOCATE EXISTING PLANTERS.
- 6 REMOVE AND REPLACE EXISTING BOLLARDS.
- 7 REMOVE JERSEY BARRIER.

NOT FOR CONSTRUCTION

NET SCALE WHEN PRINTED AT 11x17

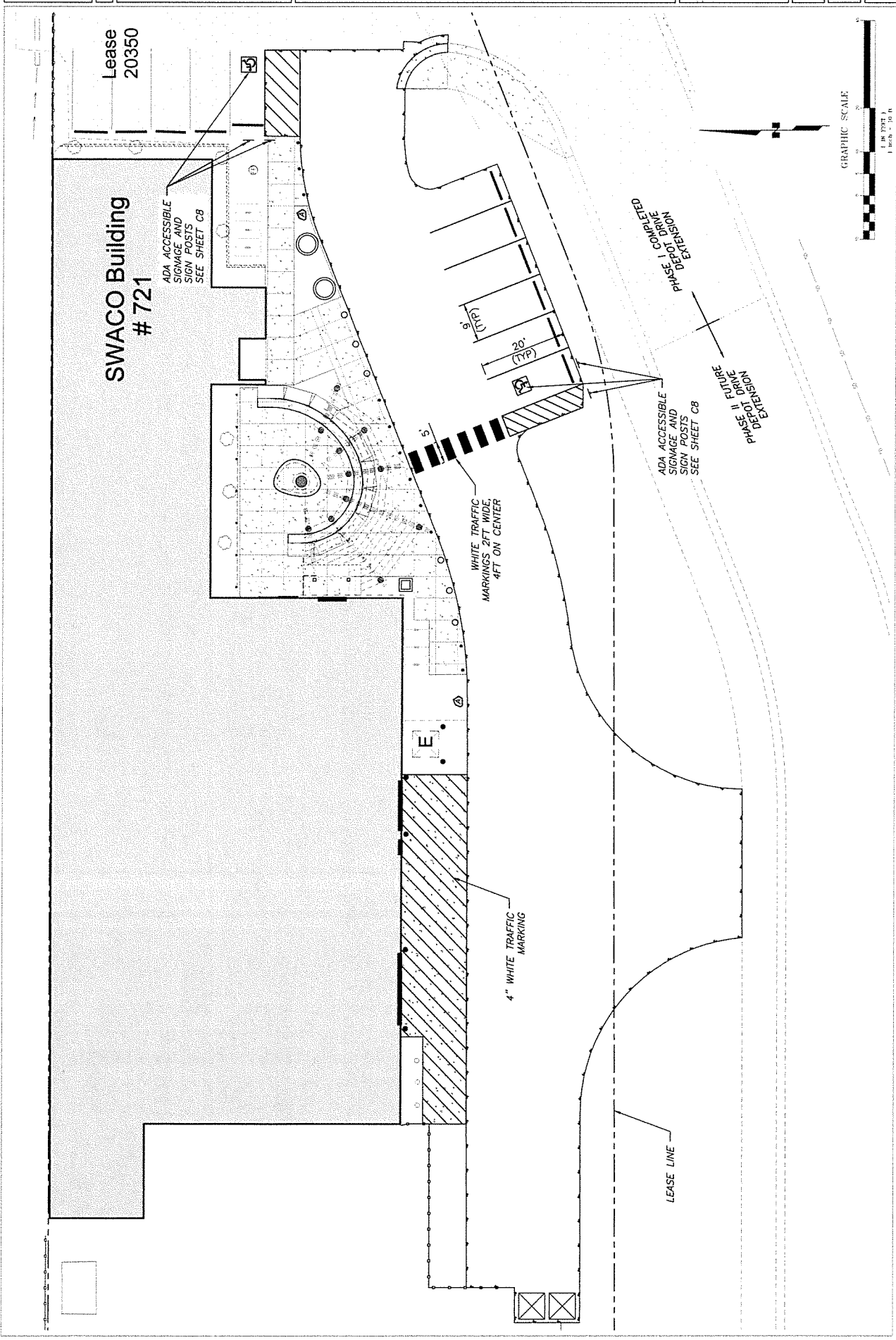
The Bartlett Company, Inc.
 601 E. 57th Place #102
 Anchorage, AK 99518
 PH: 907.522.4770
 FAX: 907.522.6718
 License No. AC09297



49TH STATE BREWERY - WAREHOUSE
 SITE IMPROVEMENTS
 721 DEPOT DRIVE
 ANCHORAGE, ALASKA

SHEET NO. 333-0032
 DATE 11/11/11
 DRAWN BY [blank]
 CHECKED BY [blank]

