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1 **CHAPTER 21.06: DIMENSIONAL STANDARDS AND MEASUREMENTS**

2 **21.06.010 DIMENSIONAL STANDARDS TABLES**

3 This section contains tables that list the requirements for lot dimensions and building bulk,
4 density, location, and height for all types of development. All primary and accessory
5 structures are subject to the dimensional standards set forth in the following tables. Bracketed
6 numbers refer to notes at the bottom of each table. These general standards may be further
7 limited or modified by other applicable sections of this ~~Title~~title. In particular, some uses have
8 use-specific standards in ~~Chapter~~chapter 21.05 that impose stricter requirements than set
9 forth in these tables. General rules for measurement and exceptions are set forth in
10 ~~Section~~section 21.06.020.

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A. Table of Dimensional Standards: Residential Districts¹

RESIDENTIAL DISTRICTS										
Use	Minimum lot dimensions			Minimum setback requirements (ft)			Min. usable yard area per dwelling unit (sq ft)	Max number of principal structures per lot or tract	Max. floor area ratio (FAR)	Maximum height (ft)
	Area (sq ft)	Width (ft)	Max lot coverage (%)	Front	Side	Rear				
R-1: Single-Family Residential District^{1,2}										
Residential uses	6000	50	30	20	5	10	N/A	1	N/A	Principal structures: 30
All other uses	10,000	70			10					Accessory garages/carports: 20
										Other accessory structures: 12
R-2: Two-Family Residential District^{2,3}										
Living, single-family detached	6000	50	40	20	5	10	N/A	4	N/A	Principal structures: 30 Accessory

¹ NOTE: This new district is a proposed consolidation of the existing R-1 and R-1A districts. The only distinction between the two districts in the current code is that R-1A has a larger minimum lot size (8,400 square feet, versus 6,000), and a larger minimum lot width requirement (70 feet, versus 50 feet). Further discussion needed about the appropriate lot size and width in this district. For discussion purposes, this draft proposes using the lower minimum requirements to avoid making existing properties nonconforming.

² NOTE: This is a new district composed of the existing R-2A and R-2D district. Again, the minimum lot dimensions of these two districts are different. This draft proposes the less restrictive R-2D dimensions for discussion purposes.

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RESIDENTIAL DISTRICTS

Section Chapter 20)

Use	Minimum lot dimensions			Minimum setback requirements (ft)			Min. usable yard area per dwelling unit (sq ft)	Max number of principal structures per lot or tract	Max. floor area ratio (FAR)	Maximum height (ft)
	Area (sq ft)	Width (ft)	Max lot coverage (%)	Front	Side	Rear				
Dwelling, two-family										garages/carpports: 20
Dwelling, single-family attached	3500	35	35		on common lot line; otherwise 5					Other accessory structures: 12
Dwelling, single-family detached	6000	50	30	20	5	10	N/A	1	N/A	Principal structures: 30 Detached ADUs: 25 Accessory garages/carpports: 20 Other accessory structures: 12
Dwelling, two-family			40							
Dwelling, single-family attached	3500	35	40		N/A on common lot line; otherwise 5					
All other uses	10,000	70	40		10					
R-3: Mixed Residential District										
Dwelling, single-family detached	9000 minimum	50	40	15	5	10	N/A	lots or tracts greater than one acre,	N/A	Principal structures: 30

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	100 maximum								one additional principal structure may be allowed per lot or tract, per each additional acre; otherwise, only a single principal structure allowed		Accessory garages/carpports: 20 Other accessory structures: 12
Dwelling, two-family	6,000	50									
<u>Dwelling, single-family detached</u>	<u>6,000 minimum</u> <u>12,000 maximum</u>	<u>50</u>	<u>30</u>						<u>On lots or tracts greater than one acre, one additional principal structure may be allowed per lot or tract, per each additional acre; otherwise, only a single principal structure allowed</u>		<u>Principal structures: 30</u> <u>Detached ADUs: 25</u> <u>Accessory garages/carpports: 20</u> <u>Other accessory structures: 12</u>
<u>Dwelling, two-family</u>	<u>6,000</u>	<u>50</u>			<u>5</u> <u>(N/A on common lot line)</u>	<u>10</u>	<u>N/A</u>			<u>N/A</u>	
Dwelling, single-family attached Dwelling, townhouse ³⁴	3000	Attached single-family: 35 (40 on corner lots) Townhouse: 25 24 (30 on corner lots)	<u>40</u>	<u>15</u>							
Dwelling, multiple-family (up to 8 units)	6000 10,000 <u>+2,000 for</u>	50			10		400				35, or three stories

³⁴ NOTE: These are lower suggested lot dimensional requirements to encourage development of these uses. There are design issues to consider for single family attached and townhouse dwellings, as part of Module 3. Specifically, staff has requested that townhouses and single family attached dwellings in both R-3 and R-4 that are permitted on narrow lots should only have driveway access from rear alleys. Otherwise, the front facades of these units could be made up almost entirely with pavement / garage doors. Another issue is bulk, and staff has requested a limit (e.g., 5-6 units) of how many of these units can be attached in a row, or other methods to mitigate townhouse bulk.

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All other uses	43,560	150									Other accessory structures: 25
R-6: Suburban Low-Density Residential (1 acre) District (Large Lot)											
Dwelling, single-family	43,560	150	20	25	15	25	N/A	1	N/A		Principal structures: 35
Dwelling, two-family	87,120 ^{ZZ}	200									Accessory garages/carports: 30
All other uses	43,560	150									Other accessory structures: 25
R-9: Rural Low-Density Residential (one-half acre) District^a											
Dwelling, single-family	108,900	180	5	25	15	25	N/A	4	N/A		Principal structures: 35
Dwelling, two-family	163,350										Accessory garages/carports: 30
All other uses	108,900										Other accessory structures: 25

⁷ NOTE: This is a proposed requirement, lower than the existing requirement of 108,900 sq. ft. Staff is proposing to lower the lot size and also to exclude the current provision which allows a portion of the abutting street ROW to be used toward the calculation of minimum lot area.

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R-9: Residential Alpine/Slope District										
All uses	(See Section 21.06.020.A.2.b.)		40	Set, 50 feet if average slope exceeds 30 percent	40				4	Principal structures: 30 Accessory garages/carports: 25 Other accessory structures: 18
Dwelling, single-family	20,000, plus addl. 20,000 sq ft for each dwelling unit in excess of 1	120	30	25	10	20	N/A	1	N/A	Principal structures: 35 Accessory garages/carports: 30 Other accessory structures: 25
R-9: Low-Density Residential (2.5 acres) District⁹										
Dwelling, single-family	87,120	180	5	25	15	25	N/A	1	N/A	Principal structures: 35
Dwelling, two-family	130,680									Accessory garages/carports: 30
All other uses	87,120									Other accessory structures: 25

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~~ES:~~

~~in the R-4 district, if buildings exceed 35 feet in height, minimum side setbacks shall be increased to ten feet.⁸~~

~~[2]: When lots in the R-4 district are within 50 feet of the boundary of any other residential district, no portion of any structure on such lot shall exceed the height limitations of the neighboring residential district.⁹~~

R-10: Low-Density Residential Alpine/Slope District

<u>All uses</u>	<u>(See section 21.06.020.A.2.b.)</u>	<u>10</u>	<u>25 feet, 50 feet if average slope exceeds 30 percent</u>	<u>10</u>	<u>N/A</u>	<u>1</u>	<u>N/A</u>	<u>Principal structures: 30</u> <u>Accessory garages/carports: 25</u> <u>Other accessory structures: 18</u>
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⁸ NOTE: Staff notes: "The rationale for Note #1 height calculation should be reviewed during Module 3, to ensure that it is consistent with solar access geometry in Anchorage's climate or any solar access standards in the new northern design section of Ch. 21.07."

⁹ NOTE: Suggested new provision to ease the transition between R-4 and other residential districts.

1 B. Table of Dimensional Standards: Commercial and Industrial Districts

TABLE 21:06-2: TABLE OF DIMENSIONAL STANDARDS - COMMERCIAL AND INDUSTRIAL DISTRICTS (Additional Standards May Apply - See Use-Specific Standards in Section Chapter 21.05.020)								
Use	Minimum lot dimensions			Minimum setback requirement (ft)			Min. usable yard area per residential dwelling unit (sq ft)	Maximum height (ft)
	Area (sq ft)	Width (ft)	Max lot coverage (%)	Front	Side	Rear		
C-1: Local and Neighborhood AC: Automobile Commercial District								
All uses	6000	50	50 N/A	5	Not applicable, provided that all buildings shall have a wall within 0.3 feet of a lot line or are set back from the lot line at least 5-10 feet [2]	5-2] N/A	100	25-45, or two-three stories
C-2A, C-2B & C-2C CBD-1, CBD-2, and CBD-3: Central Commercial Business Districts NOTE: Buildings in the CBD districts also shall comply with the bulk, lot coverage, and height requirements in section 21.04.030.C.								
Residential uses	6000 [1]	50	100	N/A	N/A	N/A	60	C-2A: Nine stories
Other uses	6000 [1]	50	100				N/A	C-2B: Five stories C-2C: Three stories [1]
GC: General Commercial District								
All uses	6000	50	N/A	40	Not applicable, provided that all buildings have a wall within 0.3 feet of a lot line or are set back from the lot line at least 10 feet [2]	N/A [1]	100	45, or three stories
Residential uses	6000	50	100	N/A	N/A	N/A	60	CBD-1: Nine stories CBD-2: Five

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**TABLE 21:06-2: TABLE OF DIMENSIONAL STANDARDS -
 COMMERCIAL AND INDUSTRIAL DISTRICTS**

*(Additional Standards May Apply - See Use-Specific Standards in **Section Chapter 21.05.020**)*

