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CHAPTER 21.06: DIMENSIONAL STANDARDS AND MEASUREMENTS

21.06.010 PURPOSE

A. Purpose

Specific purposes of this chapter include:

1. Preserving light and air, and avoiding congestion in residential zoning districts;
2. Promoting fire protection through appropriate separation of structures;
3. Ensuring setbacks which promote a reasonable relationship between residences and a consistent residential streetscape;
4. Promoting streetscapes that are consistent with the intended character of different commercial and mixed-use zones;
5. Promoting buildings close to the sidewalk in mixed-use districts, to reinforce a pedestrian oriented streetscape;
6. Controlling the overall building bulk and lot coverage to help define the character of different zones;
7. Promoting a reasonable building scale that is consistent with the function of local commercial areas and the character of surrounding neighborhoods; and
8. Promoting the efficient use of service capacity in areas with the highest levels of public services and intended development.

B. Applicability

This chapter applies to all development within the municipality.

21.06.020 DIMENSIONAL STANDARDS TABLES

- A. This section contains tables that list the requirements for lot dimensions and building bulk, density, location, and height for all types of development. All primary and accessory structures are subject to the dimensional standards set forth in the following tables. Bracketed numbers refer to notes at the bottom of each table. General rules for measurement and exceptions are set forth in section 21.06.030.
- B. These general standards may be further limited or modified by other applicable sections of this title. In particular, some uses have use-specific standards in chapter 21.05 that impose stricter requirements than set forth in these tables.

A. Table of Dimensional Standards: Residential Districts

TABLE 21:06-1: TABLE OF DIMENSIONAL STANDARDS - RESIDENTIAL DISTRICTS (Additional standards may apply. See district-specific standards in chapter 21.04 and use-specific standards in chapter 21.05.)								
Use	Minimum lot dimensions ¹		Max lot coverage (%)	Minimum Setback Requirements (ft)			Max number of principal structures per lot or tract ²	Maximum height of structures (ft)
	Area (sq ft)	Width (ft)		Front	Side	Rear		
R-1: Single-Family Residential District								
Residential uses	6,000	50	30	20	5	10	1	Principal: 30 Accessory garages/carports: 20 Other accessory: 12
All other uses	6,000	50	30	20	5	10	N/A	
R-1A: Single-Family Residential District (larger lot)								
Residential uses	8,400	70	30	20	5	10	1	Principal: 30 Accessory garages/carports: 20 Other accessory: 12
All other uses	8,400	70	30	20	5	10	N/A	
R-2A: Two-Family Residential District (larger lot)								
Dwelling, single-family detached	7,200	60	40	20	5	10	1	Principal: 30, not to exceed two and one-half stories Accessory garages/carports: 25 Other accessory: 12
Dwelling, two-family	8,400	70	40	20	5	10	1	
Dwelling, single-family attached	3,500	35 (40 on corner lots)	40	20	N/A on common lot line; otherwise 5	10	1	
All other uses	7,200	60	40	20	5	10	N/A	
R-2D: Two-Family Residential District								
Dwelling, single-family detached	6,000	50	40	20	5	10	1	Principal: 30, not to exceed two and one-half stories Accessory garages/carports: 25 Other accessory: 12
Dwelling, two-family	6,000	50	40	20	5	10	1	
Dwelling, single-family attached	3,500	35 (40 on corner lots)	40	20	N/A on common lot line; otherwise 5	10	1	
All other uses	6,000	50	40	20	5	10	N/A	

TABLE 21:06-1: TABLE OF DIMENSIONAL STANDARDS - RESIDENTIAL DISTRICTS (Additional standards may apply. See district-specific standards in chapter 21.04 and use-specific standards in chapter 21.05.)								
Use	Minimum lot dimensions ¹		Max lot coverage (%)	Minimum Setback Requirements (ft)			Max number of principal structures per lot or tract ²	Maximum height of structures (ft)
	Area (sq ft)	Width (ft)		Front	Side	Rear		
R-2F: Mixed Residential District 1								
Dwelling, single-family detached	6,000 min. 12,000 max.	50	40	20	5	10	1	Principal: 30, not to exceed two and one-half stories Accessory garages/carports: 25 Other accessory: 12
Dwelling, two-family	6,000	50	40	20	5	10	1	
Dwelling, single-family attached	3,000	35 (40 on corner lots)	40	20	N/A on common lot line; otherwise 5	10	1	
Dwelling, townhouse	2,400	24 (30 on corner lots)	60	20		10	1	
Dwelling, multiple-family (up to 4 units permitted)	8,500 for 3 units; 11,000 for 4 units	50	40	20	10	10	1	
All other uses	6,000	50	40	20	5	10	N/A	
R-2M: Mixed Residential District 2								
Dwelling, single-family detached	6,000 min. 12,000 max.	50	40	20	5	10	1	Principal: 30, not to exceed two and one-half stories Accessory garages/carports: 25 Other accessory: 12
Dwelling, two-family	6,000	50	40	20	5	10	1	
Dwelling, single-family attached	3,000	35 (40 on corner lots)	40	20	N/A on common lot line; otherwise 5	10	1	
Dwelling, townhouse	2,400	24 (30 on corner lots)	60	20		10	1	
Dwelling, multiple-family (up to 8 units permitted per building)	8,500 + 2,300 for every unit over 3	50	40	20	10	10	More than one principal structure may be allowed on any lot or tract by administrative site plan review; no portion of any structure may be closer than 10	

TABLE 21:06-1: TABLE OF DIMENSIONAL STANDARDS - RESIDENTIAL DISTRICTS (Additional standards may apply. See district-specific standards in chapter 21.04 and use-specific standards in chapter 21.05.)								
Use	Minimum lot dimensions ¹		Max lot coverage (%)	Minimum Setback Requirements (ft)			Max number of principal structures per lot or tract ²	Maximum height of structures (ft)
	Area (sq ft)	Width (ft)		Front	Side	Rear		
Dwelling, multiple-family, with single- or two-family style construction of multiple buildings on a lot	3,000 per unit	50	40	20	10	10	feet to any portion of any other structure	
All other uses	6,000	50	40	20	5	10		
R-3: Multifamily Residential District 1								
Dwelling, townhouse	2,000	20 (30 on corner lots)	60	20	N/A on common lot line; otherwise 5	10	1	35
Dwelling, two-family	6,000	50	40	20	5	10	1	
Dwelling, multi-family	6,000 +1,000 for every unit over 4 units	50	40	20	10	20	More than one principal structure may be allowed on any lot or tract; no portion of any structure may be closer than 10 feet to any portion of any other structure.	
All other uses	6,000	50	40	20	10	20		
R-4: Multifamily Residential District 2								
Dwelling, townhouse	2,000	20 (30 on corner lots)	60	10	N/A on common lot line; otherwise 5	10	More than one principal structure may be allowed on any lot or tract; no portion of any structure may be closer than 10 feet to any portion of any other structure.	35
Dwelling, multi-family	6,000	50	50		5 plus one foot for each five feet in height exceeding 35 feet	10		45 ³
All other uses	6,000	50	50		10	10		45