SHEET NAME: DEPOT AND STRIPING PLAN
 SHEET NO. C7



NOT FOR CONSTRUCTION

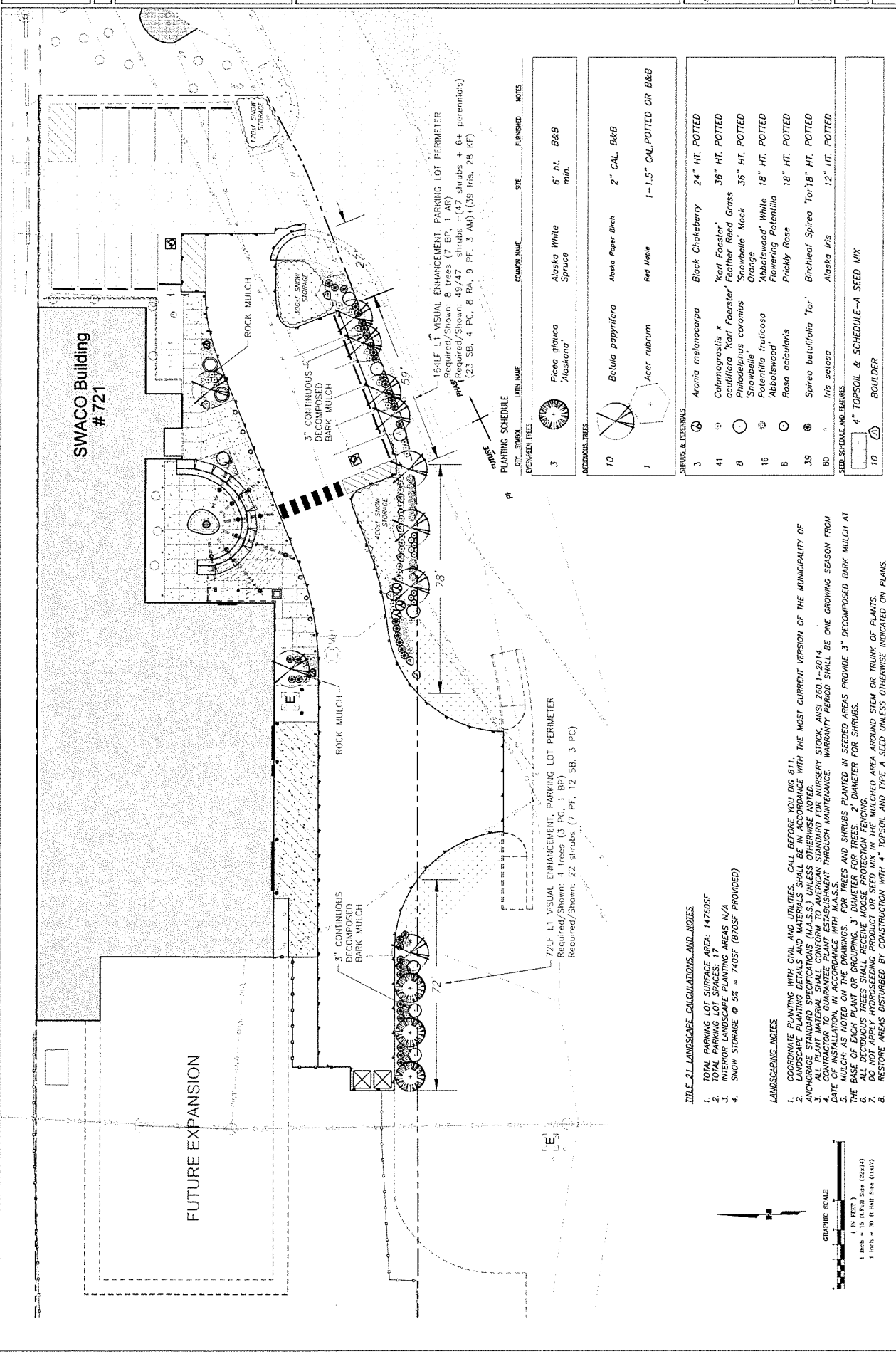


TABLE 21. LANDSCAPE CALCULATIONS AND NOTES

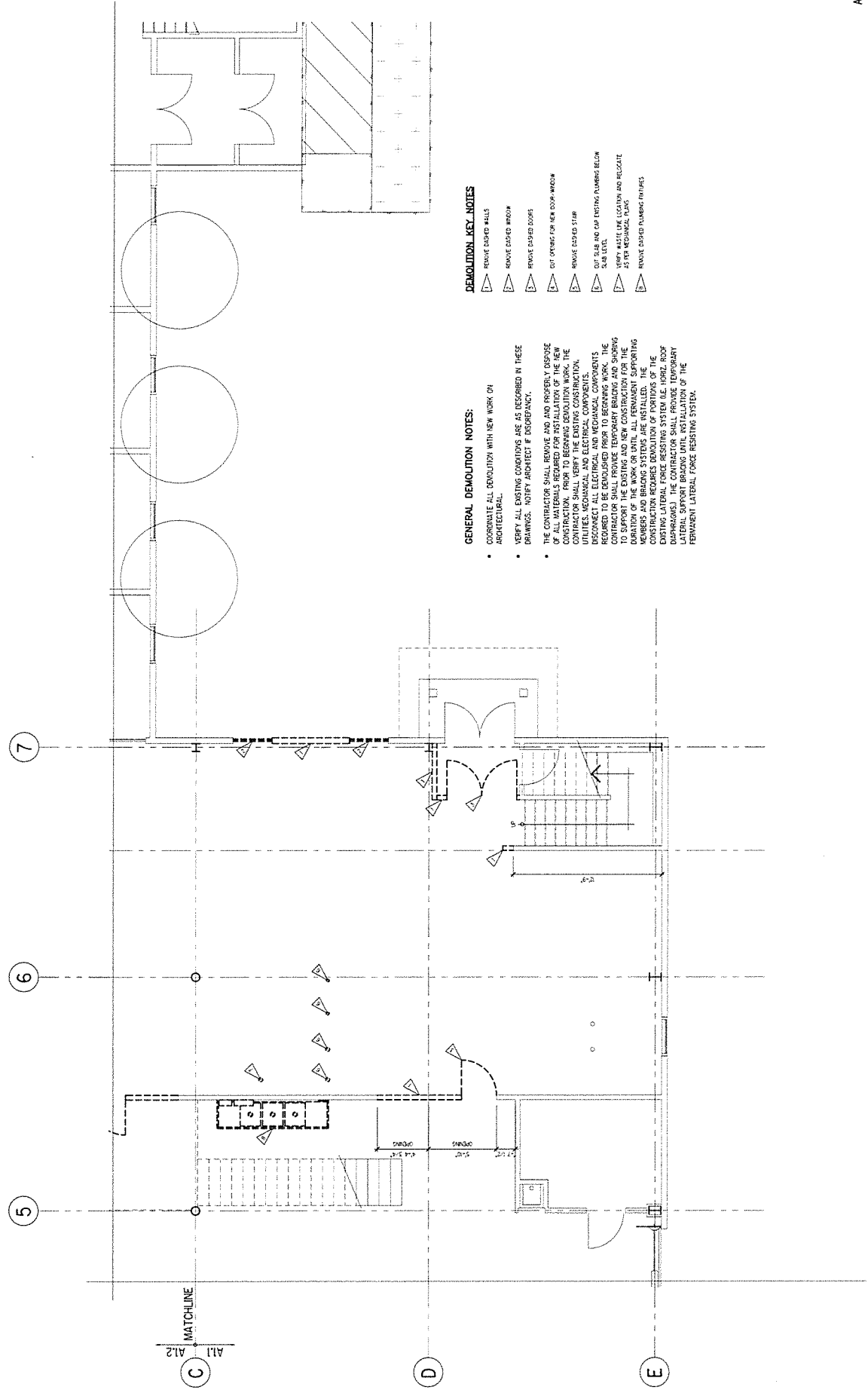
- TOTAL PARKING LOT SURFACE AREA: 14760SF
- TOTAL PARKING LOT SPACES: 17
- INTERIOR LANDSCAPE PLANTING AREAS N/A
- SNOW STORAGE @ 5% = 740SF (870SF PROVIDED)

