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1 **CHAPTER 21.06: DIMENSIONAL STANDARDS AND MEASUREMENTS**

2 **21.06.010 DIMENSIONAL STANDARDS TABLES**

3 This section contains tables that list the requirements for lot dimensions and building bulk,
4 density, location, and height for all types of development. All primary and accessory
5 structures are subject to the dimensional standards set forth in the following tables. Bracketed
6 numbers refer to notes at the bottom of each table. These general standards may be further
7 limited or modified by other applicable sections of this title. In particular, some uses have use-
8 specific standards in chapter 21.05 that impose stricter requirements than set forth in these
9 tables. General rules for measurement and exceptions are set forth in section 21.06.020.

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A. Table of Dimensional Standards: Residential Districts¹

TABLE 21.06-1: TABLE OF DIMENSIONAL STANDARDS - RESIDENTIAL DISTRICTS (Additional Standards May Apply. See Use-Specific Standards in Chapter 21.05.)										
Use	Minimum lot dimensions			Minimum setback requirements (ft)			Min. usable yard area per dwelling unit (sq ft)	Max number of principal structures per lot or tract	Max. floor area ratio (FAR)	Maximum height (ft)
	Area (sq ft)	Width (ft)	Max lot coverage (%)	Front	Side	Rear				
R-1: Single-Family Residential District²										
Residential uses	6000	50	30	20	5	10	N/A	1	N/A	Principal structures: 30
All other uses	10,000	70			10					Accessory garages/carports: 20 Other accessory structures: 12
R-2: Two-Family Residential District³										
Dwelling, single-family detached	6000	50	30	20	5	10	N/A	1	N/A	Principal structures: 30 Detached ADUs: 25 Accessory garages/carports: 20 Other accessory structures: 12
Dwelling, two-family			40							
Dwelling, single-family attached	3500	35	40							
All other uses	10,000	70	40		10					
R-3: Mixed Residential District										
Dwelling, single-family detached	6,000 minimum 12,000 maximum	50	30	15	5 (N/A on common lot line)	10	N/A	On lots or tracts greater than one acre, one	N/A	Principal structures: 30 Detached ADUs: 25

TABLE 21:06-1: TABLE OF DIMENSIONAL STANDARDS - RESIDENTIAL DISTRICTS
(Additional Standards May Apply. See Use-Specific Standards in Chapter 21.05.)

Use	Minimum lot dimensions			Minimum setback requirements (ft)			Min. usable yard area per dwelling unit (sq ft)	Max number of principal structures per lot or tract	Max. floor area ratio (FAR)	Maximum height (ft)
	Area (sq ft)	Width (ft)	Max lot coverage (%)	Front	Side	Rear				
Dwelling, two-family	6,000	50	40					additional principal structure may be allowed per lot or tract, per each additional acre; otherwise, only a single principal structure allowed		Accessory garages/carpports: 20 Other accessory structures: 12
Dwelling, single-family attached	3000	Attached single-family: 35 (40 on corner lots)								
Dwelling, townhouse ⁴		Townhouse: 24 (30 on corner lots)								
Dwelling, multiple-family (up to 8 units permitted)	10,000 +2,000 for every unit over 3 units	50		10		400	35, or three stories			
All other uses	10,000	70				N/A				
R-4: Multi-Family Residential District^b										
Dwelling, townhouse	3000	20	50	10	5 (N/A on common lot line)	10	300 ⁶	More than one principal structure may be allowed on any lot or tract.	2.0 (for 11 units or more)	30 for townhouses; 45 or four stories for all other uses
Dwelling, multi-family	6000 +1000 for every unit over 4 units	50	50	10	5	10	300		2.0 (for 11 units or more)	No portion of a structure within 50 feet of any

TABLE 21:06-1: TABLE OF DIMENSIONAL STANDARDS - RESIDENTIAL DISTRICTS
(Additional Standards May Apply. See Use-Specific Standards in Chapter 21.05.)

Use	Minimum lot dimensions			Minimum setback requirements (ft)			Min. usable yard area per dwelling unit (sq ft)	Max number of principal structures per lot or tract	Max. floor area ratio (FAR)	Maximum height (ft)
	Area (sq ft)	Width (ft)	Max lot coverage (%)	Front	Side	Rear				
All other uses	10,000	70	50	10	5	10	300	(maximum residential density: 40 dwelling units/acre)	N/A	other residential zoning district shall exceed the height limitations of that district
R-5: Low-Density Residential with Mobile Homes District										
Dwelling, single-family, or one mobile home	43,560	150	20	25	10	10	N/A	1	N/A	Principal structures: 35 Accessory garages/carports: 30 Other accessory structures: 25
Dwelling, two-family	87,120	150								
All other uses	43,560	150								
R-6: Low-Density Residential (1 acre) District										
Dwelling, single-family	43,560	150	20	25	15	25	N/A	1	N/A	Principal structures: 35 Accessory garages/carports: 30 Other accessory structures: 25
Dwelling, two-family	87,120 ⁷	200								
All other uses	43,560	150								
R-7: Low-Density Residential (one-half acre) District⁸										
Dwelling, single-family	20,000, plus addl. 20,000 sq ft for each dwelling unit in	120	30	25	10	20	N/A	1	N/A	Principal structures: 35 Accessory garages/carports: 30

TABLE 21.06-1: TABLE OF DIMENSIONAL STANDARDS - RESIDENTIAL DISTRICTS
(Additional Standards May Apply. See Use-Specific Standards in Chapter 21.05.)

Use	Minimum lot dimensions			Minimum setback requirements (ft)			Min. usable yard area per dwelling unit (sq ft)	Max number of principal structures per lot or tract	Max. floor area ratio (FAR)	Maximum height (ft)
	Area (sq ft)	Width (ft)	Max lot coverage (%)	Front	Side	Rear				
	excess of 1									Other accessory structures: 25
R-9: Low-Density Residential (2.5 acres) District⁹										
Dwelling, single-family	87,120	180	5	25	15	25	N/A	1	N/A	Principal structures: 35
Dwelling, two-family	130,680									Accessory garages/carports: 30
All other uses	87,120									Other accessory structures: 25
R-10: Low-Density Residential Alpine/Slope District										
All uses	(See section 21.06.020.A.2.b.)			10	25 feet, 50 feet if average slope exceeds 30 percent	10	N/A	1	N/A	Principal structures: 30 Accessory garages/carports: 25 Other accessory structures: 18

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1 B. Table of Dimensional Standards: Commercial and Industrial Districts