TABLE 21:06-1: TABLE OF DIMENSIONAL STANDARDS - RESIDENTIAL DISTRICTS (Additional standards may apply. See district-specific standards in chapter 21.04 and use-specific standards in chapter 21.05.)								
Use	Minimum lot dimensions ¹		Max lot coverage (%)	Minimum Setback Requirements (ft)			Max number of principal structures per lot or tract ²	Maximum height of structures (ft)
	Area (sq ft)	Width (ft)		Front	Side	Rear		
R-4A: Multifamily Residential Mixed-Use District								
Dwelling, townhouse	2,000	20 (30 on corner lots)	60	Min: 10 ft. Max: 20 ft. A minimum of 50% of the front building elevation shall be within the maximum front setback (see 21.06.030A.5.)	N/A on common lot line; otherwise 5	15' if adjacent to a residential district (except R-4 or R-4A); otherwise 10'	More than one principal structure may be allowed on any lot or tract; no portion of any structure may be closer than 10 feet to any portion of any other structure.	35
Dwelling, mixed-use	6,000	50	65		10' if adjacent to a residential district (except for R-4 or R-4A); otherwise 5'			45 ⁴
Dwelling, multi-family	6,000	50	65					
All other uses	6,000	50	65					
R-5: Low-Density Residential District								
Dwelling, single-family, or one mobile home	7,000	50	30	20	5	10	1	Principal: 30 Accessory garages/carports: 25 Other accessory: 12
Dwelling, two-family	13,000	100	30	20	5	10	1	
All other uses	7,000	50	30	20	5	10	N/A	
R-6: Low-Density Residential District (1 acre)								
Dwelling, single-family	43,560	150	30	50	25	50	1	Principal: 35 Accessory garages/carports: 30 Other accessory: 25
Dwelling, two-family	87,120	200	30	50	25	50	1	
All other uses	43,560	150	30	50	25	50	N/A	

TABLE 21:06-1: TABLE OF DIMENSIONAL STANDARDS - RESIDENTIAL DISTRICTS (Additional standards may apply. See district-specific standards in chapter 21.04 and use-specific standards in chapter 21.05.)								
Use	Minimum lot dimensions ¹		Max lot coverage (%)	Minimum Setback Requirements (ft)			Max number of principal structures per lot or tract ²	Maximum height of structures (ft)
	Area (sq ft)	Width (ft)		Front	Side	Rear		
R-7: Single-Family Residential District (20K)								
Dwelling, single-family	20,000	120	30	25	10	20	1	Principal: 35 Accessory garages/carports: 30 Other accessory: 25
Dwelling, two-family	40,000	120	30	25	10	20	1	
All other uses	20,000	120	30	25	10	20	N/A	
R-8: Low-Density Residential District (4 acres)								
Dwelling, single-family	174,240	300	5	25	15	25	1	Principal: 35 Accessory garages/carports: 30 Other accessory: 25
Dwelling, two-family	261,360	300	5	25	15	25	1	
All other uses	174,240	300	5	25	15	25	N/A	
R-9: Low-Density Residential District (2 acres)								
Dwelling, single-family	87,120	180	5	25	15	25	1	Principal: 35 Accessory garages/carports: 30 Other accessory: 25
Dwelling, two-family	130,680	180	5	25	15	25	1	
All other uses	87,120	180	5	25	15	25	N/A	

TABLE 21:06-1: TABLE OF DIMENSIONAL STANDARDS - RESIDENTIAL DISTRICTS <i>(Additional standards may apply. See district-specific standards in chapter 21.04 and use-specific standards in chapter 21.05.)</i>								
Use	Minimum lot dimensions ¹		Max lot coverage (%)	Minimum Setback Requirements (ft)			Max number of principal structures per lot or tract ²	Maximum height of structures (ft)
	Area (sq ft)	Width (ft)		Front	Side	Rear		
R-10: Low-Density Residential Alpine/Slope District								
All uses	(See section 21.04.020P.2.)		10	25 feet; 50 feet if average slope exceeds 30 percent	10	1	Principal: 30 Accessory garages/carports: 25 Other accessory: 18	
¹ For other lot dimensional standards, see section 21.08.030K. ² For those residential uses where only one principal structure is allowed on a lot, no additional nonresidential principal structures are allowed. ³ See subsection 21.04.020I.2.d. for information regarding possible height increases. ⁴ See subsection 21.04.020J.2.d. for information regarding possible height increases.								

B. Table of Dimensional Standards: Commercial and Industrial Districts

TABLE 21:06-2: TABLE OF DIMENSIONAL STANDARDS - COMMERCIAL AND INDUSTRIAL DISTRICTS (Additional Standards May Apply. See district specific standards in chapter 21.04 and use-specific standards in chapter 21.05.)							
Use	Minimum lot dimensions ⁶			Minimum setback requirement (ft)			Maximum height (ft)
	Area (sq ft)	Width (ft)	Max lot coverage (%)	Front	Side	Rear	
B-1A: Local and Neighborhood Business							
All uses	6,000	50	50	10	10 if adjacent to a residential district; otherwise 0 or at least 5	15 if abutting a residential district; otherwise 10	30
B-3: General Business							
All uses	6,000	50	Unrestricted	10	15 if adjacent to a residential district; otherwise 0 or at least 10	15 if adjacent to a residential district; otherwise 0 or at least 5	45
DT-1, DT-2, and DT-3: Downtown Districts (to be determined through Downtown Plan process)							
RO: Residential Office District							
All uses	6,000	50	50	10	10 if adjacent to a residential district; otherwise 5	15 if adjacent to a residential district, otherwise 10	45, not to exceed three stories of nonresidential use
MC: Marine Commercial District							
All uses	6,000	50	N/A	10	0 or at least 5	0 or at least 5	90 feet above mean sea level
I-1: Light Industrial District							
All uses	6,000	50	N/A	10	20 if adjacent to a residential district; otherwise 0 or at least 5		50 ⁷
I-2: Heavy Industrial District							
All uses	6,000	50	N/A	10	40 if adjacent to a residential district; otherwise 0 or at least 5		none

TABLE 21:06-2: TABLE OF DIMENSIONAL STANDARDS - COMMERCIAL AND INDUSTRIAL DISTRICTS
(Additional Standards May Apply. See district specific standards in chapter 21.04 and use-specific standards in chapter 21.05.)

Use	Minimum lot dimensions ⁶			Minimum setback requirement (ft)			Maximum height (ft)
	Area (sq ft)	Width (ft)	Max lot coverage (%)	Front	Side	Rear	
MI: Marine Industrial							
All uses	6,000	50	N/A	10	0 or at least 5		Within 50 feet of a residential district, no portion of any structure shall exceed the height limit of that district; otherwise none

⁶ For other lot dimensional standards, see section 21.08.030K.

⁷ Non-building industrial structures and industrial appurtenances are exempt from the maximum allowed height.

C. Table of Dimensional Standards: Mixed-Use Districts

TABLE 21:06-3: TABLE OF DIMENSIONAL STANDARDS - MIXED-USE DISTRICTS (Additional Standards May Apply. See district-specific standards in chapter 21.04 and use-specific standards in chapter 21.05.)							
Uses	Minimum lot dimensions		Setbacks			Max height (ft)	Max floor area ratio (FAR) ⁹
	Area (sq ft)	Width (ft)	Front	Side	Rear		
NMU: Neighborhood Mixed-Use District							
Dwelling, townhouse	2,000	20 (30 on corner lots)	Min: 10 ft. Max: 20 ft.	N/A on common lot line; otherwise 5	15 adjacent to a residential district (except R-4 or R-4A); otherwise 10	35	N/A
All other uses	6,000	50	Min: 0 ft. Max: 20 ft. A minimum of 30% of the street-facing building elevation shall be within the maximum front setback. ¹⁰	15 adjacent to a residential district; otherwise 0 or at least 5	15 adjacent to a residential district; otherwise 0 or at least 5	45	0.5
CMU: Community Mixed-Use District							
Dwelling, townhouse	2,000	20 (30 on corner lots)	Min: 10 ft. Max: 20 ft.	N/A on common lot line; otherwise 5	15 adjacent to a residential district (except R-4 or R-4A); otherwise 10	35	N/A
All other uses	6,000	50	Min: 0 ft. Max: 20 ft. A minimum of 50% of the street-facing building elevation shall be within the maximum front setback. ¹⁰	15 adjacent to a residential district; otherwise 0 or at least 5	15 adjacent to a residential district; otherwise 0 or at least 5	60	1
RMU: Regional Mixed-Use District							
Dwelling, townhouse	2,000	20 (30 on corner lots)	Min: 10 ft. Max: 20 ft.	N/A on common lot line; otherwise 5	15 adjacent to a residential district (except R-4 or R-4A); otherwise 10	35	N/A
All other uses	6,000	50	Min: 0 ft. Max: 20 ft. A minimum of 30% of the street-facing building elevation shall be within the maximum front setback. ¹⁰	20 adjacent to a residential district; otherwise 0 or at least 5	20 adjacent to a residential district; otherwise 0 or at least 5	60	1
MT-1: Midtown District Core							
MT-2: Midtown District General							
⁸ For other lot dimensional standards, see section 21.08.030K. ⁹ See <i>FAR Incentives</i> for mixed-use districts at 21.04.030O.2. ¹⁰ See subsection 21.06.030A.5., <i>Maximum Setbacks</i> .							

