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1 **CHAPTER 21.06: DIMENSIONAL STANDARDS AND MEASUREMENTS**

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2 **21.06.010 DIMENSIONAL STANDARDS TABLES**

3 This section contains tables that list the requirements for lot dimensions and building bulk,  
4 density, location, and height for all types of development. All primary and accessory structures  
5 are subject to the dimensional standards set forth in the following tables. Bracketed numbers  
6 refer to notes at the bottom of each table. These general standards may be further limited or  
7 modified by other applicable sections of this title. In particular, some uses have use-specific  
8 standards in chapter 21.05 that impose stricter requirements than set forth in these tables.  
9 General rules for measurement and exceptions are set forth in section 21.06.020.

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A. Table of Dimensional Standards: Residential Districts

<b>TABLE 21:06-1: TABLE OF DIMENSIONAL STANDARDS - RESIDENTIAL DISTRICTS</b> (Additional Standards May Apply. See <b>district-specific standards in chapter 21.04 and use-specific standards in chapter 21.05.</b> )										
Use	Minimum lot dimensions			Minimum setback requirements (ft)			Min. usable yard area per dwelling unit (sq ft)	Max number of principal structures per lot or tract	Max. floor area ratio (FAR)	Maximum height (ft)
	Area (sq ft)	Width (ft)	Max lot coverage (%)	Front	Side	Rear				
<b>RS-1: Single-Family Residential District</b>										
Residential uses	6000	50	30	20	5	10	N/A	1	N/A	Principal structures: 30
All other uses	10,000	70			10					Accessory garages/carports: 20
<b>RS-2: Residential (One-half Acre) District (was R-7 in PRD#1)</b>										
Dwelling, single-family	20,000, plus addl. 20,000 sq ft for each dwelling unit in excess of 1	120	30	25	10	20	N/A	1	N/A	Principal structures: 35
Dwelling, two-family	40,000									Accessory garages/carports: 30
All other uses	20,000									Other accessory structures: 25
<b>RT-2: Two-Family Residential District</b>										
Dwelling, single-family detached	6000	50	30	20	5	10	N/A	1	N/A	Principal structures: 30
Dwelling, two-family			40							Detached ADUs: 25

Chapter 21.06: Dimensional Standards and Measurements  
 Sec.21.06.010 Dimensional Standards Tables

**TABLE 21.06-1: TABLE OF DIMENSIONAL STANDARDS - RESIDENTIAL DISTRICTS**  
 (Additional Standards May Apply. See **district-specific standards in chapter 21.04 and use-specific standards in chapter 21.05.**)

Use	Minimum lot dimensions			Minimum setback requirements (ft)			Min. usable yard area per dwelling unit (sq ft)	Max number of principal structures per lot or tract	Max. floor area ratio (FAR)	Maximum height (ft)
	Area (sq ft)	Width (ft)	Max lot coverage (%)	Front	Side	Rear				
Dwelling, single-family attached	3500	35	40		N/A on common lot line; otherwise 5					Accessory garages/carpools: <del>25</del> 20 Other accessory structures: 12
All other uses	10,000	70	40		10					
<b>RM-1: Lower Density Mixed Residential District</b>										
Dwelling, single-family detached	6,000 min. 12,000 max.	50	30	15	5	10				N/A
Dwelling, two-family	6,000	50	30	15	5	10		N/A, except that no portion of any structure, principal or accessory, may be closer than 10 feet to any portion of any other structure, principal or accessory		N/A
Dwelling, single-family attached	3,000	Attached single-family: 35 (40 on corner lots)	30	15	5 (N/A on common lot line)	10			N/A	
Dwelling, townhouse	3,000	Townhouse: 24 (30 on corner lots)	30	15	10	10			N/A	
Dwelling, multiple-family (up to 4 units permitted)	8,500 for 3 units; 11,000 for 4 units	50	30	15	10	10			N/A	
All other uses	10,000	70	30	15	10	10			N/A	35

Chapter 21.06: Dimensional Standards and Measurements  
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**TABLE 21:06-1: TABLE OF DIMENSIONAL STANDARDS - RESIDENTIAL DISTRICTS**  
 (Additional Standards May Apply. See **district-specific standards in chapter 21.04 and use-specific standards in chapter 21.05.**)