TABLE 21:06-2: TABLE OF DIMENSIONAL STANDARDS - COMMERCIAL AND INDUSTRIAL DISTRICTS (Additional Standards May Apply. See Use-Specific Standards in Chapter 21.05.)								
Use	Minimum lot dimensions			Minimum setback requirement (ft)			Min. usable yard area per residential dwelling unit (sq ft)	Maximum height (ft)
	Area (sq ft)	Width (ft)	Max lot coverage (%)	Front	Side	Rear		
AC: Automobile Commercial District								
All uses	6000	50	N/A	5	All buildings shall have a wall within 0.3 feet of a lot line or be set back from the lot line at least 10 feet	N/A	100	45, or three stories
CBD-1, CBD-2, and CBD-3: Central Business Districts NOTE: Buildings in the CBD districts also shall comply with the bulk, lot coverage, and height requirements in section 21.04.030.C.								
Residential uses	6000	50	100	N/A	N/A	N/A	60	CBD-1: Nine stories
Other uses							N/A	CBD-2: Five stories CBD-3: Three stories
MC: Marine Commercial District								
All uses	6000	50	N/A	5	None, except that, if a side or rear setback is provided, it shall be not less than 40 feet in width if such setback abuts the bulkhead		100	90 feet above mean sea level
O: Office District								
Dwelling, multi-family (minimum density of 12 dwelling units/acre if principal use on lot)	6000	50	N/A	5	None		100	45, or three stories
All other uses	6000							

TABLE 21:06-2: TABLE OF DIMENSIONAL STANDARDS - COMMERCIAL AND INDUSTRIAL DISTRICTS (Additional Standards May Apply. See Use-Specific Standards in Chapter 21.05.)								
Use	Minimum lot dimensions			Minimum setback requirement (ft)			Min. usable yard area per residential dwelling unit (sq ft)	Maximum height (ft)
	Area (sq ft)	Width (ft)	Max lot coverage (%)	Front	Side	Rear		
IC: Industrial / Commercial District								
All uses	6000	50	N/A	5	None		N/A	50
I-1 & I-2: Industrial Districts								
All uses	6000	50	N/A	10	None		N/A	50 feet in the I-1; otherwise none
MI: Marine Industrial District								
All uses	6000	50	N/A	10	None, except that, if a side or rear setback is provided, it shall be not less than 40 feet in width if such setback abuts the bulkhead		N/A	None

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1 C. Table of Dimensional Standards: Mixed-Use Districts

TABLE 21.06-3: TABLE OF DIMENSIONAL STANDARDS - MIXED-USE DISTRICTS (Additional Standards May Apply. See Use-Specific Standards in Chapter 21.05.)							
Uses	District Size		Minimum Residential Density [1]	Front Setbacks	Building Bulk and Height		
	Min.	Max.			Maximum Height (Ft)	Min. Lot Coverage	Maximum Floor Area Ratio
RMX: Residential Mixed-Use District							
All	None	None	15 dwelling units/acre (40 dwelling units/acre maximum)	Min: 0 ft. Max: 10 ft. Max (residential on ground floor): 15 ft. Building shall occupy a minimum of 35 percent of frontage line. 20-foot minimum setback for 3 rd story uses	60 feet or 5 stories (2 stories minimum)	To be determined	To be determined
NMU-1: Small-Scale Neighborhood Mixed Use District							
All	None	4 acres	None	Min: 0 ft. Max: 10 ft. Max (residential on ground floor): 15 ft. Building shall occupy a minimum of 35 percent of frontage line. 20-foot minimum setback for 3 rd story uses	35 feet or 3 stories	50%	0.67:1 FAR [2] [3]
NMU-2: Neighborhood Mixed Use District							
All	5	25 acres	None	Min: 0 ft. Max: 10 ft. Max (residential on ground floor): 15 ft. Building shall occupy a minimum of 35 percent of frontage line. 20-foot minimum setback for 3 rd story uses	35 feet or 3 stories	25%	0.67:1 FAR [2] [3]
CCMU: Community Commercial Mixed Use District							
All	15 acres	160 acres	None	Min: 0 ft. Max: 10 ft. Max (residential on ground floor): 15 ft. Building shall occupy a minimum of 50 percent of frontage line.	45 feet or 4 stories	35%	1.0:1 FAR [2] [3]

TABLE 21:06-3: TABLE OF DIMENSIONAL STANDARDS - MIXED-USE DISTRICTS
 (Additional Standards May Apply. See Use-Specific Standards in Chapter 21.05.)

Uses	District Size		Minimum Residential Density [1]	Front Setbacks	Building Bulk and Height		
	Min.	Max.			Maximum Height (Ft)	Min. Lot Coverage	Maximum Floor Area Ratio
RCMU and MMU: Regional Commercial Mixed-Use District and Midtown Mixed-Use District							
All	50 acres	None	8 dwelling units/acre	Min: 0 ft. Max: 10 ft. Max (residential on ground floor): 15 ft. Building shall occupy a minimum of 50 percent of frontage line.	RCMU: 120 feet or 8 stories MMU: 180 feet or 15 stories	35%	To be determined
NOTES: [1] Minimum residential density shall be measured as an average over the gross floor area of only the residential portion of the development. [2]: Floor Area Ratio <i>Mixed-use Incentive</i> : An additional .07 FAR is not included in the calculation of maximum allowable FAR if the additional .07 FAR is residential, and residential is 50% or more of the gross floor area of the development project. [3]: Floor Area Ratio <i>Private Usable Open Space Incentive</i> : An additional .02 FAR is not included in the calculation of maximum allowable FAR if the additional .02 FAR is residential, and the majority of residential dwellings in the development project each have at least 72 square feet of <i>private usable open space</i> .							

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2 **D. Table of Dimensional Standards: Other Districts**

TABLE 21:06-4: TABLE OF DIMENSIONAL STANDARDS - OTHER DISTRICTS
 (Additional Standards May Apply. See Use-Specific Standards in Chapter 21.05.)

Uses	Minimum lot dimensions		Max lot coverage (%)	Minimum setback requirements (ft)			Maximum height (ft)
	Area (sq ft)	Width (ft)		Front	Side	Rear	
AD: Airport Development District¹⁰							
All	4,000	20	N/A	N/A	N/A	N/A	Not applicable, except that within 250 feet of any residential district boundary, no portion of any structure shall exceed the height limitations of that residential district
AF: Antenna Farm District							
All	87,120	120	50	50	25	25	Unlimited, except that structures shall not interfere with FAA regulations on airport approaches

TABLE 21:06-4: TABLE OF DIMENSIONAL STANDARDS - OTHER DISTRICTS
(Additional Standards May Apply. See Use-Specific Standards in Chapter 21.05.)