D. Table of Dimensional Standards: Other Districts

TABLE 21:06-4: TABLE OF DIMENSIONAL STANDARDS - OTHER DISTRICTS <i>(Additional Standards May Apply. See district-specific standards in chapter 21.04 and use-specific standards in chapter 21.05. See section 21.04.070 for AM district standards.)</i>							
Uses	Minimum lot dimensions ¹¹		Max lot coverage (%)	Minimum setback requirements (ft)			Maximum height (ft)
	Area (sq ft)	Width (ft)		Front	Side	Rear	
AF: Antenna Farm District							
All	87,120	120	50	50	25	25	Unlimited, except that structures shall not interfere with FAA regulations on airport approaches
DR: Development Reserve District							
All	5 acres	100	20	Front, side, and rear setbacks shall be 25 feet when the abutting district is PR, PLI, or residential; otherwise, the setbacks shall be equal to the analogous minimum setback in the abutting district.			35
PR and PLI: Parks and Recreation, and Public Lands and Institutions Districts							
All	6,000	50	45	Front, side, and rear setbacks shall be 25 feet when the abutting district is DR, PR, PLI or residential; otherwise, the setbacks shall be equal to the analogous minimum setback in the abutting district.			No maximum, except that the height transition provisions of subsection 21.06.030D.7. shall apply
TA: Turnagain Arm District							
Residential (with sewers)	10,400	70	30	20	5	10	35, unless a conditional use permit is obtained for greater height
Residential (without sewers) (Bird Creek, Indian Valley, Portage inholdings)	108,150	100	20	25	15	25	
Residential (without sewers) (Rainbow Valley inholdings)	216,300	100	20	25	15	25	
Commercial (with sewers)	8,400	50	70	10	10 if adjacent to a residential district, otherwise 5	15 if adjacent to a residential district, otherwise 10	
Commercial (without sewers)	50,000	100	25	25	15	25	
Industrial (with sewers)	8,400	50	100	10	If abutting to a residential use, the setback shall be equal to that required by the residential use; otherwise None		
Industrial (without sewers)	50,000	100	25	25	15	25	
Institutional (with sewers)	8,400	50	30	25	10	15	
Institutional (without sewers)	50,000	100	25	25	15	25	
W: Watershed District							
All	N/A	N/A	5	N/A	N/A	N/A	50

¹¹ For other lot dimensional standards, see section 21.08.030K.

21.06.030 MEASUREMENTS AND EXCEPTIONS

A. Lot Area, Width, and Depth

1. Minimum lot area shall be provided as indicated in section 21.06.020, unless otherwise stated in this title.
2. Lot width and depth shall be measured as shown in the lot width and lot depth illustrations at the end of the chapter.

B. Lot Coverage

1. Lot Coverage Requirement Generally

No building, structure, or lot shall be developed, used, or occupied unless it meets the lot coverage requirements set forth in this chapter or in chapter 21.04, for the zoning district in which it is located.

2. Structures Not Considered in Measuring Lot Coverage

Unless otherwise provided in this title, all structures shall be considered in determining lot coverage except for the following:

- a. Structures less than 30 inches above the finished grade level (such as paved terraces or ground-level decks);
- b. Windowsills, bay windows, fireplace chases, belt courses, cornices, eaves, and similar incidental architectural features;
- c. Accessibility ramps;
- d. Fences, trellises, poles, posts, ornaments, lawn furniture, and similar and customary yard accessories; and
- e. Covered stairways and walkways as described in subsection C.2.j. below.

C. Setbacks

1. Required Setbacks

- a. Setbacks shall be located as shown in the illustrations at the end of the chapter.
- b. A building, structure, or lot shall not be developed, used, or occupied unless it meets the setback requirements set forth in section 21.06.020 for the zoning district in which it is located, except as otherwise established in this title for particular uses, or unless a variance or minor modification has been granted.
- c. Setbacks shall be unoccupied and unobstructed by any structure, except as provided in subsection C.2. below, and except that fences, walls, trellises, poles, posts, ornaments, furniture and other customary yard accessories may be permitted in any setback subject to height limitations and requirements limiting obstruction of visibility.
- d. A setback required by this title shall not be included as part of a setback required by this title for another building or structure or lot.
- e. The entire "pole" portion of a flag lot shall be considered a front setback.

2. Projections into Required Setbacks

The following structures or features may project into required front, side, or rear setbacks as specified in this subsection:

a. *Paved Terraces*

Paved terraces may project into any required setback, provided that no structures placed there shall violate other requirements of this title.

b. *Unroofed Landings, Decks, and Stairs*

Except as provided in subsection 2.c. below, unroofed landings, decks, and stairs may project into required front and rear setbacks only, provided that no portion other than a handrail shall extend higher than 30 inches above the finished grade level.

c. *Roofs Over Porches and Other Exterior Approaches*

Roofs over porches, stairways, landings, terraces, or other exterior approaches to pedestrian doorways may encroach up to five feet into a front setback, provided that, where such roof projections encroach within the setback, the roof projections shall comprise no more than 50 percent of the total length of a building's front elevation. The covered porch or entrance area encroaching into the setback shall remain exterior to the building, and unenclosed or only partly enclosed, as by a handrail.

d. *Incidental Architectural Features*

Windowsills, fireplace chases, belt courses, cornices, eaves and similar incidental architectural features may project up to two feet into any required setback.

e. *Bay Windows*

Bay windows, measuring no more than eight feet in width where the projection breaks the plane of the wall, may project up to two feet into any required setback, so long as there is a minimum of eight feet between the bay window and any opposing encroachment on an adjacent lot.

f. *Private Garage or Carport*

A private garage or carport may project into a required side or rear setback abutting an alley.

g. *Accessory Structures*

As allowed in 21.05.070B.3.b. Refuse collection receptacles and their enclosures that are less than 150 square feet may encroach in any side or rear setback.

h. *Accessibility Ramps*

The director may allow the installation of accessibility ramps with handrails in any required setback if they meet the following criteria:

- i. The ramp is neither roofed nor enclosed;
- ii. There are no switchbacks over 30 inches in height; and
- iii. The width of the ramp does not exceed 48 inches.

i. *Fire Exits*

For buildings existing on [effective date], open fire exits may project not more than four feet six inches into any required yard.

j. Covered Stairways and Walkways

Stairways and walkways that are roofed but not fully enclosed, and are installed to provide public access between grade-separated areas, but are not intended to provide access to the entrance of any particular structure, may encroach into required setbacks.

3. Construction on Adjoining Lots

In determining minimum setback requirements, each lot shall be determined individually and minimum setback requirements may not be calculated on the basis of two or more combined lots. In all instances where a building may be constructed immediately adjacent to a lot line, the building may be constructed upon or over such lot line, provided that the portion of the building on each individual lot is otherwise permitted on each lot.

4. Corner Lots with Two or More Frontages and Double-Frontage Lots

In the case of corner lots with two or more frontages and double-frontage lots, the director shall determine the setback requirements subject to the following limitations:

- a. At least one front setback shall be provided having the full depth required generally in the district.
- b. No other front setback on such lot shall have less than half the depth required generally for front setbacks in the district.
- c. For residential lots of less than one acre in area and for non-residential lots, setbacks shall be consistent with surrounding properties, with more weight given to abutting properties oriented in the same pattern.
- d. For residential lots of one acre or greater in area, the property owner, with the concurrence of the traffic engineer, has discretion over which frontage shall be the primary front setback.