Use	Minimum lot dimensions			Minimum setback requirement (ft)			Min. usable yard area per residential dwelling unit (sq ft)	Maximum height (ft)
	Area (sq ft)	Width (ft)	Max lot coverage (%)	Front	Side	Rear		
<u>Other uses</u>							<u>N/A</u>	<u>stories</u> <u>CBD-3: Three stories</u>
MC: Marine Commercial District								
All uses	6000	50	N/A	<u>105</u>	None, except that, if a side or rear setback is provided, it shall be not less than five feet in width, or 40 feet in width if the side or rear such setback abuts the bulkhead.		100	90 feet <u>above</u> mean sea level
O: Office District								
<u>Dwelling, multi-family (minimum density of 12 dwelling units/acre if principal use on lot)</u>	<u>6000</u>	<u>50</u>	<u>N/A</u>	<u>5</u>	<u>None</u>		<u>100</u>	<u>45, or three stories</u>
<u>All other uses</u>	<u>6000</u>							
IC: Industrial / Commercial District								
<u>All uses</u>	<u>6000</u>	<u>50</u>	<u>N/A</u>	<u>5</u>	<u>None</u>		<u>N/A</u>	<u>50</u>
I-1 & I-2: Industrial Districts								

**TABLE 21:06-2: TABLE OF DIMENSIONAL STANDARDS -
 COMMERCIAL AND INDUSTRIAL DISTRICTS**

*(Additional Standards May Apply - See Use-Specific Standards in **Section Chapter 21.05.020**)*

Use	Minimum lot dimensions			Minimum setback requirement (ft)			Min. usable yard area per residential dwelling unit (sq ft)	Maximum height (ft)
	Area (sq ft)	Width (ft)	Max lot coverage (%)	Front	Side	Rear		
All uses	6000	50	N/A	10	None [2]		N/A	None [3] 50 feet in the I-1; otherwise none
MI: Marine Industrial District								
All uses	6000	50	N/A	10	None, except that, if a side or rear setback is provided, it shall be not less than five feet in width, or 40 feet in width if the side or rear such setback abuts the bulkhead.		N/A	None [3]
<p>NOTES:</p> <p>[1]: Buildings in the Central Business District shall comply with the special bulk, lot coverage, and height requirements set forth in Section 21.06.020.B.2.k.</p> <p>[2] When lots containing principally non-residential uses are adjacent to residential district boundaries, the following minimum setbacks are required for the lot line adjoining the residential boundary:¹⁰</p> <ul style="list-style-type: none"> •C-1 district: 20 feet for side setbacks, 25 feet for rear setbacks; •GC district: 10 feet for side setbacks, 15 for rear setbacks; •I-1 district: Side or rear setback shall be equal to that required in the adjoining residential district. If a side or rear setback is provided elsewhere, it shall be not less than five feet in width; •I-2 district: Side or rear setbacks shall be equal to two times that required in the adjoining residential district. If a side or rear setback is provided elsewhere, it shall be not less than five feet in width. <p>[3] When lots in the I-1, I-2, and MI district are within 50 feet of any residential district boundary, no portion of any structure on such lot shall exceed the height limitations of that residential district.</p>								

¹⁰ NOTE: These are existing requirements. As part of Module 3, staff has requested new standards that offer more neighborhood residential protection. As currently written, these requirements seem less restrictive for industrial districts adjoining residential districts than for commercial districts (particularly the neighborhood commercial district) adjoining a residential district.

1 C. Table of Dimensional Standards: Mixed-Use ~~and Other~~ Districts

**TABLE 21.06-43: TABLE OF DIMENSIONAL STANDARDS
 - MIXED-USE ~~AND OTHER~~ DISTRICTS**
 (Additional Standards May Apply - See Use-Specific Standards in ~~Section~~ **Chapter 21.05.020**)

Uses	Minimum lot dimensions		Max lot coverage (%)	Maximum setback requirements (ft)	Maximum height (ft)		
Uses	District Size		Minimum Residential Density [1]	Front Setbacks	Building Bulk and Height		
	Min.	Max.			Maximum Height (Ft)	Min. Lot Coverage	Maximum Floor Area Ratio
RMX: Residential Mixed-Use District							
All	None	None	15 dwelling units/acre (40 dwelling units/acre maximum)	Min: 0 ft. Max: 10 ft. Max (residential on ground floor): 15 ft. Building shall occupy a minimum of 35 percent of frontage line. 20-foot minimum setback for 3 rd story uses	60 feet or 5 stories (2 stories minimum)	To be determined	To be determined
NMU-1: Small-Scale Neighborhood Mixed Use District							
All	None	4 acres	None	Min: 0 ft. Max: 10 ft. Max (residential on ground floor): 15 ft. Building shall occupy a minimum of 35 percent of frontage line. 20-foot minimum setback for 3 rd story uses	35 feet or 3 stories	50%	0.67:1 FAR [2] [3]
NMU-2: Neighborhood Mixed Use District							
All	5	25 acres	None	Min: 0 ft. Max: 10 ft. Max (residential on ground floor): 15 ft. Building shall occupy a minimum of 35 percent of frontage line. 20-foot minimum setback for 3 rd story uses	35 feet or 3 stories	25%	0.67:1 FAR [2] [3]
CCMU: Community Commercial Mixed Use District							
All	15 acres	160 acres	None	Min: 0 ft. Max: 10 ft. Max (residential on ground floor): 15 ft. Building shall occupy a minimum of 50 percent of frontage line.	45 feet or 4 stories	35%	1.0:1 FAR [2] [3]

**TABLE 21:06-43: TABLE OF DIMENSIONAL STANDARDS
 - MIXED-USE AND OTHER DISTRICTS**

(Additional Standards May Apply - See Use-Specific Standards in Section Chapter 21.05.020)

Uses	Minimum lot dimensions		Max lot coverage (%)	Maximum setback requirements (ft)			Maximum height (ft)
	Min.	Max.		Front	Side	Rear	
RCMU and MMU: Regional Commercial Mixed-Use District and Midtown Mixed-Use District							
All	50 acres	None	8 dwelling units/acre	Min: 0 ft. Max: 10 ft. Max (residential on ground floor): 15 ft. Building shall occupy a minimum of 50 percent of frontage line.	RCMU: 120 feet or 8 stories MMU: 180 feet or 15 stories	35%	To be determined
NOTES: [1] Minimum residential density shall be measured as an average over the gross floor area of only the residential portion of the development. [2] Floor Area Ratio <i>Mixed-use Incentive</i> : An additional .07 FAR is not included in the calculation of maximum allowable FAR if the additional .07 FAR is residential, and residential is 50% or more of the gross floor area of the development project. [3] Floor Area Ratio <i>Private Usable Open Space Incentive</i> : An additional .02 FAR is not included in the calculation of maximum allowable FAR if the additional .02 FAR is residential, and the majority of residential dwellings in the development project each have at least 72 square feet of <i>private usable open space</i> .							

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D. Table of Dimensional Standards: Other Districts

TABLE 21:06-4: TABLE OF DIMENSIONAL STANDARDS - OTHER DISTRICTS
(Additional Standards May Apply. See Use-Specific Standards in Chapter 21.05.)

Uses	Minimum lot dimensions		Max lot coverage (%)	Minimum setback requirements (ft)			Maximum height (ft)
	Area (sq ft)	Width (ft)		Front	Side	Rear	
NMU: Neighborhood Mixed-Use District							
AD: Airport Development District¹⁰							
							{RESERVED}
CCMU: Community Commercial Mixed-Use District							
							{RESERVED}
RCMU: Regional Commercial Mixed-Use District							
							{RESERVED}
RMX: Residential Mixed-Use District							
							{RESERVED}
AD: Airport Development District							

TABLE 21.06-4: TABLE OF DIMENSIONAL STANDARDS - OTHER DISTRICTS
(Additional Standards May Apply. See Use-Specific Standards in Chapter 21.05.)

Uses	Minimum lot dimensions		Max lot coverage (%)	Minimum setback requirements (ft)			Maximum height (ft)
	Area (sq ft)	Width (ft)		Front	Side	Rear	
All	4,000	20	N/A	N/A	N/A	N/A	Not applicable, except that within 250 feet of any residential district boundary, no portion of any structure shall exceed the height limitations of that residential district
AF: Antenna Farm District							
All	87,120	120	50	50	25	25	Unlimited, except that structures shall not interfere with FAA regulations on airport approaches
OL: Open Lands District							
All	5 acres	100	20	25, or not less than front setback of adjacent use district, whichever is greater when abutting district is PLI or residential; otherwise equal to minimum front setback requirement in the district abutting front setback	30, or not less than front setback of adjacent use district, whichever is greater when abutting district is PLI or residential; otherwise equal to minimum front setback requirement in the district abutting front setback		{1}
All	5 acres	100	20	Front, side, and rear setbacks shall be 25 feet when the abutting district is PR, PLI, or residential (including RMX); otherwise, the setbacks shall be equal to the analogous minimum setback in the abutting district.			35
PR and PLI: Parks and Recreation, and Public Lands and Institutions Districts							
All	6,000	50	45	25, or not less than front setback of adjacent use district, whichever is greater when abutting district is PLI or residential; otherwise equal to minimum front setback requirement in the district abutting front setback	30, or not less than front setback of adjacent use district, whichever is greater, when abutting district is PLI or residential; otherwise equal to minimum front setback requirement in the district abutting front setback		{1}

TABLE 21.06-4: TABLE OF DIMENSIONAL STANDARDS - OTHER DISTRICTS
(Additional Standards May Apply. See Use-Specific Standards in Chapter 21.05.)