Uses	Minimum lot dimensions		Max lot coverage (%)	Minimum setback requirements (ft)			Maximum height (ft)
	Area (sq ft)	Width (ft)		Front	Side	Rear	
OL: Open Lands District							
All	5 acres	100	20	Front, side, and rear setbacks shall be 25 feet when the abutting district is PR, PLI, or residential (including RMX); otherwise, the setbacks shall be equal to the analogous minimum setback in the abutting district.			35
PR and PLI: Parks and Recreation, and Public Lands and Institutions Districts							
All	6,000	50	45	Front, side, and rear setbacks shall be 25 feet when the abutting district is OL, PR, PLI or residential (including RMX); otherwise, the setbacks shall be equal to the analogous minimum setback in the abutting district.			Unrestricted, except where buildings exceed 35 feet in height adjacent to a residential use or district, the minimum setback requirements shall be increased one foot for each 1.5 feet in height exceeding 35 feet
TA: Turnagain Arm District							
Residential (Bird Creek, Indian Valley, Portage inholdings)	50,000	100	20	25	15	25	35, unless a conditional use permit is obtained for a greater height
Residential (Rainbow Valley inholdings)	216, 300						
Commercial (without sewers)	50,000	25	25	15	25		
Industrial (without sewers)							
Institutional (without sewers)							
W: Watershed District							
All	N/A	N/A	5	N/A	N/A	N/A	50

1 **21.06.020 MEASUREMENTS AND EXCEPTIONS¹¹**

2 **A. Setbacks**

3 **1. Required Setbacks**

- 4 a. A building, structure, or lot shall not be developed, used, or occupied
5 unless it meets the minimum setback requirements set forth in section
6 21.06.010 for the zoning district in which it is located, except as
7 otherwise established in this title for particular uses, or unless a
8 variance or minor modification has been granted.
- 9 b. Setbacks shall be unoccupied and unobstructed by any structure,
10 except as provided in subsection 2. below, and except that fences,
11 walls, trellises, poles, posts, ornaments, furniture and other customary
12 yard accessories may be permitted in any setback subject to height
13 limitations and requirements limiting obstruction of visibility.
- 14 c. A setback or other open space required by this title shall not be
15 included as part of a setback or other open space required by this title
16 for another building or structure or lot.

17 **2. Projections into Required Setbacks**

18 The following structures or features may project into required front, side, or
19 rear setbacks as specified in this subsection:

- 20 a. ***Paved Terraces***
21 Paved terraces may project into any required setback, provided that
22 no structures placed there shall violate other requirements of this title.
- 23 b. ***Unroofed Landings, Decks, and Stairs***
24 Except as provided in subsection c. below, unroofed landings, decks,
25 and stairs may project into required front and rear setbacks only,
26 provided that no portion other than a handrail shall extend higher than
27 30 inches above the finished grade level.
- 28 c. ***Roofs Over Porches and Other Exterior Approaches***
29 Roofs over porches, stairways, landings, terraces, or other exterior
30 approaches to pedestrian doorways may encroach up to five feet into
31 a front setback, provided that, where such roof projections encroach
32 within the setback, the roof projections shall comprise no more than
33 50 percent of the total length of a building's front façade. The
34 covered porch or entrance area encroaching into the setback shall
35 remain exterior to the building, and unenclosed or only partly
36 enclosed, as by a railing.
- 37 d. ***Incidental Architectural Features***
38 Windowsills, fireplace chases, belt courses, cornices, eaves and
39 similar incidental architectural features may project up to two feet into
40 any required setback.
- 41 e. ***Bay Windows***
42 Bay windows, measuring no more than eight feet in width where the
43 projection breaks the plane of the wall, may project up to two feet into

- 1 any required setback, so long as there is a minimum of eight feet
2 between the bay window and any opposing bay window on an
3 adjacent lot.
- 4 **f. Private Garage or Carport**
5 A private garage or carport may project into a required rear setback
6 abutting an alley.
- 7 **g. Accessory Structures**
8 As allowed in 21.05.070B.3.b.
- 9 **h. Handicap Access Ramps**
10 The Director may allow the installation of handicap access ramps in
11 any required setback if they meet the following criteria:¹²
- 12 i. The ramp is architecturally compatible with the structure in
13 design and bulk; and
- 14 ii. The width of the ramp does not exceed 48 inches.
- 15 **3. Construction on Adjoining Lots**
16 In determining minimum setback requirements, each lot shall be determined
17 individually and minimum setback requirements may not be calculated on the
18 basis of two or more combined lots. In all instances where a building may be
19 constructed immediately adjacent to a lot line, the building may be
20 constructed upon or over such lot line, provided that the portion of the building
21 on each individual lot is otherwise permitted on each lot, and provided further
22 that the building complies with building code requirements.
- 23 **4. Corner Lots with Two or More Frontages¹³**
24 In the case of corner lots with two or more frontages, the Director shall
25 determine the front setback requirements subject to the following limitations:
- 26 a. At least one front setback shall be provided having the full depth
27 required generally in the district.
- 28 b. No other front setback on such lot shall have less than half the depth
29 required generally for front setbacks in the district.
- 30 **5. Double-Frontage Lots**
31 In the case of double-frontage lots, front setbacks shall be provided on all
32 frontages.
- 33 **6. Setback from Planned Utility Transmission Facilities**
34 a. No new structural or land development activity requiring a building or
35 land use permit shall be permitted within the minimum area stated in
36 the Utility Corridor Plan¹⁴ for planned electrical or telecommunication
37 transmission facilities for which there is a projected easement or right-
38 of-way, except as allowed under paragraph b., below.
- 39 b. The following uses and activities are permitted, with written
40 acknowledgement of coordination with the affected utilities, within the
41 setbacks described in paragraph a., above:

- 1 i. Sidewalks and pathways;
- 2 ii. Trails and bicycle paths;
- 3 iii. Bus shelters and bus turnouts;
- 4 iv. Kiosks and seating units;
- 5 v. Utilities, utility easements and utility-related structures;
- 6 vi. Landscaping required by section 21.07.080, Landscaping,
7 Screening, and Fences, and consisting of ground cover,
8 shrubs and understory trees whose maximum height does not
9 exceed 30 feet;
- 10 vii. Surface parking required by section 21.07.090, *Off-Street*
11 *Parking and Loading*;
- 12 viii. Temporary parking as described in section 21.05.080;
- 13 ix. Additional parking to that required by this title;
- 14 x. Open space and usable yards;
- 15 xi. Fences and signs;
- 16 xii. Retaining walls;
- 17 xiii. Remodeling of or addition to structures existing as of
18 February 27, 1990, so long as it does not further intrude
19 within the setback area after that date; and
- 20 xiv. Driveways and vehicular access points.
- 21 c. Applicable setback requirements stated elsewhere in this title may
22 include the area of setback for electrical transmission facilities.