LANDSCAPING NOTES

- COORDINATE PLANTING WITH CURB AND UTILITIES. CALL BEFORE YOU DIG 811.
- LANDSCAPE PLANTING DETAILS AND MATERIALS SHALL BE IN ACCORDANCE WITH THE MOST CURRENT VERSION OF THE MUNICIPALITY OF ANCHORAGE STANDARD SPECIFICATIONS (M.A.S.S.) UNLESS OTHERWISE NOTED.
- ALL PLANT MATERIAL SHALL CONFORM TO AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1-2014.
- PLANTING SHALL BE IN ACCORDANCE WITH THE MOST CURRENT VERSION OF THE MUNICIPALITY OF ANCHORAGE STANDARD SPECIFICATIONS (M.A.S.S.) UNLESS OTHERWISE NOTED.
- MULCH: AS NOTED ON THE DRAWINGS. 3" DIAMETER FOR TREES AND SHRUBS PLANTED IN SEEDING AREAS PROVIDE 3" DECOMPOSED BARK MULCH AT THE BASE OF EACH PLANT OR GROUPING. 3" DIAMETER FOR TREES. 2" DIAMETER FOR SHRUBS.
- ALL DECIDUOUS TREES SHALL RECEIVE MOOSE PROTECTION FENCING.
- DO NOT APPLY HYDROSEEDING PRODUCT OR SEED MIX IN THE MULCHED AREA AROUND STEM OR TRUNK OF PLANTS.
- RESTORE AREAS DISTURBED BY CONSTRUCTION WITH 4" TOPSOIL AND THE A SEED UNLESS OTHERWISE INDICATED ON PLANS.

PLANTING SCHEDULE	SYM. & TREE/SHRUB	Latin Name	Common Name	Size	Finished Notes
3		<i>Picea glauca</i> <i>'Alaskana'</i>	Alaska White Spruce	6" ht. B&B min.	
10		<i>Betula papyrifera</i>	Alaska Paper Birch	2" CAL. B&B	
1		<i>Acer rubrum</i>	Red Maple	1-1.5" CAL. POTTED OR B&B	
SHRUBS & PERENNIALS					
3		<i>Aronia melanocarpa</i>	Black Chokeberry	24" HT. POTTED	
41		<i>Calamagrostis x acutilora</i> 'Karl Foerster'	'Karl Foerster' Feather Reed Grass	36" HT. POTTED	
8		<i>Philadelphus coronarius</i>	'Snowbelle' Mock Orange	36" HT. POTTED	
16		<i>Potentilla fruticosa</i>	'Abbotswood' White Flowering Potentilla	18" HT. POTTED	
8		<i>Rosa acicularis</i>	Prickly Rose	18" HT. POTTED	
39		<i>Spiraea betulifolia</i> 'Tor'	'Birchleaf' Spiraea 'Tor'	18" HT. POTTED	
60		<i>Iris setosa</i>	Alaska Iris	12" HT. POTTED	
SEED SCHEDULE AND FEATURES					
10		4" TOPSOIL & SCHEDULE-A SEED MIX			
10		BOULDER			

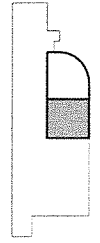
NOT FOR CONSTRUCTION



- DEMOLITION KEY NOTES**
- ▲ REMOVE CHASED WALLS
 - ▲ REMOVE CHASED WINDOW
 - ▲ REMOVE CHASED DOORS
 - ▲ CUT OPENING FOR NEW DOOR-WINDOW
 - ▲ REMOVE CHASED STAIR
 - ▲ CUT PLUS AND CAP TESTING PUMPING BELOW SUB LEVEL
 - ▲ VERIFY ASITE LIKE LOCATION AND RELOCATE AS PER MECHANICAL PLANS
 - ▲ REMOVE CHASED PUMPING RECESSES

GENERAL DEMOLITION NOTES:

- COORDINATE ALL DEMOLITION WITH NEW WORK ON ARCHITECTURAL.
- VERIFY ALL EXISTING CONDITIONS ARE AS DESCRIBED IN THESE DRAWINGS. NOTIFY ARCHITECT IF DISCREPANCY.
- THE CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL MATERIALS REQUIRED FOR INSTALLATION OF THE NEW CONSTRUCTION. PRIOR TO BEGINNING DEMOLITION WORK, THE CONTRACTOR SHALL VERIFY THE EXISTING CONSTRUCTION, UTILITIES, MECHANICAL AND ELECTRICAL COMPONENTS, AND STRUCTURAL CONDITIONS. ALL DEMOLITION WORKS REQUIRED TO BE DISCLOSED PRIOR TO BEGINNING WORK. THE CONTRACTOR SHALL PROVIDE TEMPORARY BRACING AND SHORING TO SUPPORT THE EXISTING AND NEW CONSTRUCTION FOR THE DURATION OF THE WORK OR UNTIL ALL PERMANENT SUPPORTING CONSTRUCTION REQUIRES DEMOLITION OF PORTIONS OF THE EXISTING LATERAL FORCE RESISTING SYSTEM (I.E. HORIZ. ROOF DIAPHRAGMS). THE CONTRACTOR SHALL PROVIDE TEMPORARY LATERAL SUPPORT BRACING UNTIL INSTALLATION OF THE PERMANENT LATERAL FORCE RESISTING SYSTEM.