Uses	Minimum lot dimensions		Max lot coverage (%)	Minimum setback requirements (ft)			Maximum height (ft)
	Area (sq ft)	Width (ft)		Front	Side	Rear	
All	6,000	50	45	Front, side, and rear setbacks shall be 25 feet when the abutting district is OL, PR, PLI or residential (including RMX); otherwise, the setbacks shall be equal to the analogous minimum setback in the abutting district.			Unrestricted, except where buildings exceed 35 feet in height adjacent to a residential use or district, the minimum setback requirements shall be increased one foot for each 1.5 feet in height exceeding 35 feet
TA: Turnagain Arm District							
Residential (Bird Creek, Indian Valley, Portage inholdings)	50,000	100	20	25	15	25	35, unless a conditional use permit is obtained for a greater height
Residential (Rainbow Valley inholdings)	216, 300	100	20				
Commercial (without sewers)	50,000	100	25				
Residential (Bird Creek, Indian Valley, Portage inholdings)	50,000	100	20	25	15	25	35, unless a conditional use permit is obtained for a greater height
Residential (Rainbow Valley inholdings)	216, 300		20				
Commercial (without sewers)	50,000		25				
Industrial (without sewers)			25				
Institutional (without sewers)							
W: Watershed District							
All	N/A	N/A	5	N/A	N/A	N/A	50, unless a conditional use permit is obtained for a greater height

NOTES:
 [1]: In the OL and PLI districts, maximum height of structures is unrestricted except as follows: Where buildings exceed 35 feet in height adjacent to a residential use or district, the minimum setback requirements shall be increased one foot for each 1.5 feet in height exceeding 35 feet. This provision shall only apply to the setback adjacent to the residential use district.

1 **21.06.020 MEASUREMENTS AND EXCEPTIONS¹¹**

2 **A. Lot Measurement**

3 **1. Definitions/Measurements¹⁴**

4 **a. Lot Area**

5 The amount of horizontal land area contained inside the lot lines of a
6 lot or site. Public rights of way shall not be included in calculating lot
7 size.

8 **b. Lot Coverage**

9 **A. That percentage of the total lot area covered by buildings, except as provided in**
10 **Section B.2.b below, *Projections into Required Setbacks*.**

11 **a. Lot Width**

12 The distance between straight lines connecting the front and rear lot
13 lines at each side of the lot, measured between the midpoints of such
14 lines, provided that such measurement shall not extend beyond the
15 lot lines of the lot being measured. This standard shall not apply to
16 the flag pole portion of flag-shaped lots. Flag-shaped lot width shall
17 be measured at the midpoint of the lot excluding the flag pole area of
18 the lot. See Figure "Lot Width."¹²

19 **2. General Lot Requirements**

20 **a. Corner Lots with Two Frontages**

21 In the case of corner lots, a front setback of the required depth (the
22 "primary front setback") shall be provided in accordance with the
23 prevailing setback pattern and a second front setback of half the
24 depth required generally for front setbacks in the district (the
25 "secondary front setback") shall be provided on the other frontage.

26 **b. Lot and Site Requirements for R-10 District**

27 **i.** Table 21.06-4 provides the lot and site requirements for the R-10
28 district.

¹⁴ NOTE: For now, we have included definitions of measurements in this chapter to make the chapter easier to read. They perhaps should be moved to Chapter 21.12 in the final complete draft.

¹² NOTE: Draft illustration provided by staff.

**TABLE 21.06-4:
 LOT AND SITE REQUIREMENTS FOR R-40 DISTRICT**

Average Slope of Lot (percent)	Minimum Lot Area (acres)	Minimum Lot Width (feet)	Maximum All Buildings (percent)	Coverage Impervious Surfaces (percent)	Maximum Units Per Acre
More than 30.00	7.50	300	3	8	0.133
25.01-30.00	5.00	300	5	10	0.20
20.01-25.00	2.50	180	8	14	0.40
15.01-20.00	1.25	100	10	20	0.80
15.00 or less	0.50	100	25	40	2.00

Average slope is calculated by the following formula:

$$S = \frac{I * L}{A} * 0.0023$$

Where;

S = Average slope of lot or tract in percent

I = Contour interval (20 feet or less)

L = Sum of length of all contours on lot or tract in feet

A = Area of the lot or tract in acres

- ii. ~~When one third or more of required soils borings reveal bedrock at a depth of less than 16 feet on the lot or tract, lot and site requirements shall be determined as if the average slope were in the next steeper percentage range shown on the table in this paragraph. Any required soil boring that does not extend to a depth of at least 16 feet shall be deemed for the purposes of this subsection to have encountered bedrock.~~¹³

C. Setback and Usable Yard Measurement and Exceptions

1. Definitions/Measurements

a. ~~Build-to-Line~~

~~The line that is the required maximum distance from any lot line at which the front of a building or structure must be located or built, and which is measured as a distance from a public right-of-way.~~

b. ~~Setback~~

~~A required area on the same lot or tract with a principal use that provides for light, air, building separation, and access for emergency personnel and equipment. The depth of setbacks is measured at right angles to the relevant property line. Setbacks shall be determined as illustrated in Figure "Setbacks."~~¹⁴

¹³ NOTE: The last sentence in this subsection is new. Staff notes: "Often the soil borings only go to 12 feet or so. In that case, there isn't enough information to apply the code as originally drafted."

¹⁴ NOTE: Draft illustration provided by staff.

~~c. **Setback, Front**~~

~~A setback that extends across the full frontage of a lot or tract on a public or private street. The front setback is defined by the front property line.~~

~~i. In the case of rounded property corners at street intersections, the front setback is measured as if the corner is not rounded and the front property lines are extrapolated to intersect.~~

~~ii. In the case of corner or through lots, a front setback extends across all frontages.~~

~~iii. For cul-de-sac lots and lots abutting a curved street, the front setback follows the curve of the front property line.~~

~~iv. In the case of flag lots, a front setback extends across the entire flag portion of the lot and includes the flagpole portion of the lot.~~

~~v. In the case of corner, through, and three-sided lots, there will be no rear setbacks, but only front and side setbacks.~~

~~d. **Setback, Rear**~~

~~A setback that extends across the full rear of a lot or tract. The rear setback is defined by the rear property line. Corner lots, through lots, and three-sided lots do not have rear setbacks.~~

~~e. **Setback, Side**~~

~~Any setback that is not a front or rear setback. Generally, side setbacks extend from the inner boundary of the front setback (or from the front property line of the lot or tract where no front setback is required) to the inner boundary of the rear setback (or to the rear property line of the lot or tract where no rear setback is required.) For corner and through lots, setbacks remaining after front setbacks have been established shall be considered side yards.~~

~~f. **Yard, Usable**¹⁵~~

~~i. "Usable yard" includes one or more of the following located on the same lot or tract as the principal structure, for use by the residents thereof for outdoor activities:~~

~~(A) Well-drained open areas covered with lawn grass or other suitable cover material;~~

~~(B) Paved areas such as sidewalks, recreation areas, patios, and the like, that are designed for the specific use and enjoyment of the residents;~~

~~(C) Private balconies or decks;~~

¹⁵ NOTE: In addition to the definition here of "usable yard," it may be appropriate to also include a definition for "private open space." Multifamily and/or mixed-use residential projects could be encouraged to provide a moderate density bonus if they provide private open space for individual dwelling units. This topic will be considered as part of Module 3.

~~(D) — Roofs available for outdoor activity.~~

~~ii. — “Usable yard” does not include perimeter landscaping easements or areas devoted to perimeter landscaping required by this Title, areas within a front setback, wetlands, driveways, refuse storage or collection areas, mechanical, electrical, or utility equipment areas, off-street parking or loading areas, or areas with a slope in excess of 15 percent. Usable yard may include utility easements.~~

~~iii. — Required side and rear setbacks may be used to meet usable yard requirements provided that dimensional standards are met.~~

2.General Requirements for Setbacks and Usable Yards

1. Required Setbacks

~~a. A building, structure, or lot shall not be developed, used, or occupied unless it meets the minimum setback requirements set forth in section 21.06.010 for the zoning district in which it is located, except as otherwise established in this title for particular uses, or unless a variance or minor modification has been granted.~~

b. Setbacks shall be unoccupied and unobstructed by any structure ~~or portion of a structure from 30 inches above grade upward; , except as provided, however, in subsection 2. below, and except~~ that fences, walls, trellises, poles, posts, ornaments, furniture and other customary yard accessories may be permitted in any setback subject to height limitations and requirements limiting obstruction of visibility.

~~i. — A building, structure, or lot shall not be developed, used, or occupied unless it meets the minimum setback requirements set forth in Section 21.06.010 for the zoning district in which it is located, except as otherwise established in this Title for particular uses or unless a variance has been granted.~~

c. ~~A~~ setback or other open space required by this ~~Title~~ shall not be included as part of a setback or other open space required by this ~~Title~~ for another building or structure or lot.