23 **7. Setbacks from Projected Rights-of-Way**

24 **a. Minimum Setback**

25 No new structural or land development activity requiring a building or
26 land use permit shall be permitted within the minimum setback set
27 forth in the table below from the existing or projected centerline of a
28 street designated on the official streets and highways plan (OSHP), or
29 within 30 feet from the existing or projected centerline of a street,
30 road reservation, or public use easement not so designated on the
31 OSHP, but designated in an adopted neighborhood or district plan,
32 except as allowed under subsection b., below:

TABLE 21.06-5: SETBACKS FROM PROJECTED RIGHTS-OF-WAY CENTERLINE	
Street Class on Official Streets and Highways Plan	Setback from Centerline (feet)
IC, IIA, IIIC	30
IB	35
I, IA, II	40
III, IIIB	50
IIIA, IV	65
V	75

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- b. **Permitted Uses Within Setback**
 The following uses and activities are permitted within the setbacks described in paragraph a., above:
 - i. Sidewalks, trails, and pathways;
 - ii. Bus shelters and bus turnouts;
 - iii. Kiosks, seating units and skywalks;
 - iv. Utilities and utility easements;
 - v. Temporary parking, temporary open space and usable yards, temporary fences and signs, or temporary retaining walls, as described in paragraph d., below;
 - vi. Additional parking to that required by this title;
 - vii. Remodeling of or addition to structures existing as of May 19, 1987, so long as such remodeling or addition does not further intrude within the setback area or increase the floor area of the structure within the setback area; and
 - viii. Driveways and vehicular access.
- c. **Additional Setback Requirements**
 Applicable setback requirements stated elsewhere in this chapter shall be in addition to those stated in this subsection 21.06.020.A.7.
- d. **Temporary Features¹⁵**
 As used in this subsection 21.06.020.A.7.d., the term "temporary" or "temporarily" means that period of time between the issuance of a building or land use permit and the right of entry conveyed to the Municipality or other government entity for a road project that affects the setback area required by this subsection 21.06.020.A.7.d. Parking, open space and usable yards, fences and signs, and

1 retaining walls required by this title may be provided temporarily
2 within a setback area described in this subsection 21.06.020.A.7.d.
3 only if the Director and the traffic engineer first find that:

- 4 i. The temporary features to be used on the lot conform to all
5 other applicable requirements of this title;
- 6 ii. An alternate site plan has been submitted with an application
7 for a building or land use permit for permanent required
8 features on the lot, excluding all setback areas thereon, in
9 conformance with all applicable requirements of this title; and
- 10 iii. An agreement between the owner of the lot and the
11 Municipality has been executed and recorded so as to give
12 notice of the temporary requirements to be applied to the lot
13 and of the date or event by which the temporary features
14 shall be abandoned in favor of the permanent configuration
15 stated in the alternate site plan.

16 **8. Sight Distance Triangles**

17 **a. Prohibition**

18 No person may place within a sight distance triangle area any
19 structure between 2½ feet and eight feet above the nearest curb or
20 street centerline grade, whichever is higher, except for:

- 21 i. A public utility pole;
- 22 ii. A tree that is trimmed so that the trunk is bare to a height of
23 eight feet measured from the nearest curb or street centerline
24 grade, whichever is higher; or
- 25 iii. A warning sign or signal installed on the lot by a government
26 agency.

27 **b. Definition**

28 As used in this section, the term “sight distance triangle” refers to the
29 roadway area visible to the driver. The required length is the distance
30 necessary to allow safe vehicular egress from a street, driveway, or
31 alley to a major street. Criteria for required sight distance are given
32 below.

33 **c. Criteria**

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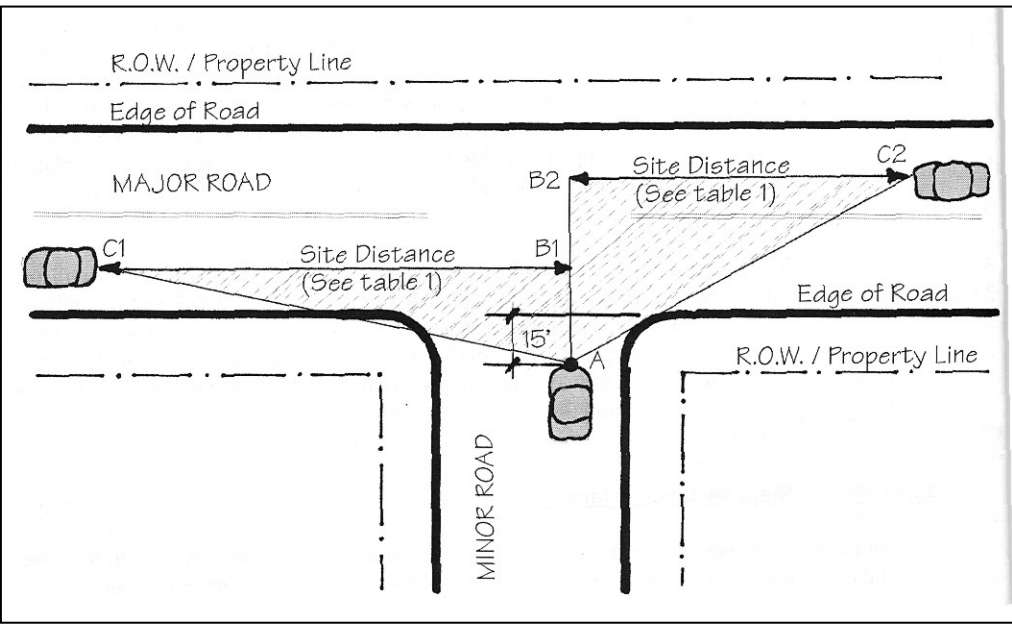
The sight distance triangle is shown in the figure below and described as follows:

- i. Point A is located on the minor approach 15 feet from the edge of major road travelway;
- ii. Point B1 is located in the center of lane 1;
- iii. Point B2 is located in the center of lane 2;
- iv. Points C1 and C2 are located based on the design speed of the major road and is the distance shown in Table 21.0-6-6; and

Table 21.06-6: Required Sight Distances in Sight Distance Triangles	
Design Speed (mph)	Sight Distance (ft)
60	650
50	515
40	415
30	310
20	210

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- v. Point A is connected to Points C1 and C2 by a straight line.