DATE: 03/23/2022
 KEY PLAN RAILROAD SUBMITTAL SET

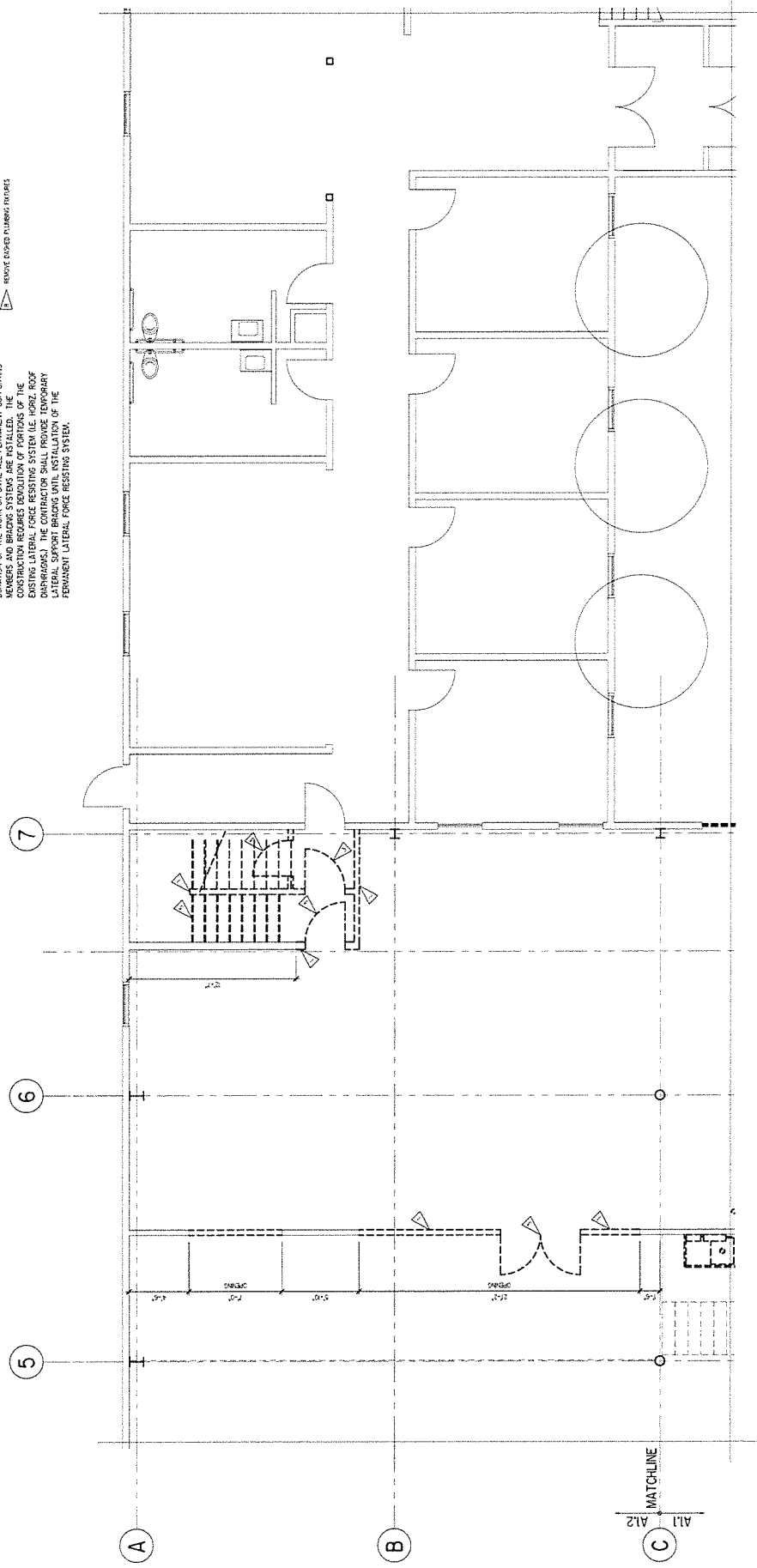
first floor demo plan
 22 X 34 X 6000: 1/4" = 1'-0"
 18 X 27 X 6000: 1/8" = 1'-0"

DEMOLITION KEY NOTES

- ▲ REMOVE EXISTING WALLS
- ▲ REMOVE EXISTING WINDOWS
- ▲ REMOVE EXISTING DOORS
- ▲ CUT OPENING FOR NEW DOOR WINDOW
- ▲ REMOVE EXISTING STAIR
- ▲ CUT SLAB AND CAP EXISTING PLUMBING BELOW
- ▲ REMOVE EXISTING MECHANICAL PLUMBING AS PER MECHANICAL PLANS
- ▲ REMOVE EXISTING PLUMBING TRUNGS

GENERAL DEMOLITION NOTES:

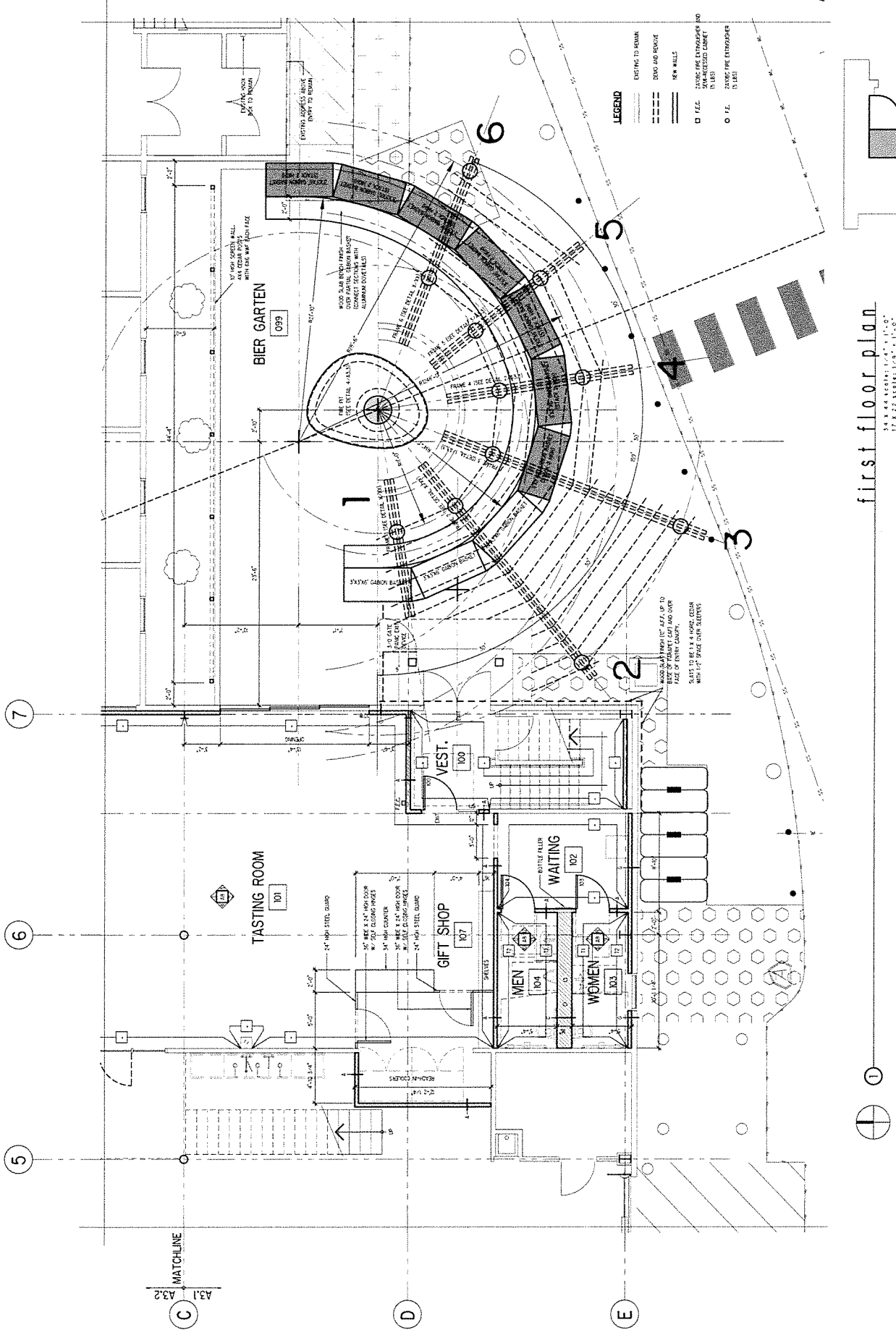
- COORDINATE ALL DEMOLITION WITH NEW WORK ON ARCHITECTURAL.
- VERIFY ALL EXISTING CONDITIONS ARE AS DESCRIBED IN THESE DRAWINGS. NOTIFY ARCHITECT IF DISCREPANCY.
- THE CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL EXISTING MATERIALS AND DEMOLITION DEBRIS. THE CONTRACTOR SHALL VERIFY THE EXISTING CONSTRUCTION, UTILITIES, MECHANICAL AND ELECTRICAL COMPONENTS. DISCONNECT ALL ELECTRICAL AND MECHANICAL COMPONENTS FROM EXISTING SYSTEMS. THE CONTRACTOR SHALL PROVIDE TEMPORARY BRACING AND SHORING TO SUPPORT THE EXISTING AND NEW CONSTRUCTION FOR THE DURATION OF THE WORK OR UNTIL ALL PERMANENT SUPPORTING MEMBERS AND BRACING SYSTEMS ARE INSTALLED. THE CONTRACTOR SHALL PROVIDE TEMPORARY BRACING AND SHORING TO SUPPORT THE EXISTING LATERAL FORCE RESISTING SYSTEM (IE: HORIZONTAL DAMPERS). THE CONTRACTOR SHALL PROVIDE TEMPORARY LATERAL SUPPORT BRACING UNTIL INSTALLATION OF THE PERMANENT LATERAL FORCE RESISTING SYSTEM.