2. Projections into Required Setbacks

~~The following structures may project into required front, side or rear setbacks as specified in this subsection, and shall not be considered in determining lot coverage:~~

~~i. Paved terraces may project into required front, side or rear setbacks, provided that no structures placed there shall violate other requirements of this Title.~~

~~ii. Unroofed landings, decks, and stairs may project into required front and rear setbacks only, provided that no portion other than a light handrail shall extend higher than 30 inches above the finished grade level.~~

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~~iii. Windowsills, fireplace chases, belt courses, cornices, eaves and similar incidental architectural features may project not more than two feet into any required setback.~~

~~iv. A private garage or carport may project into a required rear setback abutting a public alley; however, notwithstanding any other provisions of this subsection, the garage or carport must be included in determining lot coverage.~~

~~v. The Director may allow the installation of temporary handicap access ramps in required front, side and rear setbacks. Ramps shall not remain installed for longer than one year from the date the building or land use permit is granted. The design and placement of the ramps shall be reviewed to insure that:~~

~~(A) The ramp has minimal visual impact on abutting properties; and~~

~~(B) The ramp is architecturally compatible with the structure in design and bulk, and~~

~~(C) The width of the ramp does not exceed 48 inches, and~~

~~(D) That no portion of the ramp, other than a handrail, shall extend higher than 36 inches above the finished grade level, unless approved by a separate building permit.~~

~~vi. Bay windows that are not more than eight feet in width where the projection breaks the plane of the wall, may project no more than two feet into any required yard setback, so long as there is an eight-foot radius offset to any opposing bay window on the adjacent lot. Notwithstanding any other provisions of this Title, bay windows shall not be included in determining lot coverage.~~

~~**b. Usable Yard**~~

~~i. No dimension of a usable yard area required by this chapter shall be less than ten feet, except:~~

~~(A) Private balconies or decks containing no less than one ten-foot dimension.~~

~~(B) Private balconies or decks with dimensions containing no less than one four-foot dimension and containing a minimum of 20 square feet may be counted for up to 50 percent of required usable yard area.¹⁶~~

~~ii. A usable yard shall not include driveways, common walks, refuse storage or collection areas, or off-street parking or loading areas.~~

¹⁶ NOTE: Staff notes: "Staff has yet to resolve minimum balcony / deck dimensions for usable yard in R-3 and R-4, and for mixed-use dwellings in CBD or mixed use districts. If overall usable yard area required is inadequate, and/or balconies account for all of the required open space on a lot, there could be too little light, air and open space, and too much bulk. Alternatively, private usable balcony / deck space for apartment dwellings may have special value and be worth encouraging."

The following structures or features may project into required front, side, or rear setbacks as specified in this subsection:

- a. **Paved Terraces**
Paved terraces may project into any required setback, provided that no structures placed there shall violate other requirements of this title.
- b. **Unroofed Landings, Decks, and Stairs**
Except as provided in subsection c. below, unroofed landings, decks, and stairs may project into required front and rear setbacks only, provided that no portion other than a handrail shall extend higher than 30 inches above the finished grade level.
- c. **Roofs Over Porches and Other Exterior Approaches**
Roofs over porches, stairways, landings, terraces, or other exterior approaches to pedestrian doorways may encroach up to five feet into a front setback, provided that, where such roof projections encroach within the setback, the roof projections shall comprise no more than 50 percent of the total length of a building's front façade. The covered porch or entrance area encroaching into the setback shall remain exterior to the building, and unenclosed or only partly enclosed, as by a railing.
- d. **Incidental Architectural Features**
Windowsills, fireplace chases, belt courses, cornices, eaves and similar incidental architectural features may project up to two feet into any required setback.
- e. **Bay Windows**
Bay windows, measuring no more than eight feet in width where the projection breaks the plane of the wall, may project up to two feet into any required setback, so long as there is a minimum of eight feet between the bay window and any opposing bay window on an adjacent lot.
- f. **Private Garage or Carport**
A private garage or carport may project into a required rear setback abutting an alley.
- g. **Accessory Structures**
As allowed in 21.05.070B.3.b.
- h. **Handicap Access Ramps**
The Director may allow the installation of handicap access ramps in any required setback if they meet the following criteria:¹²
 - i. The ramp is architecturally compatible with the structure in design and bulk; and
 - ii. The width of the ramp does not exceed 48 inches.

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- 3. Construction on Adjoining Lots**
In determining minimum setback requirements, each lot shall be determined individually and minimum setback requirements may not be calculated on the basis of two or more combined lots. In all instances where a building may be constructed immediately adjacent to a lot line, the building may be constructed upon or over such lot line, provided that the portion of the building on each individual lot is otherwise permitted on each lot, and provided further that the building complies with building code requirements.
- 4. Corner Lots with Two or More Frontages¹³**
In the case of corner lots, ~~a front setback of with two or more frontages, the required depth (Director shall determine the "primary front setback requirements subject to the following limitations:~~
- a. ~~At least one front setback") shall be provided in accordance with the prevailing setback pattern and a second having the full depth required generally in the district.~~
 - b. ~~No other front setback of on such lot shall have less than half the depth required generally for front setbacks in the district (the "secondary front setback") shall be provided on the other frontage.~~
- 5. Double-Frontage Lots**
In the case of double-frontage lots, ~~unless the prevailing front setback pattern on adjoining lots indicates otherwise, front setbacks shall be provided on all frontages. Where one of the front setbacks that would normally be required on a through lot is not in keeping with the prevailing setback pattern, the administrative official may waive the requirement for the normal front setback and substitute therefore a special front setback requirement, which shall not exceed the average of the setbacks provided on adjacent lots.~~
- 6. Setback from Planned Utility Transmission Facilities**
- a. No new structural or land development activity requiring a building or land use permit shall be permitted within the minimum area stated in the ~~utility corridor plan~~ Utility Corridor Plan¹⁴ for planned electrical or telecommunication transmission facilities for which there is a projected easement or right-of-way, except as allowed under paragraph ~~ib.~~, below.
 - b. The following uses and activities are permitted, with written acknowledgement of coordination with the affected utilities, within the setbacks described in paragraph ~~ia.~~, above:
 - i. Sidewalks and pathways;
 - ii. Trails and bicycle paths;
 - iii. Bus shelters and bus turnouts;
 - iv. Kiosks and seating units;
 - v. Utilities, utility easements and utility-related structures;

- 1 | vi. Landscaping required by ~~Section~~ 21.07.x-ref 080,
 2 | Landscaping, Screening, and Fences, and consisting of
 3 | ground cover, shrubs and understory trees whose maximum
 4 | height does not exceed 30 feet;
- 5 | vii. ~~Parking—Surface parking~~ required by ~~Section~~
 6 | 21.07.020090, Off-Street Parking and Loading;
- 7 | viii. Temporary parking as described in ~~x-ref existing~~
 8 | ~~Section~~ 21.45.140.D];05.080;
- 9 | ix. Additional parking to that required by this ~~Title~~;
- 10 | x. Open space and usable yards;
- 11 | xi. Fences and signs;
- 12 | xii. Retaining walls;
- 13 | xiii. Remodeling of or addition to structures existing as of
 14 | February 27, 1990, so long as it does not further intrude
 15 | within the setback area after that date; and
- 16 | xiv. Driveways and vehicular access points.
- 17 | c. Applicable setback requirements stated elsewhere in this ~~Title~~
 18 | may include the area of setback for electrical transmission facilities.

19 | **7. Setbacks from Projected Rights-of-Way**

20 | **a. Minimum Setback**

21 | No new structural or land development activity requiring a building or
 22 | land use permit shall be permitted within the minimum setback
 23 | ~~stated set forth in this paragraph~~ the table below from the existing or
 24 | projected centerline of a street designated on the official streets and
 25 | highways plan (OSHP), or within 30 feet from the existing or projected
 26 | centerline of a street, road reservation, or public use easement not so
 27 | designated on the OSHP, but designated in an adopted neighborhood
 28 | or district plan, except as allowed under ~~paragraph i~~ subsection b.,
 29 | below:

TABLE 21.06-35: SETBACKS FROM PROJECTED RIGHTS-OF-WAY <u>CENTERLINE</u>	
Street Class on Official Streets and Highways Plan	Setback from Centerline (feet)
IC, IIA, IIIC	30
IB	35
I, IA, II	40
III, IIIB	50

IIIA, IV	65
V	75

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b. Permitted Uses Within Setback

The following uses and activities are permitted within the setbacks described in paragraph ia., above:

- i. Sidewalks, trails, and pathways;
- ii. Bus shelters and bus turnouts;
- iii. Kiosks, seating units and skywalks;
- iv. Utilities and utility easements;

~~(A) — Landscaping required by [21.07.x ref., Landscaping];~~

- v. Temporary parking, temporary open space and usable yards, temporary fences and signs, or temporary retaining walls, as described in paragraph ivd., below;

~~(A) — Additional parking to that required by this Title;~~

~~(B) — Temporary open space and usable yards as described in paragraph iv., below;~~

~~(C) — Temporary fences and signs as described in paragraph iv., below;~~

- vi. ~~Temporary retaining walls as described in paragraph iv., below~~title;

- vii. Remodeling of or addition to structures existing as of May 19, 1987, so long as such remodeling or addition does not further intrude within the setback area ~~after that date or increase the floor area of the structure within the setback area;~~ and

- viii. Driveways and vehicular access.

c. Additional Setback Requirements

Applicable setback requirements stated elsewhere in this Titlechapter shall be in addition to those stated in this subsection B.2.h., of this Section 21.06.020.A.7.

d. Temporary Features¹⁷¹⁵

As used in this subsection B.2.h.21.06.020.A.7.d., the term "temporary" or "temporarily" means that period of time between the issuance of a building or land use permit and the right of entry

¹⁷ NOTE: This existing section has been broadened, per staff suggestion, to cover more than just temporary parking.

1 conveyed to the Municipality or other government entity for a road
2 project that affects the setback area required by this subsection
3 ~~B.2.h21.06.020.A.7.d~~. Parking, open space and usable yards, fences
4 and signs, and retaining walls required by this ~~Title~~ may be
5 provided temporarily within a setback area described in this
6 subsection ~~B.2.h21.06.020.A.7.d~~. only if the Director and the traffic
7 engineer first find that:

- 8 i. The temporary features to be used on the lot conform to all
9 other applicable requirements of this ~~Title~~;
- 10 ii. An alternate site plan has been submitted with an application
11 for a building or land use permit for permanent required
12 features on the lot, excluding all setback areas thereon, in
13 conformance with all applicable requirements of this ~~Title~~;
14 and
- 15 iii. An agreement between the owner of the lot and the
16 Municipality has been executed and recorded so as to give
17 notice of the temporary requirements to be applied to the lot
18 and of the date or event by which the temporary features
19 shall be abandoned in favor of the permanent configuration
20 stated in the alternate site plan.