1 **B. Usable Yard**

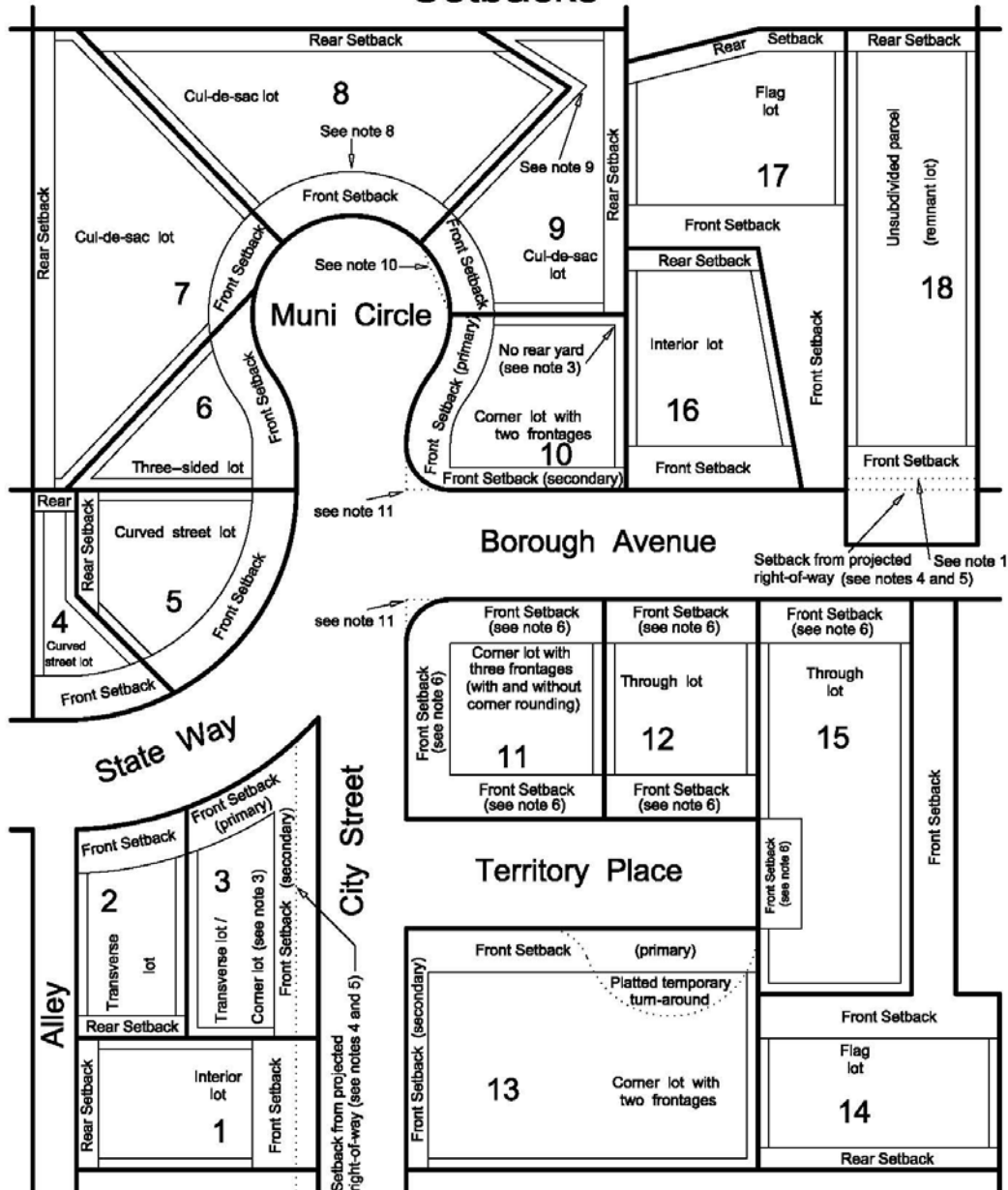
- 2 1. Usable yard shall be provided per dwelling unit in accordance with Tables
3 21.06-1 through 21.06-4.
- 4 2. No dimension of a usable yard required by this chapter shall be less than ten
5 feet; except, however, private balconies or decks containing no less than one
6 four-foot dimension and containing a minimum of 20 square feet may be
7 counted for up to 50 percent of required usable yard area in the R-3, R-4, and
8 RMX districts, and up to 100 percent of required usable yard area in the
9 NMU-1, NMU-2, CCMU, RCMU, MMU, and CBD districts.¹⁶
- 10 3. Usable yard area may include required side and rear setbacks and utility
11 easements, but may not include front setbacks, refuse storage or collection
12 areas, wetlands, or areas with slopes in excess of 15 percent.
- 13 4. Up to 30 percent of the required usable yard area may be collocated with
14 required landscaping.

15 **C. Lot Coverage and Floor Area Ratio (FAR)¹⁷**

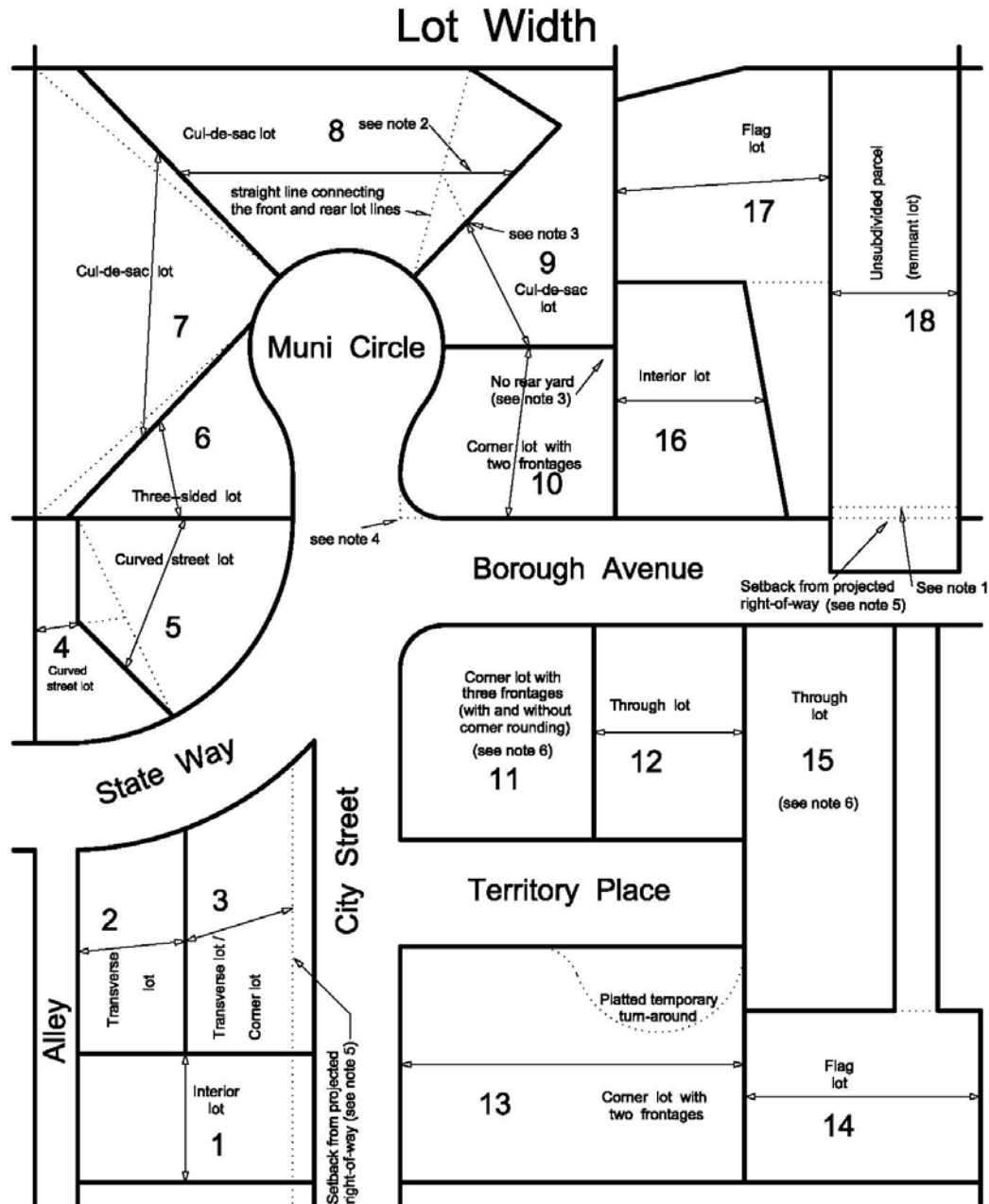
- 16 1. **Lot Coverage Requirement Generally**
17 No building, structure, or lot shall be developed, used, or occupied unless it
18 meets the lot coverage and FAR requirements set forth in section 21.06.010
19 for the zoning district in which it is located.
- 20 2. **Structures Not Considered in Measuring Lot Coverage**
21 Unless otherwise provided in this title, all structures shall be considered in
22 determining lot coverage except for the following:
- 23 a. Structures less than 30 inches above the finished grade level (such
24 as paved terraces or ground-level decks);
- 25 b. Windowsills, bay windows, fireplace chases, belt courses, cornices,
26 eaves, and similar incidental architectural features;
- 27 c. Handicap ramps that comply with section 21.06.020.A.2.g., *Handicap*
28 *Access Ramps*, above;
- 29 d. Fences, trellises, poles, posts, ornaments, lawn furniture, and similar
30 and customary yard accessories; and
- 31 e. Hot tubs.
- 32 3. **Structures Not Considered in Measuring Floor Area Ratio (FAR)**
33 Unless otherwise provided in this title, all gross floor area shall be considered
34 in determining FAR except for the following:
- 35 a. Uninhabitable attics; and
- 36 b. Usable open space areas.