first floor plan
 22' x 34' SCALE: 1/4" = 1'-0"
 11' x 17' SCALE: 1/8" = 1'-0"

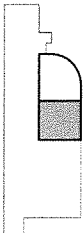


KEY PLAN
 DATE: 03/23/22
 RAILROAD SUBMITTAL SET



LEGEND

- EXISTING TO REMAIN
- DEMO AND REMOVE
- NEW WALLS
- GLASS DOOR WITH TRANSOM AND SILL
- F.E. (1) 183
- F.E. (2) 181



DATE: 03/23/2022
 KEYPLAN RAILROAD SUBMITTAL SET

first floor plan
 3/8" = 1'-0" (VERTICAL)
 1/8" = 1'-0" (HORIZONTAL)

MATCHLINE
 A3.1
 A3.2
 C

D

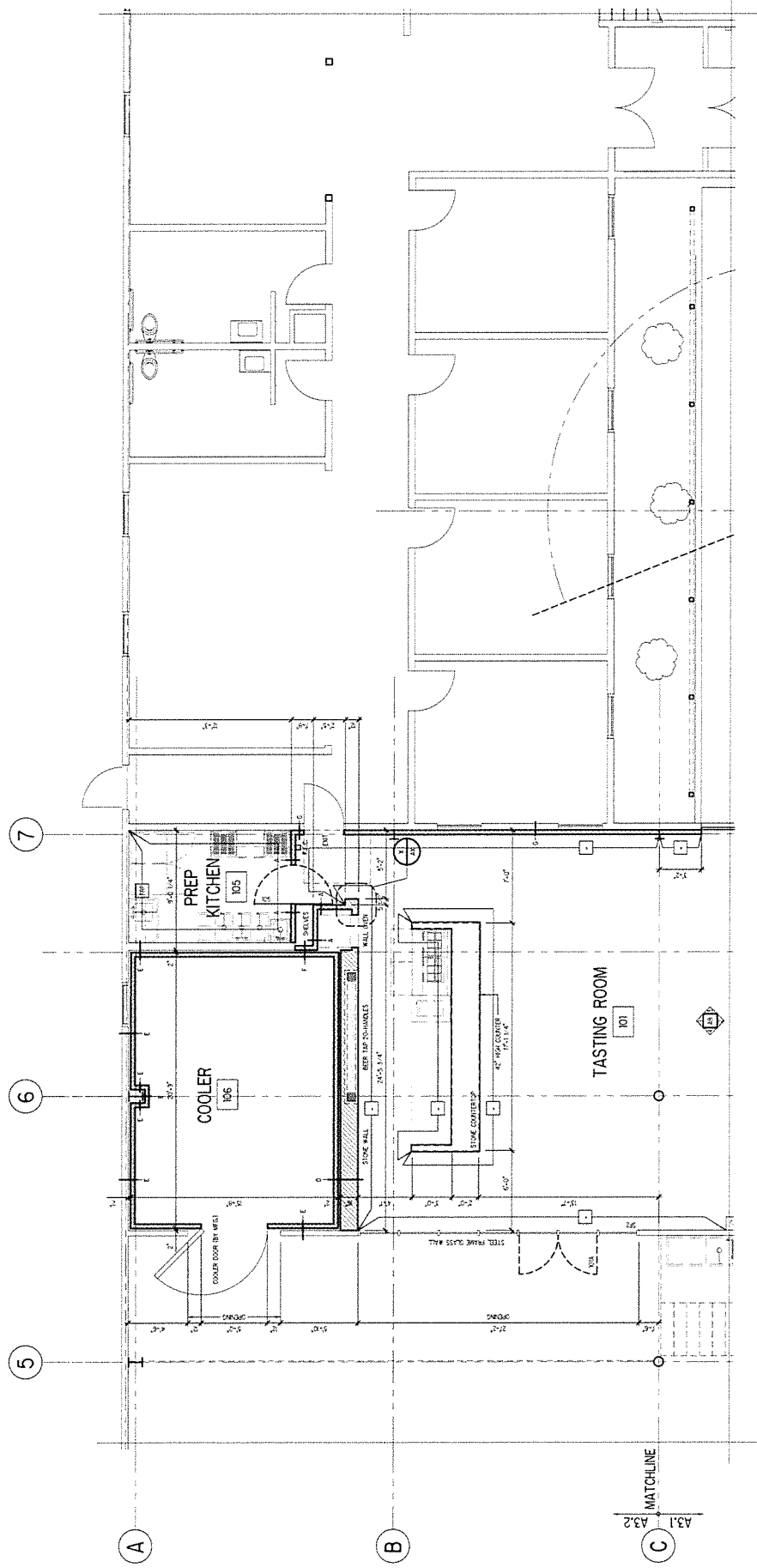
E

7

6

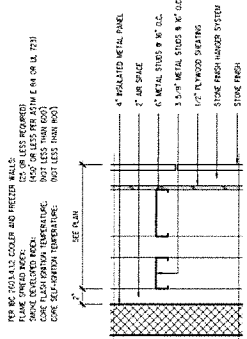
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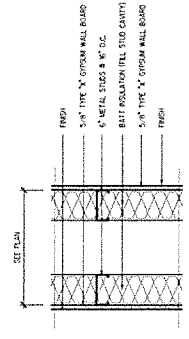
first floor plan
 1/4" = 1'-0"
 1/8" = 1'-0"