21 ~~**e.Cluster Housing Development Setbacks**~~

22 ~~Setback requirements for cluster housing developments shall be as~~
23 ~~specified in [x-ref, existing Section 21.50.210].~~

24 **8. Sight Distance Triangles**

25 **a. Prohibition**

26 No person may place within a sight distance triangle area any
27 structure between 2-½ feet and eight feet above the nearest curb or
28 street centerline grade, whichever is higher, except for:

- 29 i. A public utility pole;
- 30 ii. A tree that is trimmed so that the trunk is bare to a height of
31 eight feet measured from the nearest curb or street centerline
32 grade, whichever is higher; or
- 33 iii. A warning sign or signal installed on the lot by a government
34 agency.

35 **b. Definition**

36 As used in this section, the term “sight distance triangle” refers to the
37 roadway area visible to the driver. The required length is the distance
38 necessary to allow safe vehicular egress from a street, driveway, or
39 alley to a major street. Criteria for required sight distance are given
40 below.

41 **c. Criteria**

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The sight distance triangle is shown in the figure below and described as follows:

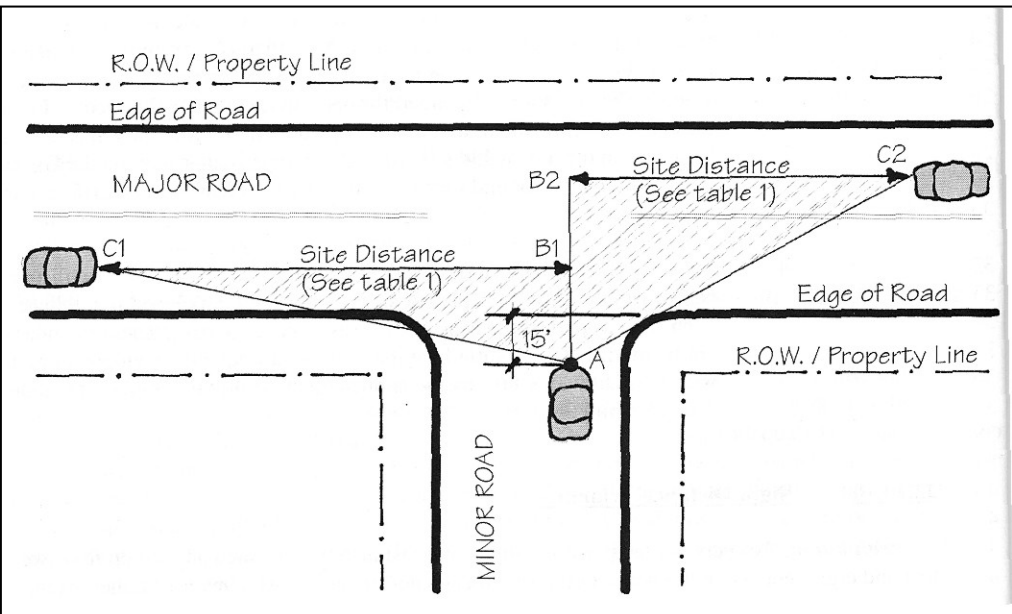
- i. Point A is located on the minor approach 15 feet from the edge of major road travelway;
- ii. Point B1 is located in the center of lane 1;
- iii. Point B2 is located in the center of lane 2;
- iv. Points C1 and C2 are located based on the design speed of the major road and is the distance shown in [table 1](#) [Table 21.0-6-6](#); and

Table 21.06-6: Required Sight Distances in Sight Distance Triangles	
Design Speed (mph)	Sight Distance (ft)
60	650
50	515
40	415
30	310
20	210

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- v. Point A is connected to Points C1 and C2 by a straight line.

~~d. Bulk Regulations and Maximum Lot Coverage for C-2A, C-2B & C-2C Districts⁴⁸~~



⁴⁸ NOTE: This existing material is placed here temporarily. As part of Module 3 we will consider moving this section to the district standards in Chapter 21.04 or to the development standards in Chapter 21.07. We also will coordinate the section on bonus height in CBD districts with this section.

1 Construction of buildings in the C-2A, C-2B and C-2C districts, above
2 three stories in height, shall conform to the following bulk
3 requirements:

4 *i. Building Tower Design*

5 One tower not exceeding the bulk requirements outlined in
6 paragraphs (A) and (B) below, shall be allowed for a
7 development on a parcel of land containing 13,000 square
8 feet or a fraction thereof, or one tower not exceeding the bulk
9 requirements outlined in paragraphs (C) and (D) below, shall
10 be allowed for a development on a parcel of land containing
11 19,500 square feet. For a development on a parcel of land
12 containing more than 19,500 square feet, one additional
13 tower not exceeding the bulk requirements outlined in
14 paragraphs (A) and (B) below, shall be allowed for every
15 additional 13,000 square feet of land area, or, alternatively,
16 one additional tower not exceeding the bulk requirements
17 outlined in paragraphs (C) and (D) below, shall be allowed for
18 every additional 19,500 square feet of land area.

19 (A) Maximum plan dimension: 130 feet.

20 (B) Maximum diagonal plan dimension: 150 feet.

21 (C) Maximum plan dimension: 130 feet.

22 (D) Maximum diagonal plan dimension: 180 feet.

23 Variances from the specific bulk requirement dimensions
24 listed in this subsection may be granted by the Planning and
25 Zoning Commission on developments covering a land area of
26 more than 26,000 square feet, provided that the Commission
27 finds that the spirit and intent of the central business districts
28 are maintained.

29 *ii. Alternative Structure Designs*

30 Alternative building designs may be submitted in the form of a
31 project development plan to the Director for approval.
32 Alternative design forms may be approved that provide for at
33 least 15 percent more access either to scenic views of
34 adjoining mountains and the Cook Inlet or for solar access¹⁹
35 as compared to designs allowed under paragraph k.i., above,
36 *Building Tower Design*. The percentage amount of additional
37 scenic or solar access shall be based on total building volume
38 of the alternative design compared to a representative tower
39 design. Site development plans submitted under this
40 subsection must include a schematic of a project designed
41 under paragraph 2.a.i. of this subsection, *Tower Design*, a
42 site development plan of the design utilizing the provisions of
43 this paragraph and calculations to establish the increased
44 scenic or solar access required in this paragraph. Designs

¹⁹ NOTE: Staff notes that recent projects under this section have had plazas, but have not increased solar access or scenic views.

1 using the provisions of this paragraph are allowed an
2 additional one story of base height prior to the utilization of
3 the bonus point requirements of Section 21.06.[x-ref] **Height**
4 **Exceptions for C-2A, C-2B, and C-2C Districts.**

5 **iii.Existing Structures**

6 Notwithstanding the bulk regulations and maximum lot
7 coverage limitations contained in Table 21.06-3, *Table of*
8 *Dimensional Standards—Commercial and Industrial*, and the
9 requirements of this subsection B.2.a., where a lawful
10 structure existed on September 9, 1974, that is pre-stressed
11 for enlargement by the addition of one or more stories, such
12 structure may be enlarged within the full plan dimensions of
13 the existing structure by the addition of not more than two
14 stories.

15 **D. Height Measurement and Exceptions**

16 **1.Definitions**

17 **a.Building, Height**

18 The vertical distance above a reference datum measured to the
19 highest point of the coping of a flat roof or to the deck line of a
20 mansard roof, or to the average height of the highest gable of a
21 pitched or hipped roof as illustrated in Figures "Case 1," "Case 2," and
22 "Roof Forms."²⁰

23 **b.Grade (Adjacent Ground Elevation)**

24 The lowest point of elevation of the finished surface of the ground,
25 paving, or sidewalk within the area between the building and the
26 property line, or, when the property line is more than five feet from the
27 building, between the building and a line five feet from the building.

28 **B. Usable Yard**

- 29 1. Usable yard shall be provided per dwelling unit in accordance with Tables
30 21.06-1 through 21.06-4.
- 31 2. No dimension of a usable yard required by this chapter shall be less than ten
32 feet; except, however, private balconies or decks containing no less than one
33 four-foot dimension and containing a minimum of 20 square feet may be
34 counted for up to 50 percent of required usable yard area in the R-3, R-4, and
35 RMX districts, and up to 100 percent of required usable yard area in the
36 NMU-1, NMU-2, CCMU, RCMU, MMU, and CBD districts.¹⁶
- 37 3. Usable yard area may include required side and rear setbacks and utility
38 easements, but may not include front setbacks, refuse storage or collection
39 areas, wetlands, or areas with slopes in excess of 15 percent.
- 40 4. Up to 30 percent of the required usable yard area may be collocated with
41 required landscaping.

²⁰ NOTE: Draft illustrations provided by staff.

1 **C. Lot Coverage and Floor Area Ratio (FAR)¹⁷**

2 **1. Lot Coverage Requirement Generally**

3 No building, structure, or lot shall be developed, used, or occupied unless it
4 meets the lot coverage and FAR requirements set forth in section 21.06.010
5 for the zoning district in which it is located.

6 **2. Structures Not Considered in Measuring Lot Coverage**

7 Unless otherwise provided in this title, all structures shall be considered in
8 determining lot coverage except for the following:

9 a. Structures less than 30 inches above the finished grade level (such
10 as paved terraces or ground-level decks);

11 b. Windowsills, bay windows, fireplace chases, belt courses, cornices,
12 eaves, and similar incidental architectural features;

13 c. Handicap ramps that comply with section 21.06.020.A.2.g., *Handicap*
14 *Access Ramps*, above;

15 d. Fences, trellises, poles, posts, ornaments, lawn furniture, and similar
16 and customary yard accessories; and

17 e. Hot tubs.