- 1 **D. Density**
- 2 **1. Measurement of Residential Density¹⁸**
- 3 Residential density is determined by dividing the gross parcel size by the
- 4 minimum lot size of the zoning district where the parcel is located, and then
- 5 rounding down to the whole number. This operation yields a certain number
- 6 of units per acre with no decimals.
- 7 **E. Height**
- 8 **1. Rules for Measuring Height**
- 9 Building height shall be measured as shown in the illustrations at the end of
- 10 the chapter.
- 11 **2. Reference Datum**
- 12 The reference datum for determination of building height shall be selected by
- 13 either of the following, whichever yields a greater height of building:
- 14 **a.**The elevation of the highest adjoining sidewalk or ground surface
- 15 within a five-foot horizontal distance from the exterior wall of the
- 16 building, when such sidewalk or ground surface is not more than ten
- 17 feet above lowest grade within a five-foot horizontal distance from the
- 18 exterior wall of the building.
- 19 **b.**An elevation ten feet higher than the lowest grade when the sidewalk
- 20 or ground described in the subsection a., above, is more than ten feet
- 21 above the lowest grade.
- 22 **3. Height Exceptions**
- 23 Except as specifically provided elsewhere in this title, the height limitations
- 24 contained in this chapter do not apply to spires, belfries, cupolas, flagpoles,
- 25 chimneys, antennas, heating and ventilation equipment, elevator housings,
- 26 stairwell towers, solar reflectors, or similar appurtenances; provided, however,
- 27 the following:
- 28 **a.**The appurtenance does not interfere with Federal Aviation
- 29 Regulations, Part 77, Objects Affecting Navigable Airspace;
- 30 **b.**The appurtenance does not extend more than 25 feet above the
- 31 maximum permitted building height, except for flagpoles, religious
- 32 assembly belfries, and antennas that must be of greater height in
- 33 order to function;
- 34 **c.**The appurtenance is not constructed for the purpose of providing
- 35 additional floor area in the building; and
- 36 **d.**The appurtenance complies with the screening requirements for
- 37 mechanical equipment and appurtenances in 21.07.080G.,
- 38 *Screening*.
- 39 **4. Height Limitations**
- 40 Special height limitations, set forth in section 21.04.070.C., apply to all
- 41 development within the Airport Height Overlay District.