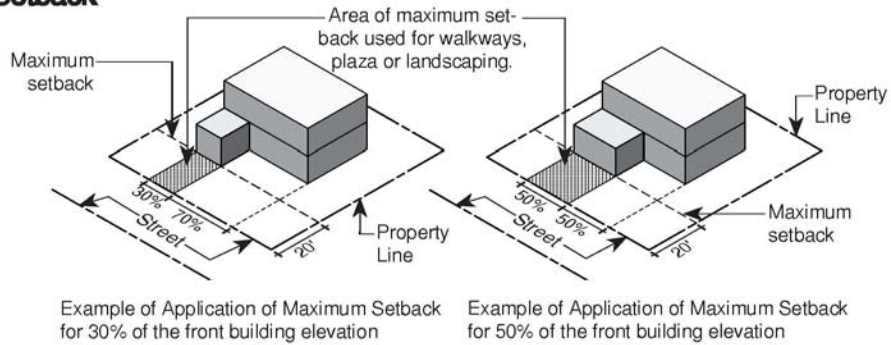
5. Maximum Setbacks

Maximum setbacks are intended to help create an environment that is inviting to pedestrians and transit users, and a more active streetscape. Maximum setbacks promote buildings closer to the sidewalk and a stronger interface between buildings and adjoining streets, improving connectivity and making walking more convenient. The requirements of this subsection provide for flexibility and creativity, and allow improvements to existing developments that do not meet the standard.

a. Measurement and Applicability

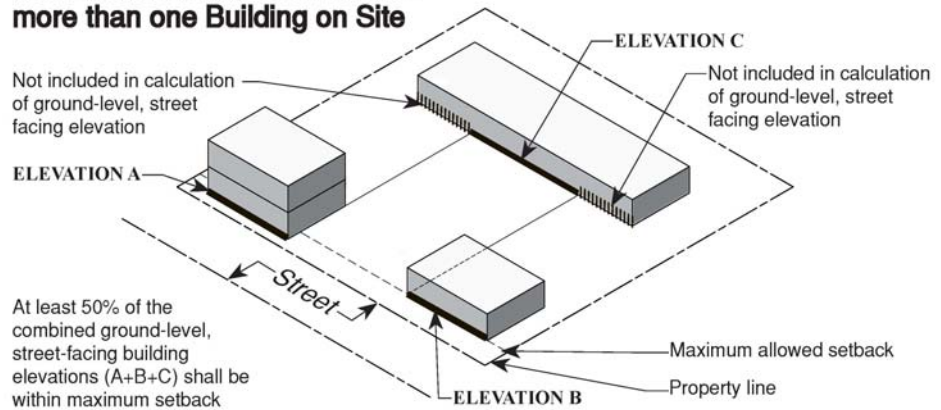
- i. The maximum setback applies to the ground-floor, street-facing elevation of the building, as depicted below.

Application of Maximum Setback



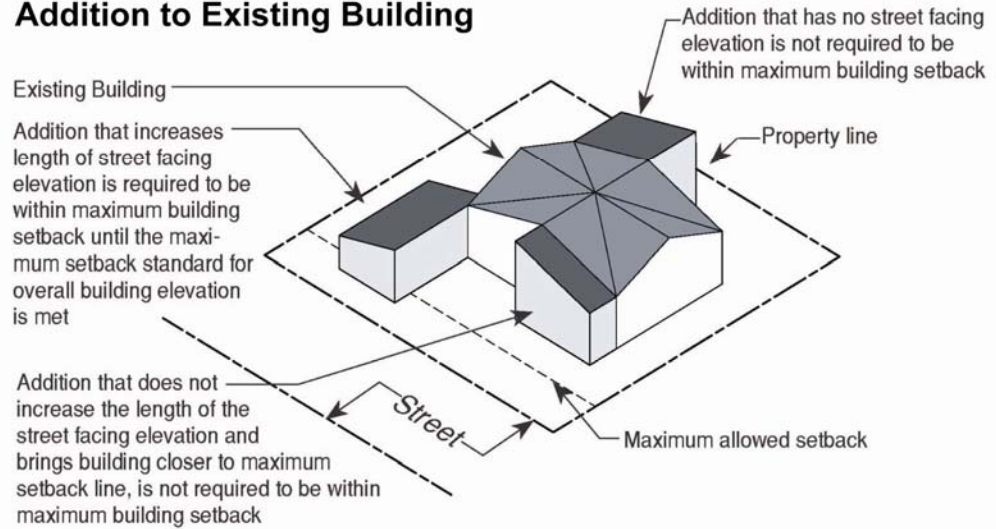
- ii. On lots with two or more street frontages, the maximum setback shall apply only on the primary front setback. When the site abuts a street designated in the comprehensive plan as a Main Street, a Transit Street, a Mixed-Use Street, or a derivation of these street typologies, the location of the maximum setback may be changed to such street with the concurrence of the director.
- iii. Where there is more than one building on the site, the maximum setback standard applies to the combined ground-floor, street-facing elevations of all the buildings, as depicted below.

Maximum Building Setback with more than one Building on Site

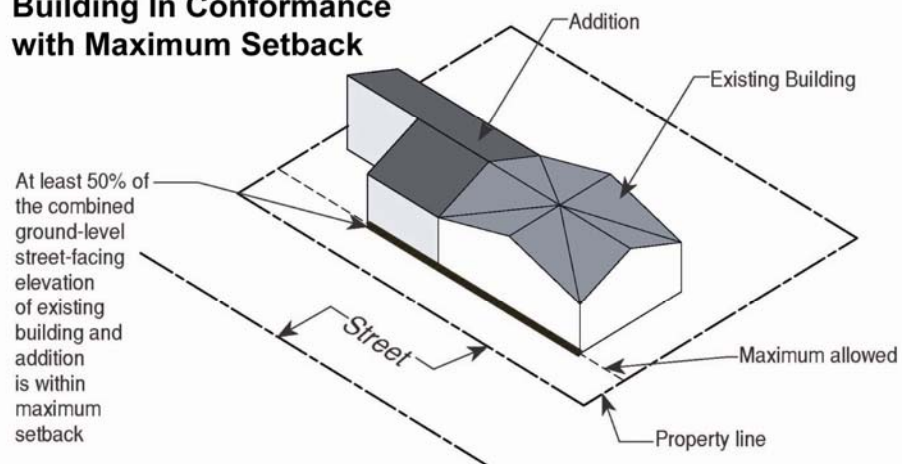


- iv. The maximum setbacks shall apply only to new buildings and any building addition that increases the length of the building elevation facing the applicable street, as depicted below.

Addition to Existing Building



Addition to Existing Building In Conformance with Maximum Setback



v. For all multi-building sites except those which fall under the Large Commercial Establishment regulations, the order of construction shall ensure that this standard is met at all times.

vi. Where the required setback from a projected right-of-way is equal to or greater than the maximum setback, the maximum setback shall be measured from the projected right-of-way setback line.

b. **Use of Maximum Setback Area**

i. Motor vehicle parking and circulation is not permitted in between the street and the portion of the building that is used to comply with this subsection.

ii. The area between the street lot line and the portion of the building that is used to comply with this subsection shall be designed to be sidewalk or walkway, building entrance plaza, pedestrian plaza, open space, landscaping, and/or courtyard areas. Where landscaping is provided, the area shall meet the specifications for site enhancement landscaping.