18 **3. Structures Not Considered in Measuring Floor Area Ratio (FAR)**

19 Unless otherwise provided in this title, all gross floor area shall be considered
20 in determining FAR except for the following:

21 a. Uninhabitable attics; and

22 b. Usable open space areas.

23 **D. Density**

24 **1. Measurement of Residential Density¹⁸**

25 Residential density is determined by dividing the gross parcel size by the
26 minimum lot size of the zoning district where the parcel is located, and then
27 rounding down to the whole number. This operation yields a certain number
28 of units per acre with no decimals.

29 **E. Height**

30 **1. Rules for Measuring Height**

31 Building height shall be measured as shown in the illustrations at the end of
32 the chapter.

33 **2. Reference Datum**

34 The reference datum for determination of building height shall be selected by
35 either of the following, whichever yields a greater height of building:

36 a. The elevation of the highest adjoining sidewalk or ground surface
37 within a five-foot horizontal distance from the exterior wall of the

1 building, when such sidewalk or ground surface is not more than ten
2 feet above lowest grade, within a five-foot horizontal distance from
3 the exterior wall of the building.

4 ~~i.~~An elevation ten feet higher than the lowest grade when the sidewalk or
5 ground described in the ~~paragraph subsection a.~~, above, is more
6 than ten feet above the lowest grade.

7 b. ~~The height of a stepped or terrace building is the maximum height of~~
8 ~~any segment of that building.~~

9 **3. Height Exceptions**

10 **~~a. Appurtenances~~**

11 Except as specifically provided elsewhere in this ~~Title~~title, the height
12 limitations contained in this ~~Title~~chapter do not apply to spires, belfries,
13 cupolas, flagpoles, chimneys, antennas, heating and ventilation equipment,
14 elevator housings, stairwell towers, solar reflectors, or similar appurtenances;
15 provided, however, the following:

16 a. The appurtenance ~~—~~does not interfere with Federal Aviation
17 Regulations, Part 77, Objects Affecting Navigable Airspace;

18 b. The appurtenance does not extend more than 25 feet above the
19 maximum permitted building height, except for flagpoles,
20 ~~church~~religious assembly belfries, ~~steeple~~s, and antennas that must
21 be of greater height in order to function;

22 c. The appurtenance is not constructed for the purpose of providing
23 additional floor area in the building; and

24 d. The appurtenance complies with the screening requirements for
25 mechanical equipment and appurtenances in 21.07. ~~[x-ref]~~080G.,
26 *Screening*.

27 **4. ~~Additional Height Limitations in Airport Height Overlay District~~**

28 ~~Notwithstanding the Special~~ height limitations ~~specified, set forth~~ in
29 ~~Section~~section 21.06.010, *Dimensional Standards Tables, 04.070.C.*, apply to
30 all development within the Airport Height Overlay District ~~shall comply with the~~
31 ~~following height limitations, in addition to all applicable height limitations set~~
32 ~~forth in Chapter 21.06.~~

33 ~~i. — No structure shall be constructed or maintained so that it~~
34 ~~exceeds the greater of:~~

35 ~~(A) — Thirty five feet above ground elevation; or~~

36 ~~(B) — The maximum height permitted under FAR part 77,~~
37 ~~subpart C, as depicted on any airport height zone map~~
38 ~~adopted under Section 21.04.070.C., *Airport Height*~~
39 ~~*Overlay District*.~~

40 ~~ii. — Any structure within three nautical miles of an airport reference~~
41 ~~point established by federal regulation, the height of which~~

1 exceeds the level of that reference point by more than 200 feet,
2 shall present to the Department of Public Works the results of an
3 airspace determination conducted by the Federal Aviation
4 Administration pursuant to its regulations.

5 ~~iii.~~ The height restrictions of this district do not apply to buildings for
6 which building or land use permits were issued prior to June 17,
7 1986.

8 ~~iv.~~ Natural vegetation shall not be affected by the height limitation of
9 this Section.

10 ~~b.~~ **Height Exceptions for C-2A, C-2B, and C-2C Districts**
11 ~~[RESERVED]²¹~~

12 ~~c.~~ **Conditional Height Incentives**
13 ~~[RESERVED]²²~~

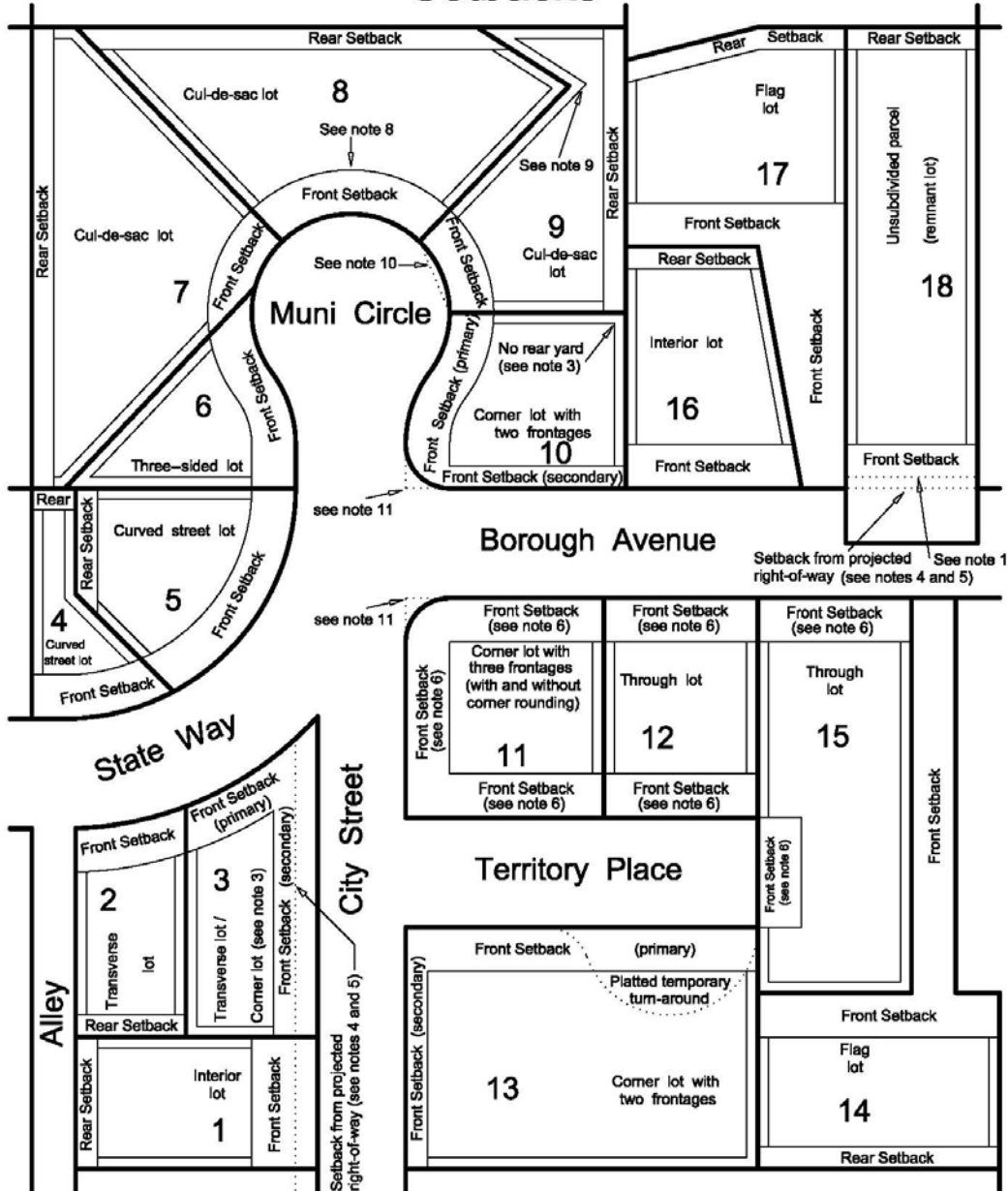
14 **~~E.~~ Measurement of Distances For Separation of Land Uses**

15 ~~Except where stated otherwise, whenever this Title requires measurement of distance between~~
16 ~~use types, development sites, lots, such measurement shall be made from the nearest property~~
17 ~~line of the first reference point to the property line of the second reference point.~~

²¹ NOTE: The existing bonus system will be reviewed, discussed, perhaps revised, and incorporated into the new draft Title during Module 3.