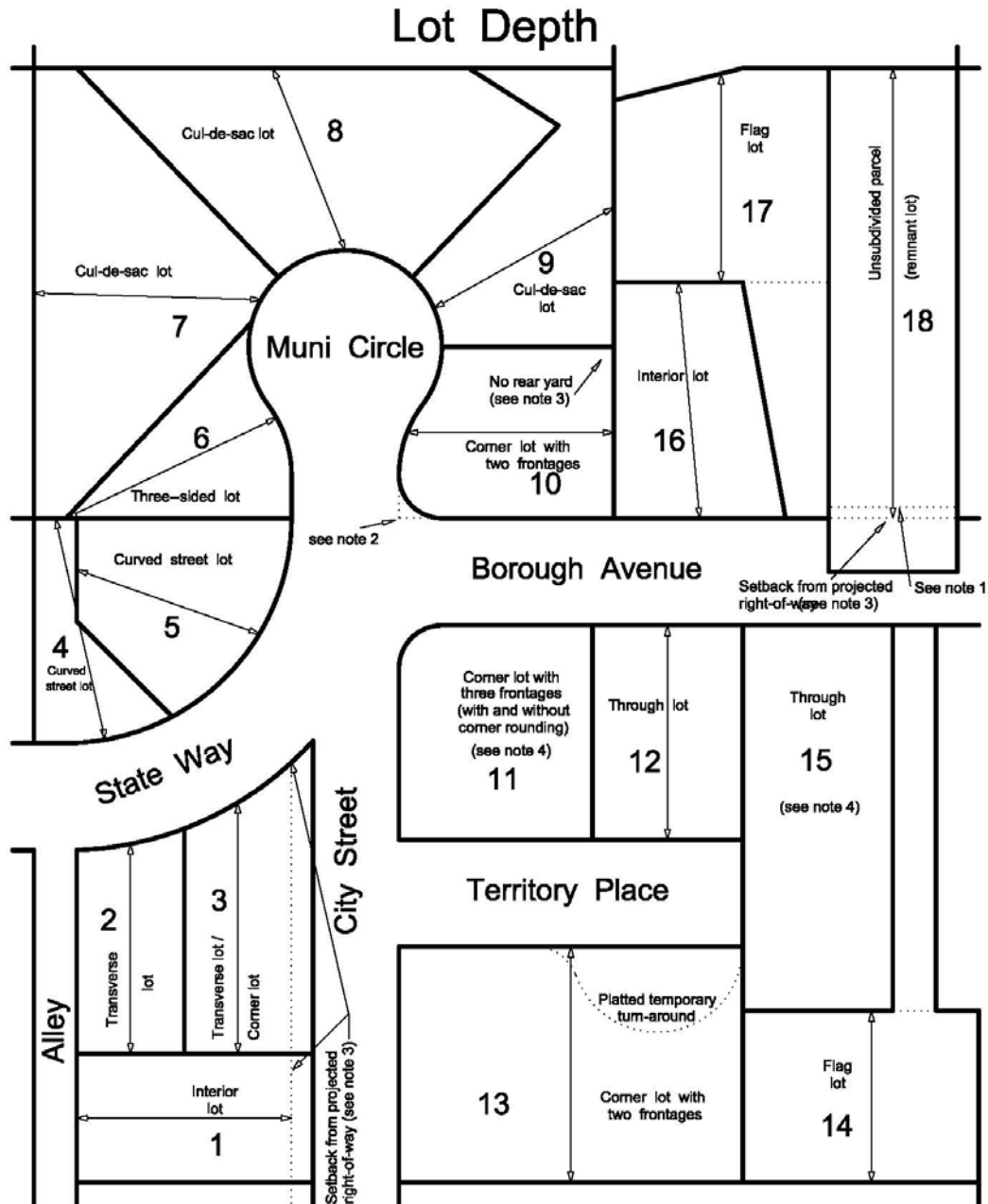
Setbacks



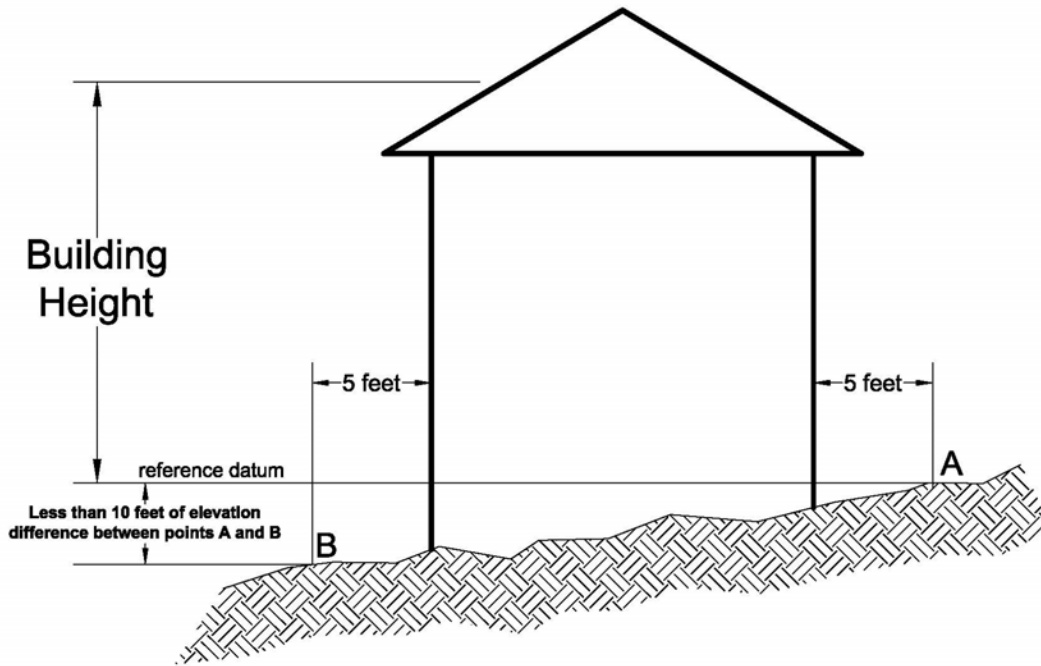
1. Section line easement, BLM road reservation, road or public use easement.
2. All setbacks not called out in the illustration are side setbacks.
3. In the case of corner, through, and three-sided lots, there are no rear setbacks, but only front and side setbacks.
4. The area between the property line and the setback from projected right-of-way is subject to the same regulations as a front setback.
5. The front setback is measured from the setback from projected right-of-way.
6. The Director shall determine the depth of the front setbacks. Until such determination, full-depth setbacks apply on all frontages.
7. Primary and secondary front setbacks are determined by the Director, in accordance with the prevailing setback pattern.
8. The setback follows the curve of the lot line.
9. Side setbacks are extended to intersect.
10. The rear property line is the line (or lines intersecting at an interior angle of not less than 135 degrees) most parallel to the chord of the front property line.
11. Front property lines intersect by extrapolation.



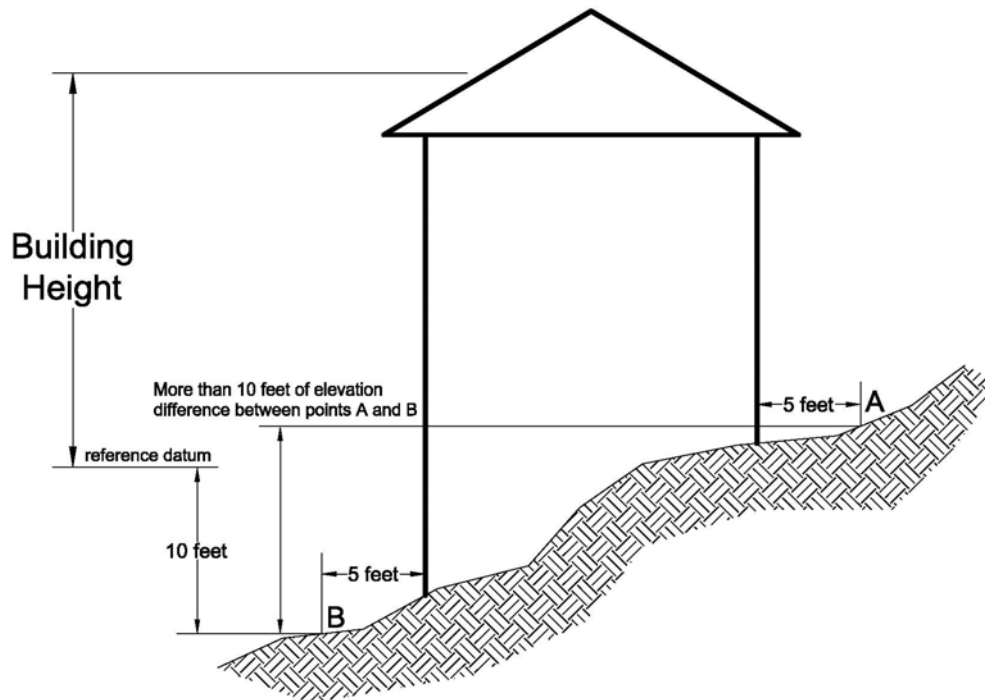
1. Section line easement, BLM road reservation, road or public use easement.
2. "such measurement shall extend to the side property lines"
3. "such measurement shall not extend beyond the property lines of the lot being measured"
4. Front property lines intersect by extrapolation.
5. The setback from projected right-of-way is considered the front property line for computing lot width.
6. When the definitions do not unambiguously identify the lot width, the Director shall determine the lot width.