MATCHLINE
 A3.1
 A3.2
 C



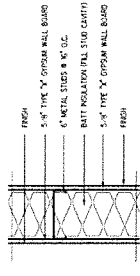
FOR RC: INSULATE COVER AND PRECAST WALLS.
 FLAME SPREAD RATED: (2) 5/8\"/>

D



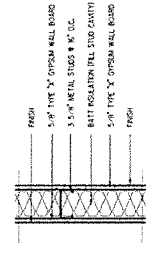
FOR RC: INSULATE COVER AND PRECAST WALLS.
 FLAME SPREAD RATED: (2) 5/8\"/>

C



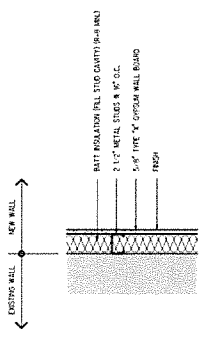
FOR RC: INSULATE COVER AND PRECAST WALLS.
 FLAME SPREAD RATED: (2) 5/8\"/>

B



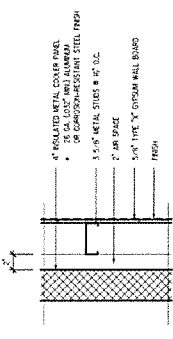
FOR RC: INSULATE COVER AND PRECAST WALLS.
 FLAME SPREAD RATED: (2) 5/8\"/>

A



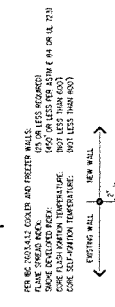
FOR RC: INSULATE COVER AND PRECAST WALLS.
 FLAME SPREAD RATED: (2) 5/8\"/>

G



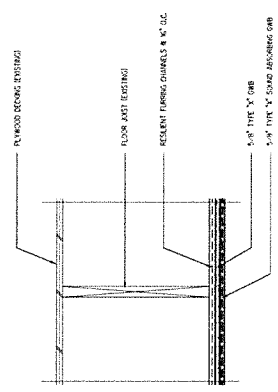
FOR RC: INSULATE COVER AND PRECAST WALLS.
 FLAME SPREAD RATED: (2) 5/8\"/>

F



FOR RC: INSULATE COVER AND PRECAST WALLS.
 FLAME SPREAD RATED: (2) 5/8\"/>

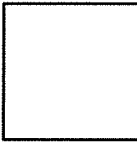
E



FOR RC: INSULATE COVER AND PRECAST WALLS.
 FLAME SPREAD RATED: (2) 5/8\"/>

H

W a l l a s s e m b l i e s
 1/2\"/>



JERNSTROM ENGINEERING
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 ONLINE: WWW.JERNSTROMENGINEERING.COM
 ACCL 1146

49TH STATE BREWING TAP ROOM REMODEL
 721 DEPOT DR, ANCHORAGE, AK
SCHEDULES

THIS SHEET IS FULL SIZE A
 1/8" = 1'-0"
 1/4" = 3'-0"
 1/2" = 6'-0"
 3/4" = 9'-0"
 1" = 12'-0"
 3/4" = 9'-0"
 1/2" = 6'-0"
 1/4" = 3'-0"
 1/8" = 1'-0"

DATE: 10/26/2011
 DRAWN BY: HE
 CHECKED BY: CJ
 PROJECT: 2011-22

SHEET NO. **M2**

AIR OUTLET SCHEDULE

NOTES

- DIFFUSER BACK PAN AND NECK SIZE AS SHOWN ON DRAWINGS
- DIFFUSER BLOW PATTERN AS SHOWN ON DRAWINGS
- DIFFUSER BLOW PATTERN AS SHOWN ON DRAWINGS
- ALL SUPPLY, RETURN, AND EXHAUST AIR DIFFUSERS TO BE PROVIDED WITH OBD OR VFD FOR AIR BALANCING LOCATE VFD QUADRANTS IN AN ACCESSIBLE LOCATION FOR BALANCING.

TAG	AREA	FINISH	USE	REMARKS
A	AS NOTED	OFF WHITE	SA	LAY-IN SQUARE DIFFUSER, TITUS TMS
B	AS NOTED	OFF WHITE	SA	SURFACE MOUNT SQUARE DIFFUSER, TITUS TMS
C	AS NOTED	OFF WHITE	SA	SURFACE MOUNTED DOUBLE DEFLECTION, TITUS 300RS
D	AS NOTED	OFF WHITE	RA	TITUS MOUNTED DOUBLE DEFLECTION, 35' DEFLECTION, TITUS 355RL

FAN SCHEDULE

NOTES

- PROVIDE WITH WALL CAP WITH BID, AND BIRDSCREEN
- PROVIDE WITH 24 HOURS OF OPERATION
- PROVIDED BY KITCHEN EQUIPMENT SUPPLIER

EQ ID	LOCATION	CFM (IN TWO)	ESP	TYPE	ELECTRICAL				BASIS OF DESIGN			NOTES	
					RPM	POWER	VOLTAJE	PHASE	ECM	VFD	INTEGRAL DISCONNECT		MFR
EF-1	103 WOMEN	50	0.25	DIRECT DRIVE CEILING	508	61W	120	1	Yes	No	GREENIECK	SP-A55-90-VG	1, 2
EF-2	103 MEN	50	0.25	DIRECT DRIVE CEILING	508	61W	120	1	Yes	No	GREENIECK	SP-A55-90-VG	1, 2
EF-3	200 AIR	200	0.25	DIRECT DRIVE CEILING	1060	331W	120	1	Yes	No	WOODSTONE	WS-553-V012	3
KEF-1	PIZZA OVEN	600	0.28	DIRECT DRIVE INLINE	0	1.4 A	120	1	No	Yes	WOODSTONE	WS-553-V012	3