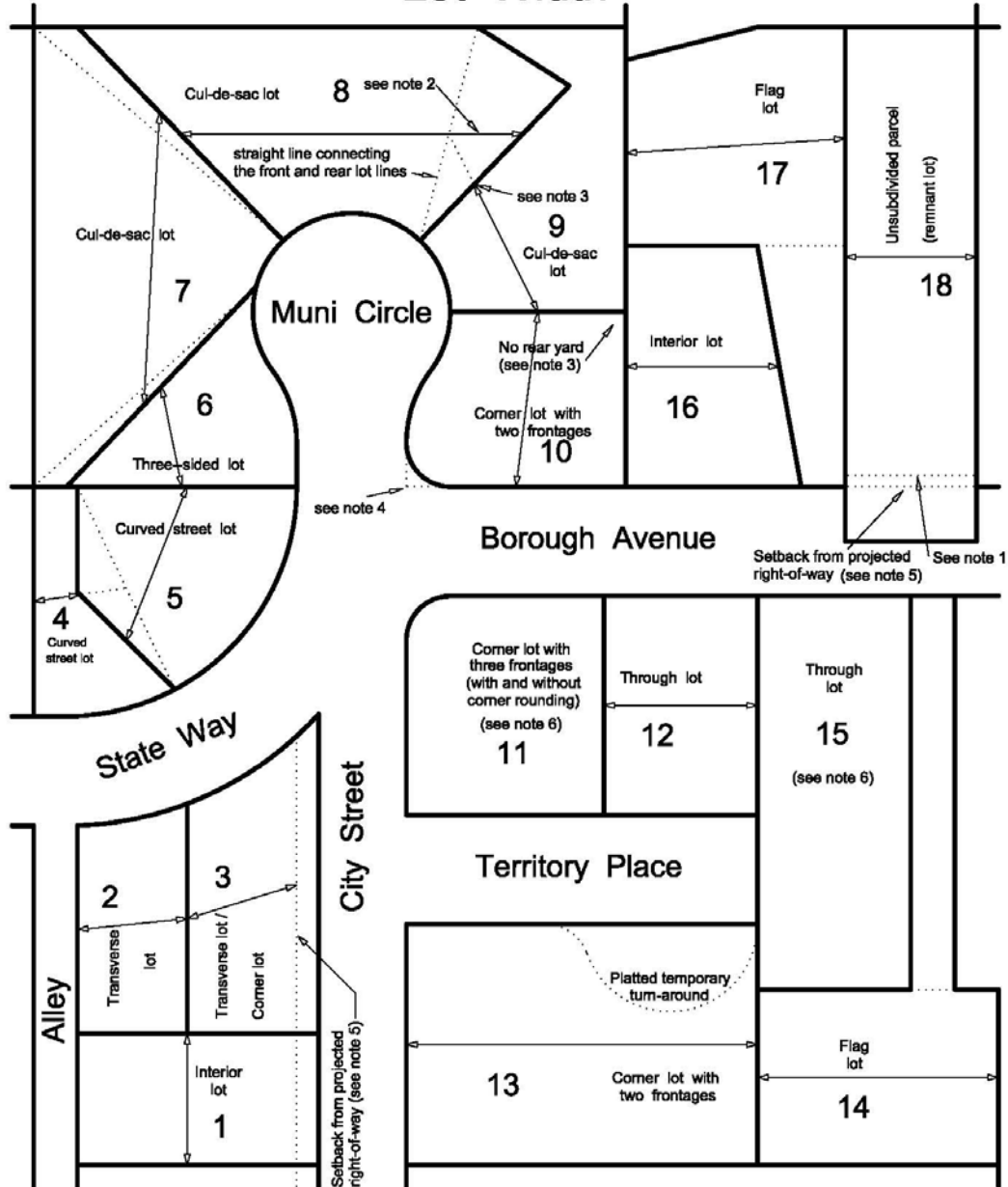
²² NOTE: This is an additional topic to be discussed in Module 3. Staff notes: "Discuss allowing some additional height in certain conditions: Landmark features and buildings on corner lots (e.g., clocktowers, an extra storey for buildings at intersections; sloping rooftops in R-2, R-3, NMU or CMU that shelter usable floor space under a roof of at least 1:2 slope. Sloping roofs create residential ambiance and allow more density with less bulk or solar shadowing. Additional height of an additional storey for nonresidential if the building is a certain distance from residential zone; does not have a long (70 ft +) building frontage along the street; does not block scenic views to Chugach / Inlet; avoids solar shadow impacts."

Setbacks

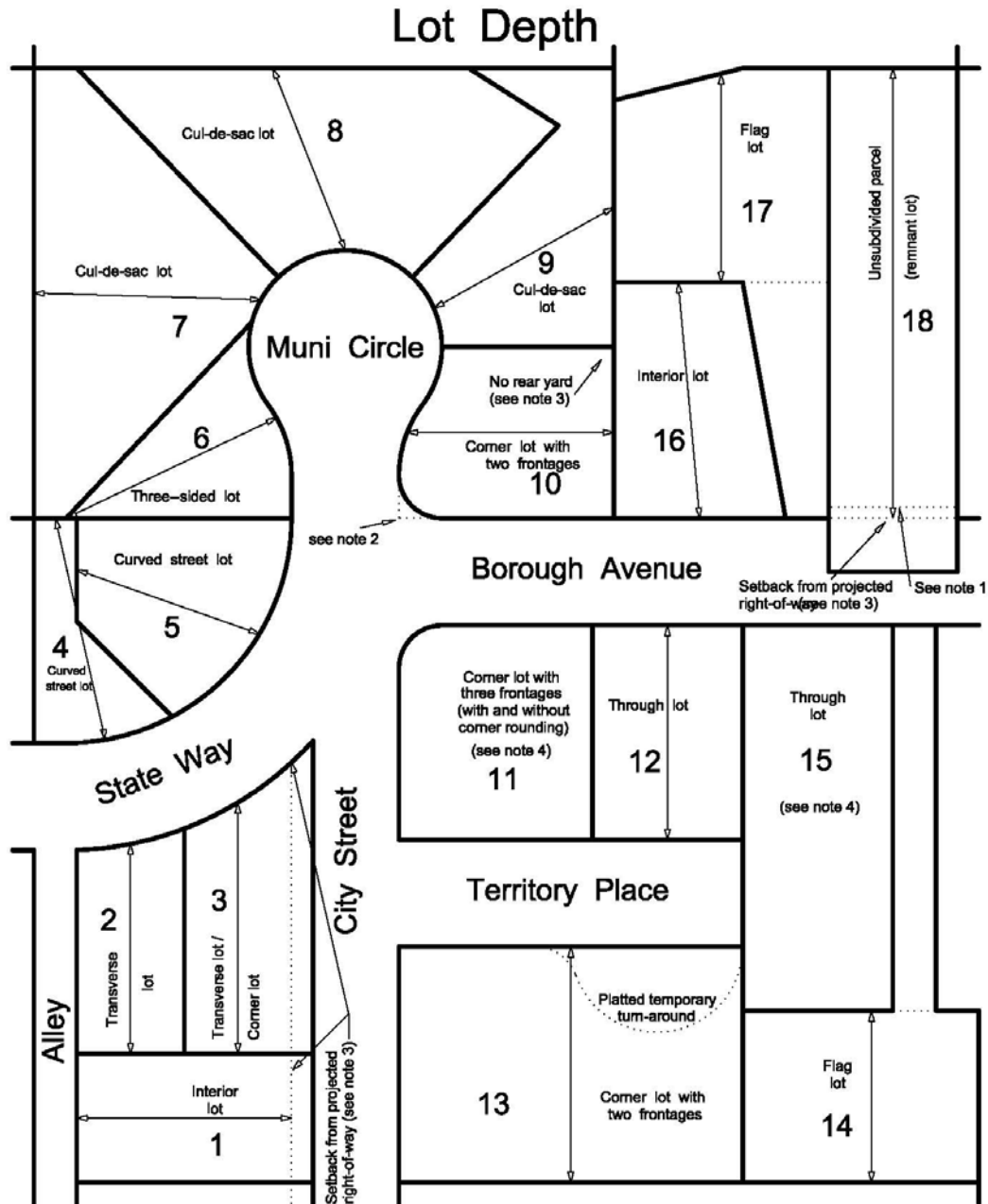


1. Section line easement, BLM road reservation, road or public use easement.
2. All setbacks not called out in the illustration are side setbacks.
3. In the case of corner, through, and three-sided lots, there are no rear setbacks, but only front and side setbacks.
4. The area between the property line and the setback from projected right-of-way is subject to the same regulations as a front setback.
5. The front setback is measured from the setback from projected right-of-way.
6. The Director shall determine the depth of the front setbacks. Until such determination, full-depth setbacks apply on all frontages.
7. Primary and secondary front setbacks are determined by the Director, in accordance with the prevailing setback pattern.
8. The setback follows the curve of the lot line.
9. Side setbacks are extended to intersect.
10. The rear property line is the line (or lines intersecting at an interior angle of not less than 135 degrees) most parallel to the chord of the front property line.
11. Front property lines intersect by extrapolation.