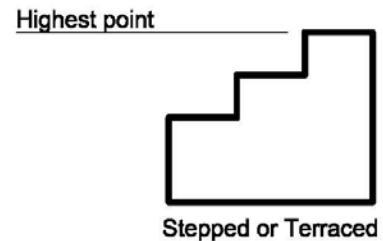
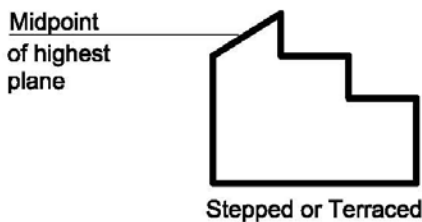
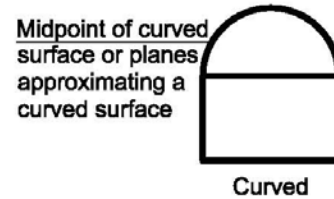
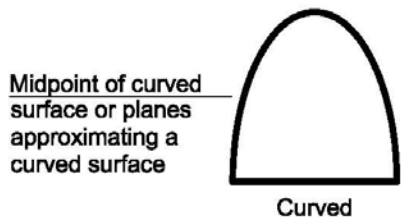
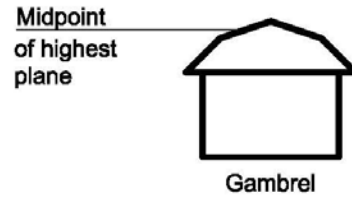
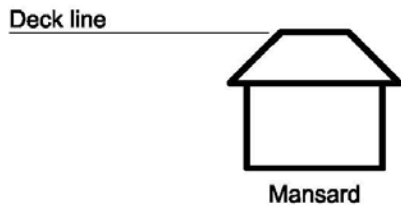
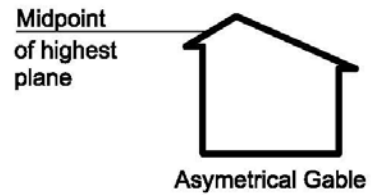
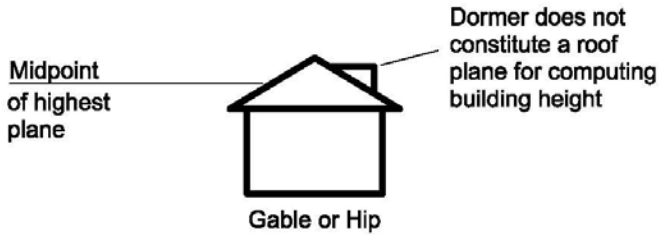
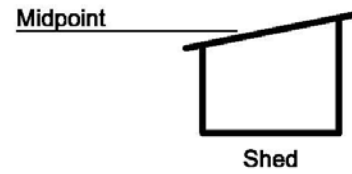
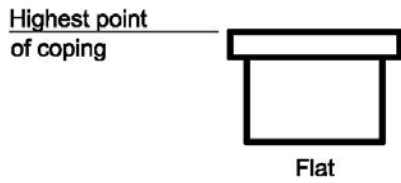
1. Section line easement, BLM road reservation, road or public use easement.
2. Front property lines intersect by extrapolation.
3. The setback from projected right-of-way is considered a property line for computing lot depth.
4. When the definitions do not unambiguously identify the lot depth, the Director shall determine the lot depth.
5. The setback from projected right-of-way is XXXXXXXXXXXXXXXXXXXX for computing lot depth.



Case 1



Case 2



¹ 2005 NOTE: A number of changes are suggested in these tables in the 2005 draft in response to numerous comments. Only the most significant changes are noted.

² NOTE: This new district is a proposed consolidation of the existing R-1 and R-1A districts. The only distinction between the two districts in the current code is that R-1A has a larger minimum lot size (8,400 square feet, versus 6,000), and a larger minimum lot width requirement (70 feet, versus 50 feet). Further discussion needed about the appropriate lot size and width in this district. For discussion purposes, this draft proposes using the lower minimum requirements to avoid making existing properties nonconforming.

³ 2005 NOTE: Lot coverages changed in this district to be more consistent with other districts, per staff suggestion. OLD NOTE: This is a new district composed of the existing R-2A and R-2D district. Again, the minimum lot dimensions of these two districts are different. This draft proposes the less restrictive R-2D dimensions for discussion purposes.

⁴ NOTE: These are lower suggested lot dimensional requirements to encourage development of these uses. There are design issues to consider for single-family attached and townhouse dwellings, as part of Module 3. Specifically, staff has requested that townhouses and single-family attached dwellings in both R-3 and R-4 that are permitted on narrow lots should only have driveway access from rear alleys. Otherwise, the front facades of these units could be made up almost entirely with pavement / garage doors. Another issue is bulk, and staff has requested a limit (e.g., 5-6 units) of how many of these units can be attached in a row, or other methods to mitigate townhouse bulk.

⁵ NOTE: This new district is a consolidation of the existing R-3 and R-4 districts. Given that this new district is intended to provide medium to high density, we recommend using the less restrictive standards of the existing R-4 district. There is a proposed new height limit of 50 feet for multi-family dwellings.

⁶ NOTE: This is a suggested increase from the existing requirement of 100 square feet per dwelling unit.

⁷ NOTE: This is a proposed requirement, lower than the existing requirement of 108,900 sq ft. Staff is proposing to lower the lot size and also to exclude the current provision which allows a portion of the abutting street ROW to be used toward the calculation of minimum lot area.

⁸ 2005 NOTE: Existing R-7 district. New in this 2005 draft.

⁹ 2005 NOTE: New lot sizes proposed by staff for this district in this draft.

¹⁰ 2005 NOTE: As indicated in chapter 21.04, the airport and state personnel object to the AD district as currently proposed. Additional discussions are scheduled between municipal and state/airport officials.

¹¹ 2005 NOTE: This section has been significantly simplified and revised based on numerous comments. Many sections have been rewritten. All the district-specific material (e.g., height requirements in the airport overlay) has been moved to the districts chapter (21.04).

¹² 2005 NOTE: The requirement that the ramp be temporary has been removed.

¹³ 2005 NOTE: This reworked provision provides more flexibility than the previous draft for corner lots.

¹⁴ 2005 NOTE: This note was received from Chugach Electric regarding this provision: "We note that the draft contains language about the Utility Corridor Plan and we urge continued preservation of the Utility Corridor Plan routes as well as the language provisions that ensure our ability to protect the setbacks associated with the routes."

¹⁵ NOTE: This existing section has been broadened, per staff suggestion, to cover more than just temporary parking.

¹⁶ 2005 NOTE: New provision drafted by staff.

¹⁷ 2005 NOTE: New provision in this draft, based on scattered similar provisions in the prior draft.

¹⁸ 2005 NOTE: Relocated into this chapter from the definitions chapter in the prior draft.