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 LICENSE: MECL 1146

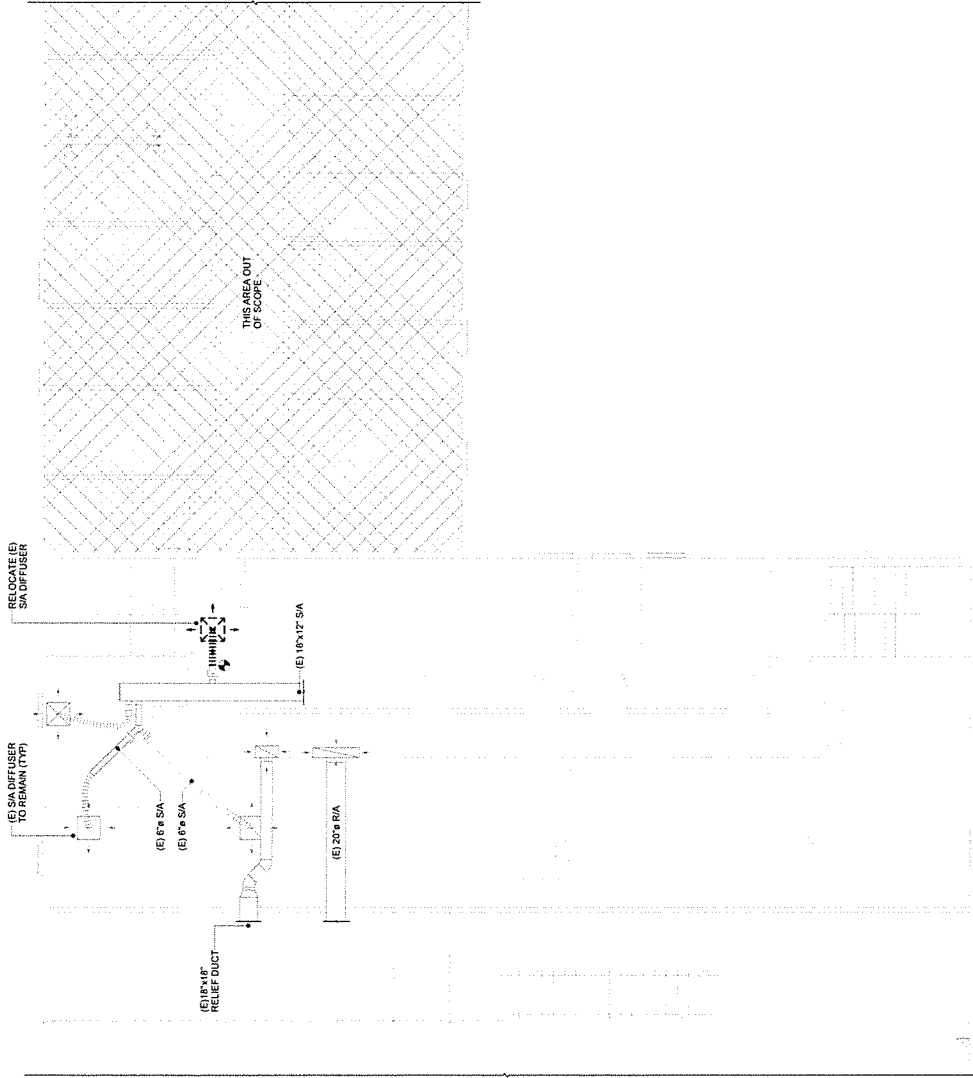
49TH STATE BREWING TAP ROOM REMODEL
721 DEPOT DR, ANCHORAGE, AK
SECOND FLOOR HVAC - DEMO

THIS SHEET IS FULL SIZE A
 36" X 48"

DATE	06/06/2021	BY	NE
DRAWN		CHECK	CJ
PROJECT	201-23		
SHEET NO.			