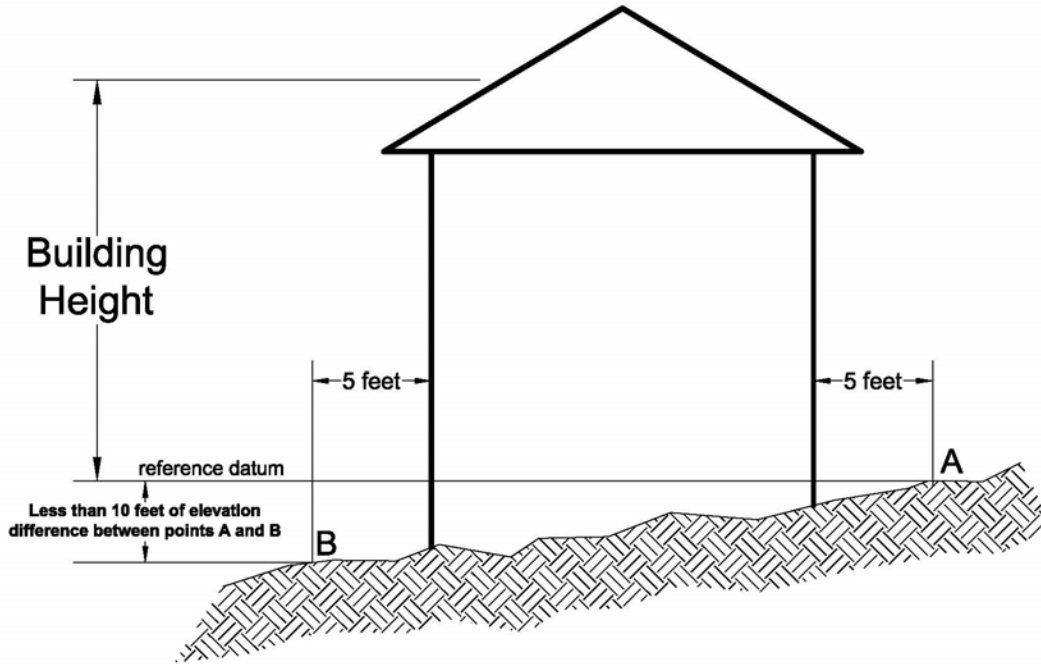
Lot Width



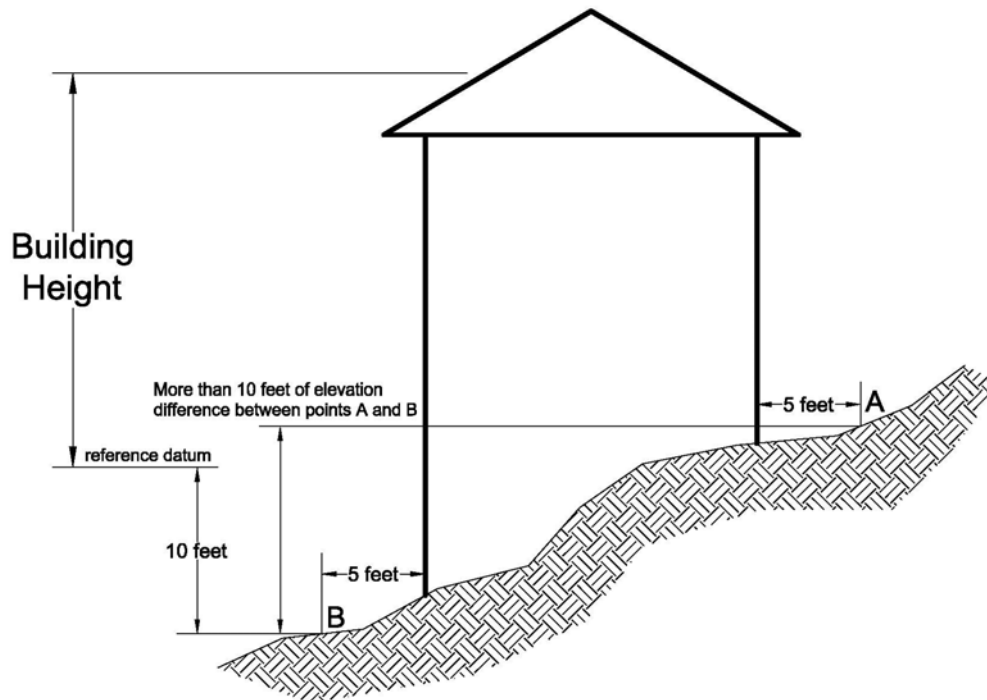
1. Section line easement, BLM road reservation, road or public use easement.
2. "such measurement shall extend to the side property lines"
3. "such measurement shall not extend beyond the property lines of the lot being measured"
4. Front property lines intersect by extrapolation.
5. The setback from projected right-of-way is considered the front property line for computing lot width.
6. When the definitions do not unambiguously identify the lot width, the Director shall determine the lot width.



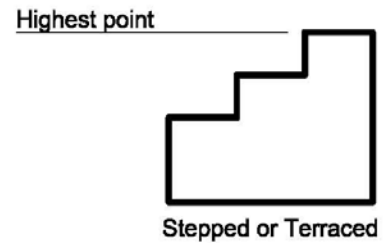
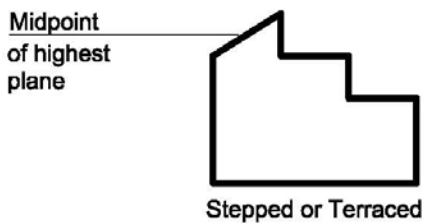
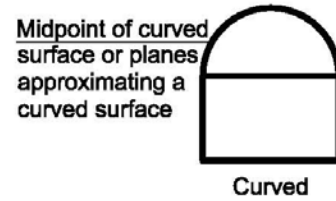
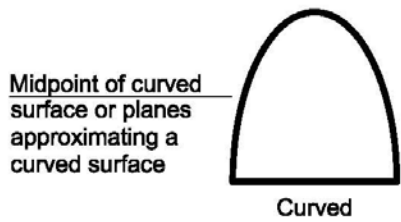
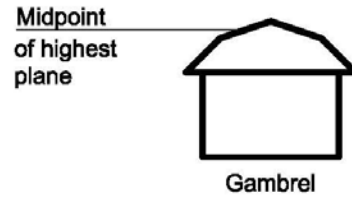
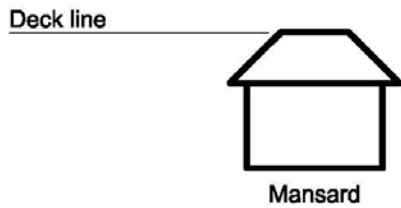
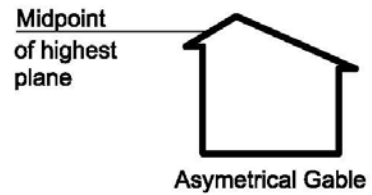
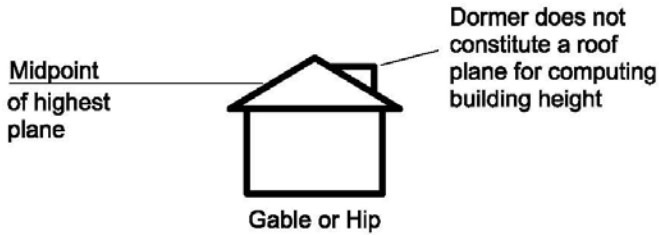
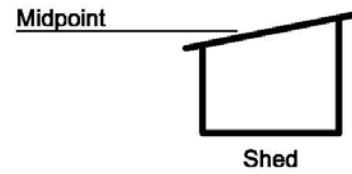
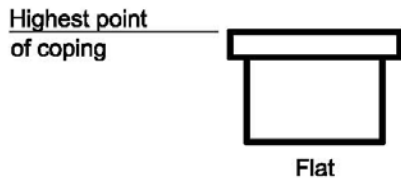
1. Section line easement, BLM road reservation, road or public use easement.
2. Front property lines intersect by extrapolation.
3. The setback from projected right-of-way is considered a property line for computing lot depth.
4. When the definitions do not unambiguously identify the lot depth, the Director shall determine the lot depth.
5. The setback from projected right-of-way is XXXXXXXXXXXXXXXXXXXX for computing lot depth.



Case 1



Case 2



¹ 2005 NOTE: A number of changes are suggested in these tables in the 2005 draft in response to numerous comments. Only the most significant changes are noted.

² NOTE: This new district is a proposed consolidation of the existing R-1 and R-1A districts. The only distinction between the two districts in the current code is that R-1A has a larger minimum lot size (8,400 square feet, versus 6,000), and a larger minimum lot width requirement (70 feet, versus 50 feet). Further discussion needed about the appropriate lot size and width in this district. For discussion purposes, this draft proposes using the lower minimum requirements to avoid making existing properties nonconforming.

³ 2005 NOTE: Lot coverages changed in this district to be more consistent with other districts, per staff suggestion. OLD NOTE: This is a new district composed of the existing R-2A and R-2D district. Again, the minimum lot dimensions of these two districts are different. This draft proposes the less restrictive R-2D dimensions for discussion purposes.

⁴ NOTE: These are lower suggested lot dimensional requirements to encourage development of these uses. There are design issues to consider for single-family attached and townhouse dwellings, as part of Module 3. Specifically, staff has requested that townhouses and single-family attached dwellings in both R-3 and R-4 that are permitted on narrow lots should only have driveway access from rear alleys. Otherwise, the front facades of these units could be made up almost entirely with pavement / garage doors. Another issue is bulk, and staff has requested a limit (e.g., 5-6 units) of how many of these units can be attached in a row, or other methods to mitigate townhouse bulk.

⁵ NOTE: This new district is a consolidation of the existing R-3 and R-4 districts. Given that this new district is intended to provide medium to high density, we recommend using the less restrictive standards of the existing R-4 district. There is a proposed new height limit of 50 feet for multi-family dwellings.

⁶ NOTE: This is a suggested increase from the existing requirement of 100 square feet per dwelling unit.

⁷ NOTE: This is a proposed requirement, lower than the existing requirement of 108,900 sq ft. Staff is proposing to lower the lot size and also to exclude the current provision which allows a portion of the abutting street ROW to be used toward the calculation of minimum lot area.

⁸ 2005 NOTE: Existing R-7 district. New in this 2005 draft.

⁹ 2005 NOTE: New lot sizes proposed by staff for this district in this draft.

¹⁰ 2005 NOTE: As indicated in chapter 21.04, the airport and state personnel object to the AD district as currently proposed. Additional discussions are scheduled between municipal and state/airport officials.

¹¹ 2005 NOTE: This section has been significantly simplified and revised based on numerous comments. Many sections have been rewritten. All the district-specific material (e.g., height requirements in the airport overlay) has been moved to the districts chapter (21.04).

¹² 2005 NOTE: The requirement that the ramp be temporary has been removed.

¹³ 2005 NOTE: This reworked provision provides more flexibility than the previous draft for corner lots.

¹⁴ 2005 NOTE: This note was received from Chugach Electric regarding this provision: "We note that the draft contains language about the Utility Corridor Plan and we urge continued preservation of the Utility Corridor Plan routes as well as the language provisions that ensure our ability to protect the setbacks associated with the routes."

¹⁵ NOTE: This existing section has been broadened, per staff suggestion, to cover more than just temporary parking.

¹⁶ 2005 NOTE: New provision drafted by staff.

¹⁷ 2005 NOTE: New provision in this draft, based on scattered similar provisions in the prior draft.

¹⁸ 2005 NOTE: Relocated into this chapter from the definitions chapter in the prior draft.