One pedestrian amenity as defined by this title is required for every 300 square feet of maximum setback area.

c. *Exceptions to Maximum Setback*

- i. The maximum front setback may be exceeded by up to 20 additional feet (or more through administrative site plan review) if the additional area between the building and the property line is used to provide common open space that conforms to the standards of section 21.07.030, contains site enhancement landscaping, and/or contains pedestrian amenities as described in subsection 21.07.060F. The additional area shall not be developed for motor vehicle parking or driveways, loading or refuse collection, or ground-mounted utilities.
- ii. For buildings where all the floor area is in residential use, the street-facing façade of a covered porch qualifies for meeting this standard. The porch shall have at least one entrance accessible from the street.

d. *Exemptions*

The following uses are exempt from the maximum setback requirement:

- i. Food and beverage kiosks;
- ii. Fueling stations; and
- iii. Vehicle service and repair, major or minor.

6. *Setback from Planned Utility Transmission Facilities*

- a. No new structural or land development activity requiring a building or land use permit shall be permitted within the minimum area stated in the *Utility Corridor Plan* for planned electrical or telecommunication transmission facilities for which there is a projected easement or right-of-way, except as allowed under paragraph 6.b., below.
- b. The following uses and activities are permitted, with written acknowledgement of coordination with the affected utilities, within the setbacks described in paragraph 6.a., above:
 - i. Sidewalks, walkways, and trails;
 - ii. Bus shelters and bus turnouts;
 - iii. Kiosks and seating units;
 - iv. Utilities, utility easements and utility-related structures;
 - v. Landscaping required by section 21.07.080, *Landscaping, Screening, and Fences*, and consisting of ground cover, shrubs and understory trees whose maximum height does not exceed 30 feet;
 - vi. Surface parking required by section 21.07.090, *Off-Street Parking and Loading*;
 - vii. Temporary parking as described in section 21.05.080;
 - viii. Additional parking to that required by this title;

- ix. Open space;
 - x. Fences and signs;
 - xi. Retaining walls;
 - xii. Remodeling of or addition to structures existing as of February 27, 1990, so long as it does not further intrude within the setback area after that date; and
 - xiii. Driveways and vehicular access points.
- c. Applicable setback requirements stated elsewhere in this title may include the area of setback for electrical transmission facilities.

7. Setbacks from Projected Rights-of-Way

a. *Minimum Setback*

Except as allowed under subsection 7.b. below, no new structural or land development activity requiring a building or land use permit shall be permitted within the minimum setback set forth in the table below from the existing or projected centerline of a street designated on the *Official Streets and Highways Plan* (OSHP), or within 30 feet from the centerline of a road reservation or public use easement not so designated on the OSHP.

TABLE 21.06-5: SETBACKS FROM PROJECTED RIGHTS-OF-WAY CENTERLINE		
	Street Class on Official Streets and Highways Plan	Setback from Centerline (feet)
IC	Neighborhood Collector	30
IIA	Minor Arterial	
IIIC	Undivided Major Arterial	
IB	Neighborhood Collector	35
I	Residential Collector	40
IA	Industrial Commercial Collector	
II	Minor Arterial	
III	Divided Major Arterial	50
IIIB	Undivided Major Arterial	
IIIA	Divided Major Arterial	65
IV	Expressway	
V	Freeway	75

b. *Permitted Uses Within Setback*

The following uses and activities are permitted within the setbacks described in paragraph 7.a., above:

- i. Sidewalks, walkways, and trails;

- ii. Bus shelters and bus turnouts;
- iii. Kiosks, seating units and skywalks;
- iv. Canopies, awnings, incidental architectural features, and public art;
- v. Utilities and utility easements;
- vi. Temporary parking, temporary fences and signs, or temporary retaining walls, as described in paragraph 7.d., below;
- vii. Additional parking to that required by this title;
- viii. Landscaping, but not required landscaping, except that required landscaping is permitted if an alternate site plan is submitted that shows how all the required site elements, including the required landscaping, would be accommodated on the lot if the projected setback is acquired for public right-of-way;
- ix. Approved grading activities;
- x. Remodeling of or addition to structures existing as of May 19, 1987, so long as such remodeling or addition does not further intrude within the setback area or increase the floor area of the structure within the setback area; and
- xi. Driveways and vehicular access.

c. *Additional Setback Requirements*

Applicable setback requirements stated elsewhere in this chapter shall be in addition to those stated in this subsection 21.06.030C.7.

d. *Temporary Features*

As used in this subsection 21.06.030C.7.d., the term "temporary" or "temporarily" means that period of time between the issuance of a building or land use permit and the right of entry conveyed to the municipality or other government entity for a road project that affects the setback area required by this subsection 21.06.030C.7.d. Parking, fences and signs, and retaining walls required by this title may be provided temporarily within a setback area described in this subsection 21.06.030C.7.d. only if the director and the traffic engineer first find that:

- i. The temporary features to be used on the lot conform to all other applicable requirements of this title;
- ii. An alternate site plan has been submitted with an application for a building or land use permit for permanent required features on the lot, excluding all setback areas thereon, in conformance with all applicable requirements of this title; and
- iii. An agreement between the owner of the lot and the municipality has been executed and recorded so as to give notice of the temporary requirements to be applied to the lot and of the date or event by which the temporary features shall be abandoned in favor of the permanent configuration stated in the alternate site plan.

8. **Sight Distance Triangles**
Sight distance triangles shall be unobstructed as required by title 9.

D. **Height**

1. **Allowable Height**

The maximum allowable height for buildings and structures in each district shall be as provided in section 21.06.020, *Dimensional Standards Tables*, except where specifically modified by this subsection D. and/or other provisions of this title.

2. **Airport Height Overlay District**

Nothing in this section allows a building, structure, or appurtenance to exceed the height limitations of the Airport Height Overlay District (21.04.080C.).

3. **Rules for Measuring Height**

- a. Building height for most building types shall be measured as the vertical distance from grade plane to the midpoint (median height) of the highest roof surface, as shown in the illustration at the end of the chapter, subject to D.4. and D.5. below. Exceptions for curved roof surfaces are illustrated at the end of the chapter.
- b. Structures that are not buildings shall be measured as the vertical distance from grade plane to the highest point of the structure. Fences on top of retaining walls shall be measured from grade plane on the highest side of the retaining wall.
- c. Where tables 21.06-1 and 21.06-2 measure maximum height in terms of stories, any story below grade plane shall be excluded from calculation of the number of stories for determining building height.

4. **Grade Plane**

The grade plane for determination of structure height shall be the average of existing or finished grade, whichever is lower, abutting the structure at exterior walls. Where the grade slopes away from the exterior walls, the grade plane shall be established by the lowest points within the area between the building and the lot line, or, where the lot line is more than six feet from the building, between the building and a point six feet from the building.

5. **Establishment of Grade**

The grade plane shall be calculated using the more restrictive of either the existing grade or the finished grade.

a. **Existing Grade**

In no case shall the existing grade be altered by grading, such as an artificial embankment or where the ground has been built up to increase the grade around the building, to obtain a higher structure than is otherwise permitted in the district.

b. **Adjustments to Establishment of Grade**

In a case where existing grade or finished grade is, in the judgment of the director, inappropriate or unworkable for the purpose of measuring height, the director shall establish grade in such a way as to be consistent with this section. The proposed grade being requested by the applicant shall be, in the judgment of the director, reasonable and comparable with the grades of surrounding properties and streets; not detrimental to the general health, safety, and welfare; not result in the loss of any public views; consistent with the existing character of the neighborhood; and necessary for the preservation and enjoyment of substantial property rights of the applicant.