M5

95% DRAWINGS



1 SECOND FLOOR HVAC PLAN - DEMO
 2 1/8" = 1'-0"

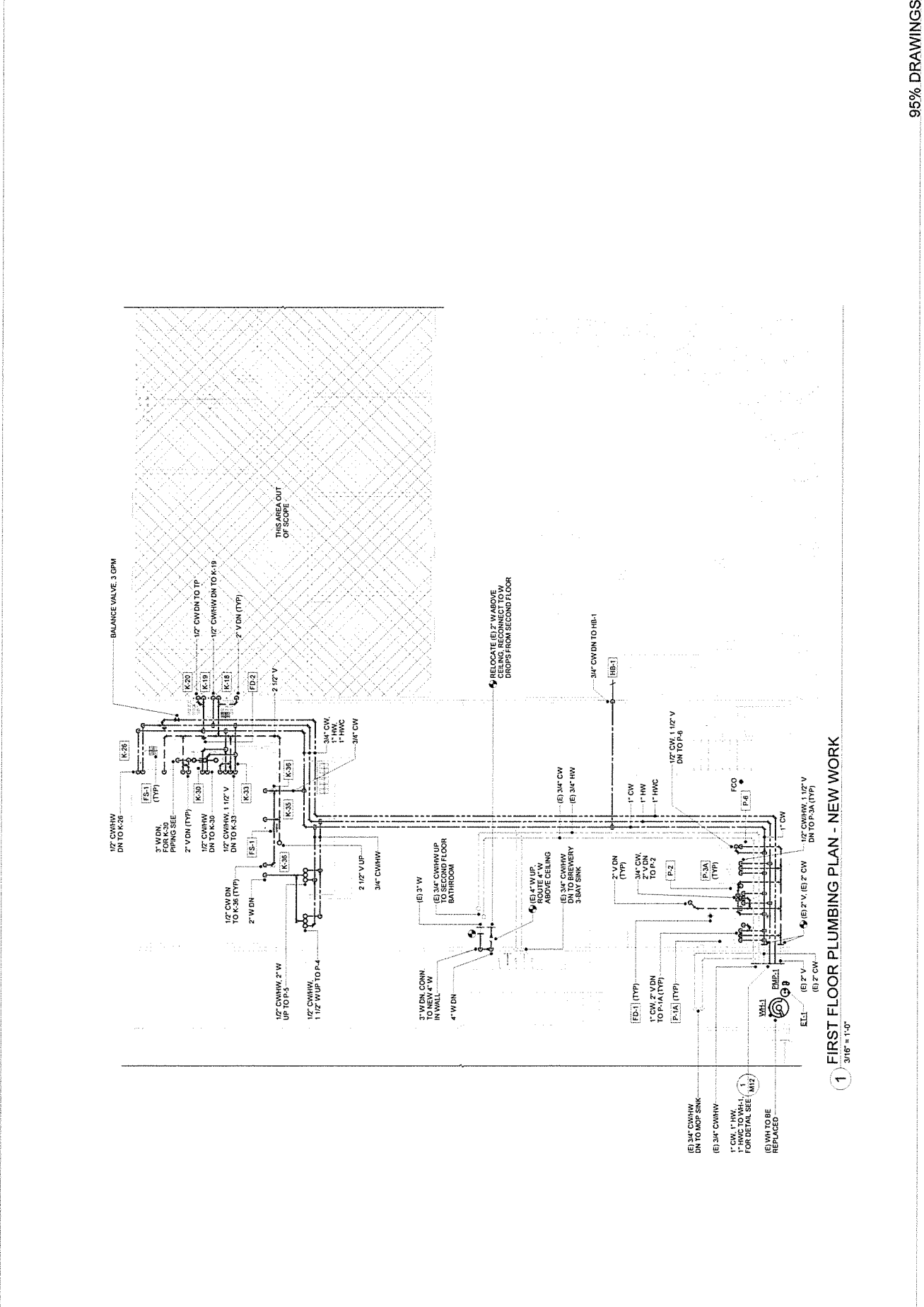


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LICENSE: MECH. 1146
EXPIRES: 12/31/2021

49TH STATE BREWING
TAP ROOM REMODEL
721 DEPOT DR, ANCHORAGE, AK
FIRST FLOOR PLUMBING - NEW WORK

DATE	10/26/2021
DRAWN	ME
CHECK	CU
PROJECT	2021022
SHEET NO	M9

THIS SHEET IS FULL SIZE A
1/8" = 1'-0"
3/16" = 1'-0"



1 FIRST FLOOR PLUMBING PLAN - NEW WORK
3/16" = 1'-0"

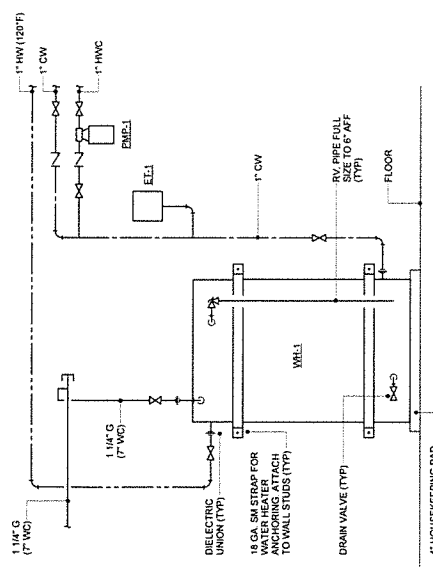
95% DRAWINGS



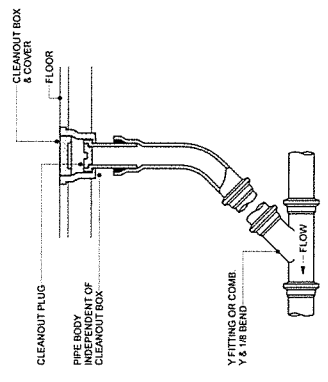
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 CONSULTING MECHANICAL ENGINEERS
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 PHONE: 907.532.1042
 ONLINE: WWW.JERNSTROMENGINEERING.COM
 LICENSE: ASCL 1144

49TH STATE BREWING TAP ROOM REMODEL
 721 DEPOT DR, ANCHORAGE, AK
 PLUMBING SCHEMATICS & DETAILS

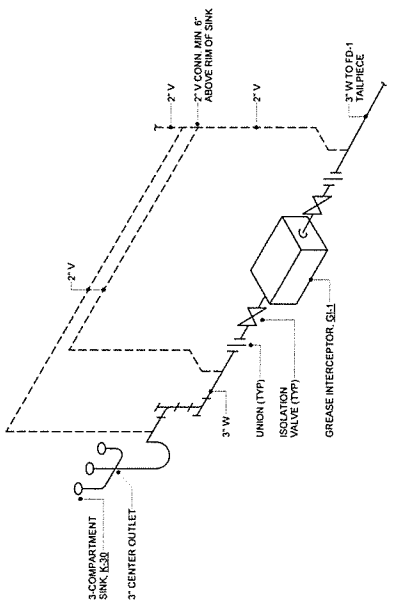
DATE	10/26/2021
DRAWN BY	NE
CHECKED BY	CU
PROJECT	2017-23
SHEET NO.	M12



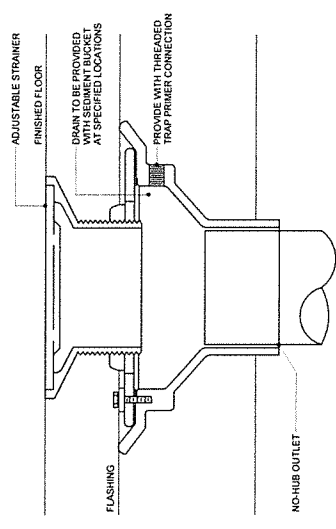
1 WATER HEATER PIPING SCHEMATIC
 NTS



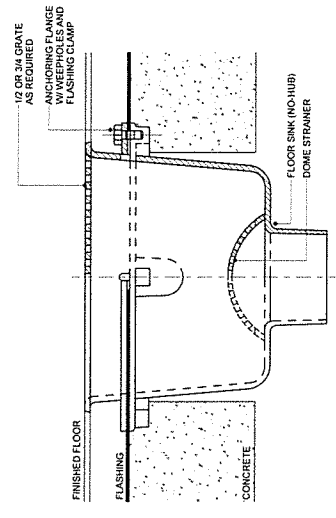
2 FLOOR CLEANOUT DETAIL
 NTS



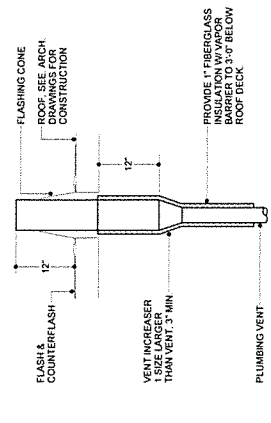
3 GREASE INTERCEPTOR DETAIL
 NTS



4 FLOOR DRAIN DETAIL WITH TRAP PRIMER
 NTS



5 FLOOR SINK DETAIL
 NTS



6 VENT THRU ROOF DETAIL
 NTS

95% DRAWINGS