6. Height Exceptions

- a. Free-standing flag poles shall conform to the height restrictions of the principal structure, rather than an accessory structure.
- b. Window wells, light wells, cellar or basement access walkways serving a dwelling unit, and similar appurtenances installed below grade with an inside dimension of 120 square feet or less (including stairs) and that do not exceed in length 25 percent of the building elevation wall shall be excluded from calculation of grade plane for determining building height.
- c. Except as specifically provided elsewhere in this title, the height limitations contained in this chapter do not apply to appurtenances on buildings, such as spires and similar religious appurtenances, belfries, cupolas, flagpoles, chimneys, antennas, rooftop mechanical equipment and its screening, stairwell towers, elevator penthouses, parapets, firewalls, open or transparent railings, solar reflectors, photovoltaic panels, skylights, or similar appurtenances; provided, however, the following:
 - i. The appurtenance does not interfere with Federal Aviation Regulations, Part 77, Objects Affecting Navigable Airspace;
 - ii. The appurtenances cumulatively cover no more than one-third of the roof area of the building, except that when it has been demonstrated to the director and the building official that building HVAC requirements necessitate a larger mechanical penthouse, the appurtenances may cumulatively cover up to one-half of the roof area;
 - iii. The appurtenance is not constructed for the purpose of providing additional floor area, usable space, or storage room for the building, except that a storage room of 60 square feet or less, combined with a stairwell tower or elevator housing, and directly related to a rooftop use (such as tool storage for a rooftop garden), is allowed; and
 - iv. The appurtenance does not exceed the height limit of the district by more than 15 feet, with the following exceptions:
 - (A) The allowed height of antennas and other telecommunications infrastructure is addressed in subsection 21.05.040K.;
 - (B) Flagpoles and spires and similar religious appurtenances may exceed up to 30 feet in residential districts and up to 50 feet in nonresidential districts;
 - (C) Elevator penthouses may exceed up to 25 feet;
 - (D) Parapets, firewalls, and skylights may exceed up to four feet.

7. Height Adjustments

Commercial buildings sometimes feature a greater ceiling height on the first floor to enhance the building's aesthetic appeal and openness of ground-floor retail spaces. Building height shall be allowed to be increased by up to five feet above the height limit for the district, provided that the increase is only to allow a greater first story height for ground level commercial use, and the increase in height does not result in a greater number of stories than would otherwise be constructed.

8. Height Transitions for Neighborhood Compatibility

a. Purpose

The objective of the height transition standard is to help ensure compatibility between higher intensity development and adjacent lower density residential districts, in terms of building bulk and scale, a degree of sunlight access and ambient daylighting, and the potential for privacy and visual buffering. The standard is not designed to reduce the gross floor area development potential of a subject lot; instead, it is intended to encourage thoughtful positioning of building massing and height on the subject lot with respect to adjacent neighborhoods.

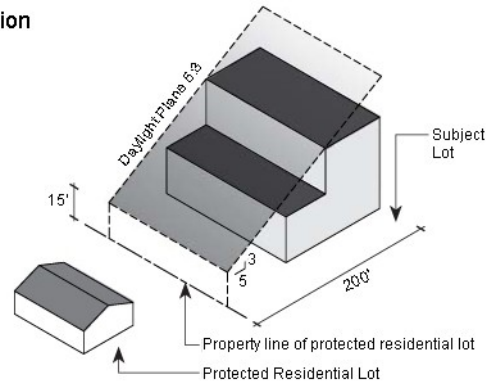
b. Applicability

This standard shall apply to structures located in any non-residential district (except for the DT districts), the R-4 district, or the R-4A district, and within 200 feet of any lot zoned R-1, R-1A, R-2A, R-2D, R-2M, R-2F, R-3, R-5, R-6, R-7, R-8, R-9, or R-10.

c. Standard

Structures on the subject lot shall not penetrate a daylight plane that rises inward over the subject lot at an angle of five feet of run for every three feet of rise, and starting from a height of 15 feet above existing grade at the nearest lot line of the residential (protected) lot.

Height Transition



d. Exceptions

- i. Height exceptions in subsection D.5. above that have a width of 20 feet or less facing the residential lot are not subject to the height transitions standard.
- ii. The director may exempt any portion of a proposed development which, being already completely blocked from the protected property by existing permanent structures or topography, will have no additional impact.
- iii. The director may exempt a proposed development if, because of topography or lot dimensions or configuration, the height transitions provisions would unduly restrict permissible development, and reasonable use cannot otherwise be made of the site of the proposed development.
- iv. Exceptions shall be the minimal action that would afford relief and shall cause the least interference possible with the intended protections for the residential lots.

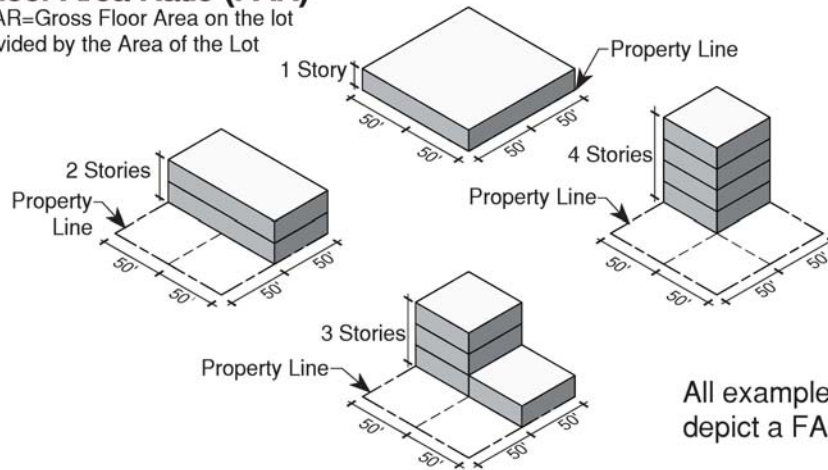
E. Floor Area Ratio

1. Purpose

Floor area ratio (FAR) establishes the amount of use (the intensity) on a site. FAR provides a means to match the potential amount of uses with the intended functions and character of the area and the provision of public infrastructure and services. FARs also work with the height, setback, and lot coverage standards to ensure the overall bulk of development is compatible with the area. It is also the purpose of this title to provide floor area ratio bonuses to encourage development characteristics that advance community objectives, such as affordable housing, below grade parking, and open space.

Floor Area Ratio (FAR)

FAR=Gross Floor Area on the lot
divided by the Area of the Lot



2. Areas Not Considered in Measuring Floor Area Ratio (FAR)

Unless otherwise provided in this title, all gross floor area shall be considered in determining FAR except for the following:

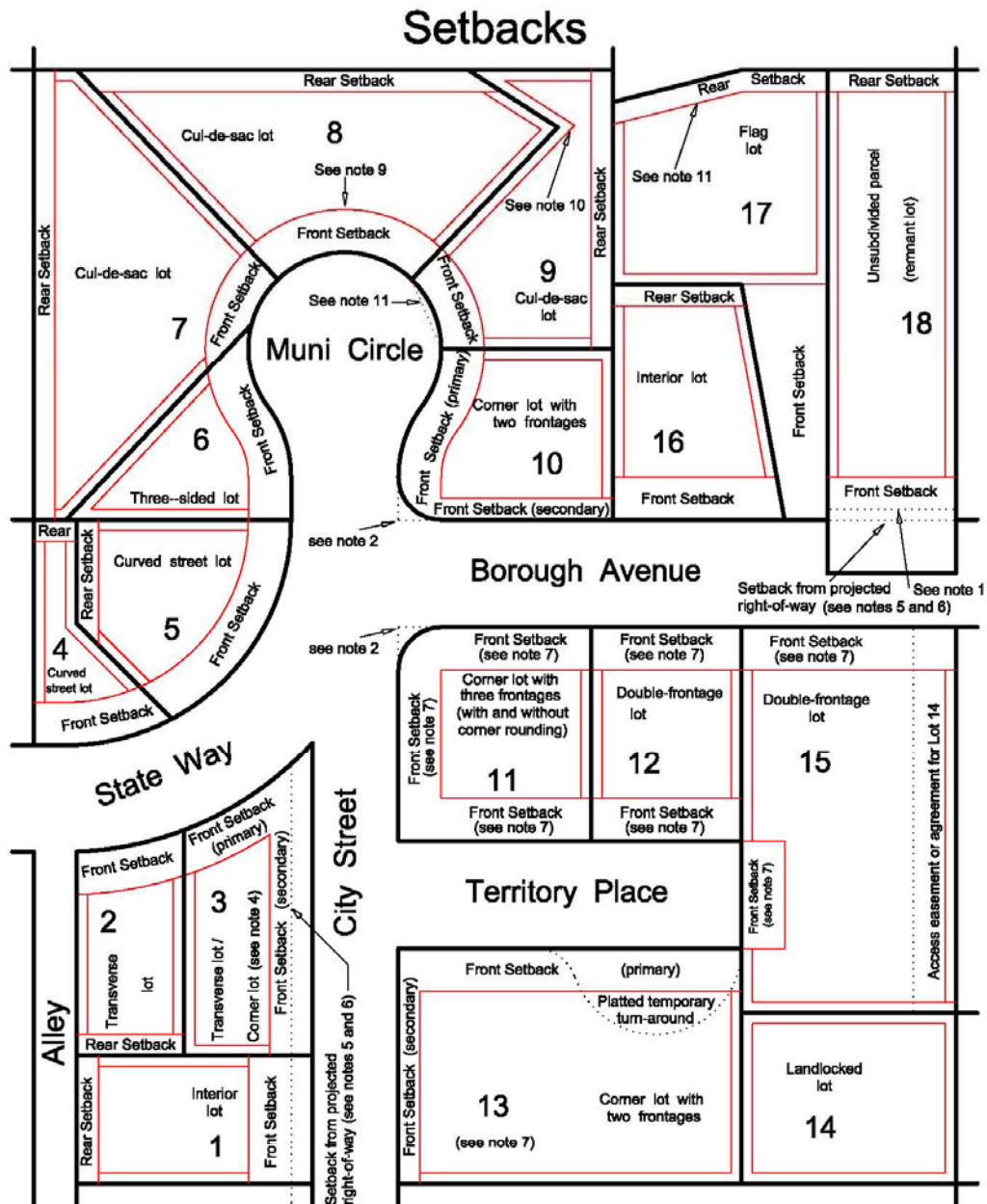
- a. Uninhabitable attics;
- b. Residential space in an attic under a roof slope of between 8:12 and 12:12, provided the residential space is limited to one story;
- c. Crawl spaces less than 5 feet from floor to ceiling;
- d. Floor area in stories below grade plane that is devoted to parking or loading;
- e. Detached accessory structures; and
- f. Private open space that meets the standards of 21.07.030.

3. Maximum Floor Area Ratios

a. *Mixed-Use Districts*

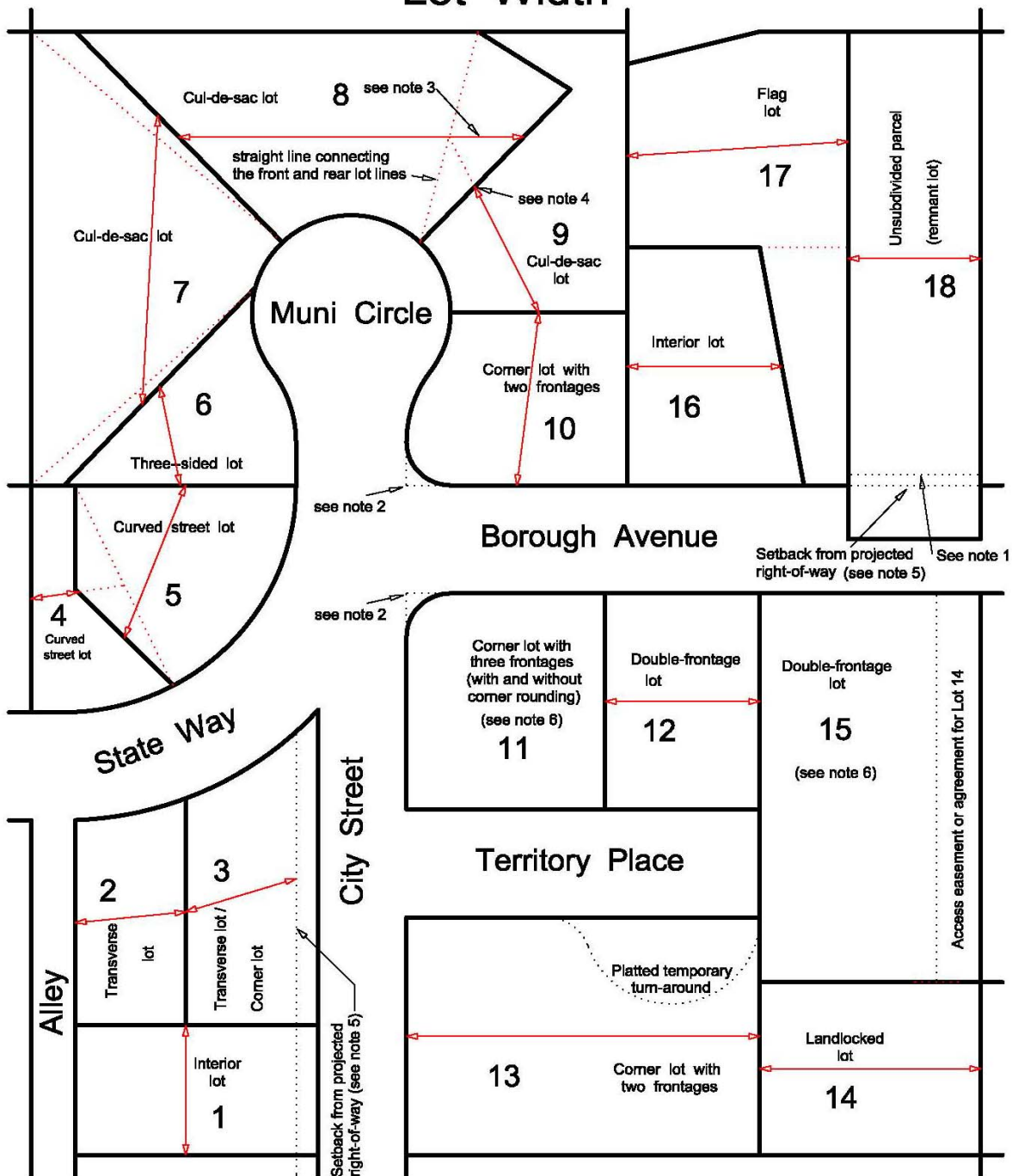
For the NMU, CMU, RMU, MT-1 and MT-2 zoning districts, table 21.06-3 establishes the maximum FAR for each district. Increases in allowable FAR are available through incentives provided in the mixed-use district standards at 21.04.0300.

- b. *Downtown and Other Districts***
Maximum FAR in the DT-1, DT-2, DT-3, R-4, R-4A, and other districts in which FARs may apply are established within the district-specific standards in chapter 21.04. Increases in allowable FAR are available through incentives also provided in the district-specific standards.
- c. *FAR Bonus Review***
An administrative site plan review shall be conducted on all developments proposed for a floor area ratio bonus, unless exempted in writing by the director.
- d. *FAR Bonus Agreement***
Where a special feature is to be provided in order to receive an FAR bonus, the owner shall enter into a written agreement with the municipality ensuring the continued provision of the special feature for as long as the development uses the FAR bonus. The municipality shall record the agreement at the district recorder's office as a covenant running with the land, binding upon the owner and all successors and assigns, and enforceable by the municipality. Recordation of the agreement shall take place prior to the issuance of any entitlement for the development.



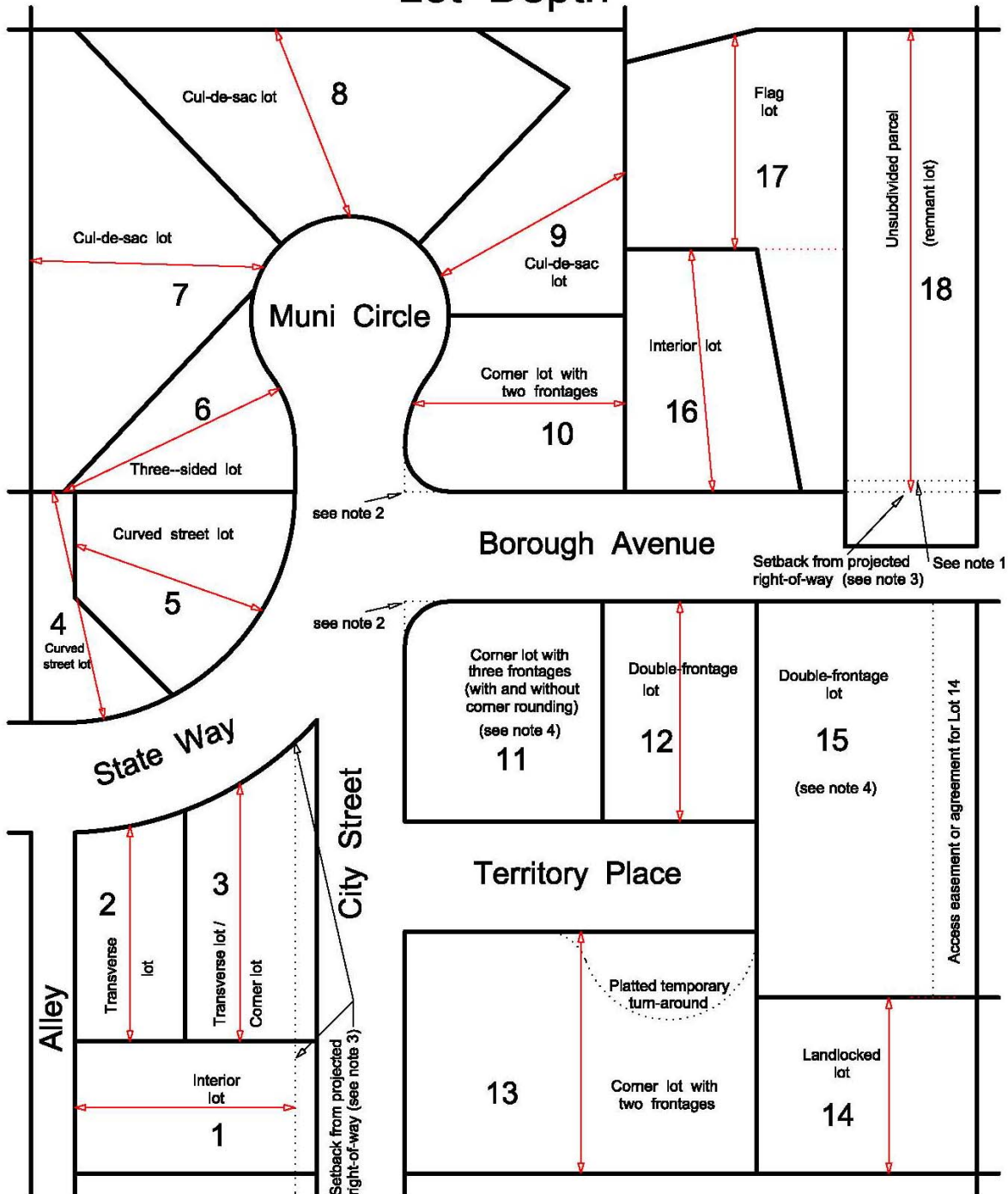
1. Section line easement, BLM road reservation, road or public use easement.
2. Front property lines intersect by extrapolation.
3. All setbacks not called out in the illustration are side setbacks.
4. On corner, double-frontage, and three-sided lots, there are no rear setbacks, but only front and side setbacks.
5. The area between the property line and the setback from projected right-of-way is subject to the same regulations as a front setback.
6. The front setback is measured from the setback from projected right-of-way. See Section 21.06.020.A.7.c.
7. The Director shall determine the depth of the front setbacks. Until such determination, full-depth setbacks apply on all frontages.
8. Front setbacks are determined by the Director. See Section 21.06.020.A.4.
9. The setback follows the curve of the lot line.
10. Side setbacks are extended to intersect.
11. The rear property line is the line (or lines intersecting at an interior angle of not less than 135 degrees) most parallel to the chord of the frontage.

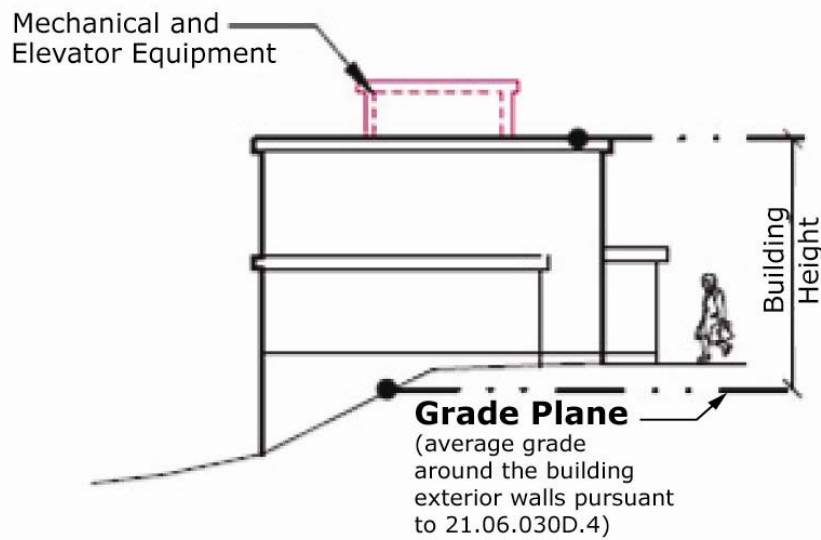
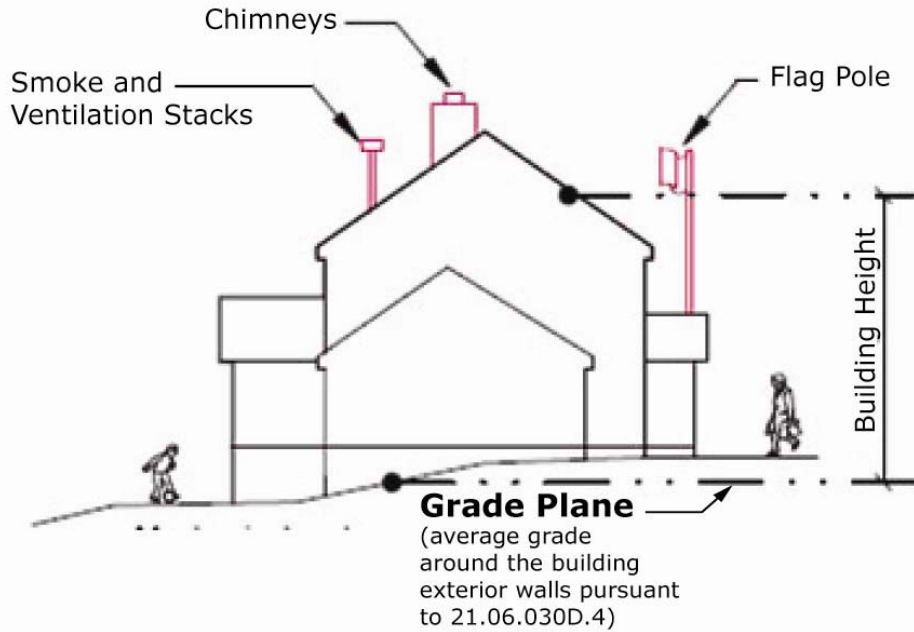
Lot Width



1. Section line easement, BLM road reservation, road or public use easement.
2. Front property lines intersect by extrapolation.
3. The measurement extends to the side property lines. See Section 21.13.030.
4. The measurement does not extend beyond the property lines. See Section 21.13.030.
5. The setback from projected right-of-way is considered the front property line for computing lot width.
6. When the definitions do not unambiguously identify the lot width, the Director shall determine the lot width.

Lot Depth





Grade Plane for Measurement of Building Height