Use	Minimum lot dimensions			Minimum setback requirements (ft)			Min. usable yard area per dwelling unit (sq ft)	Max number of principal structures per lot or tract	Max. floor area ratio (FAR)	Maximum height (ft)
	Area (sq ft)	Width (ft)	Max lot coverage (%)	Front	Side	Rear				
<b>RM-2-3: Higher Density Mixed Residential District</b>										
Dwelling, single-family detached	6,000 minimum 12,000 maximum	50	30	15		10		N/A, except that no portion of any structure, principal or accessory, may be closer than 10 feet to any portion of any other structure, principal or accessory. On lots or tracts greater than one acre, one additional principal structure may be allowed per lot or tract, per each additional acre; otherwise, only a single principal	N/A	Principal structures: 30  Detached ADUs: 25  Accessory garages/carpools: 25 20  Other accessory structures: 12
Dwelling, two-family	6,000	50	30 40		5 (N/A on common lot line)		N/A			
Dwelling, single-family attached  Dwelling, townhouse	3000	Attached single-family: 35 (40 on corner lots)  Townhouse: 24 (30 on corner lots)								
Dwelling, multiple-family (up to 8 units permitted)	8,500 for 3 units; 11,000 for 4 units; 13,500 for 5 units; 16,000 for 6 units; 18,000 for 7 units; 20,000 for 8 units 10,000 +2,000 for every unit over 3 units	50			10		400			35, or three stories

Chapter 21.06: Dimensional Standards and Measurements  
 Sec.21.06.010 Dimensional Standards Tables

**TABLE 21:06-1: TABLE OF DIMENSIONAL STANDARDS - RESIDENTIAL DISTRICTS**  
 (Additional Standards May Apply. See **district-specific standards in chapter 21.04 and use-specific standards in chapter 21.05.**)

Use	Minimum lot dimensions			Minimum setback requirements (ft)			Min. usable yard area per dwelling unit (sq ft)	Max number of principal structures per lot or tract	Max. floor area ratio (FAR)	Maximum height (ft)
	Area (sq ft)	Width (ft)	Max lot coverage (%)	Front	Side	Rear				
All other uses	10,000	70					N/A	structure allowed		
<b>RM-3-4: Multi-Family Residential District</b>										
Dwelling, townhouse	3000	20	50	10	5 (N/A on common lot line)	10	300	More than one principal structure may be allowed on any lot or tract.  (maximum residential density: 40 dwelling units/acre)	N/A 2.0 (for 11 units or more)	35 30 for townhouses; 45 or four stories for all other uses
Dwelling, multi-family	6000 +1000 for every unit over 4 units	50	50	10	5	10	300		2.0 (for 11 units or more)	No portion of a structure within 50 feet of any other residential zoning district shall exceed the height limitations of that district
All other uses	10,000	70	50	10	5	10	300		N/A	
<b>RM-4: High Intensity Multi-Family Residential District (was RMX in PRD#1)</b>										
Dwelling, townhouse	3000	20	50	10, except that the fourth story, and an higher stories, must be set back at least 20 feet from the property line	5 (N/A on common lot line)	10		N/A	N/A	35
Dwelling, multi-family	6000	50							5	85
All other uses									N/A	65
<b>RL-1-5: Low-Density Residential with Mobile Homes District</b>										

Chapter 21.06: Dimensional Standards and Measurements  
 Sec.21.06.010 Dimensional Standards Tables

**TABLE 21:06-1: TABLE OF DIMENSIONAL STANDARDS - RESIDENTIAL DISTRICTS**  
 (Additional Standards May Apply. See **district-specific standards in chapter 21.04 and use-specific standards in chapter 21.05.**)

Use	Minimum lot dimensions			Minimum setback requirements (ft)			Min. usable yard area per dwelling unit (sq-ft)	Max number of principal structures per lot or tract	Max. floor area ratio (FAR)	Maximum height (ft)
	Area (sq ft)	Width (ft)	Max lot coverage (%)	Front	Side	Rear				
Dwelling, single-family, or one mobile/ <b>manufactured</b> home	43,560	150	30 <del>20</del>	25	10	10	N/A	1	N/A	Principal structures: 35  Accessory garages/carports: 30  Other accessory structures: 25
Dwelling, two-family	87,120	150								
All other uses	43,560	150								
<b>RL-2-6: Low-Density Residential (1 acre) District</b>										
Dwelling, single-family	43,560	150	30 <del>20</del>	25	15	25	N/A	1	N/A	Principal structures: 35  Accessory garages/carports: 30  Other accessory structures: 25
Dwelling, two-family	87,120	200								
All other uses	43,560	150								
<b>R-7: Low-Density Residential (one-half acre) District (see RS-2)</b>										
<b>RL-3-9: Low-Density Residential (2.5 acres) District</b>										
Dwelling, single-family	87,120	180	5	25	15	25	N/A	1	N/A	Principal structures: 35  Accessory garages/carports: 30  Other accessory structures: 25
Dwelling, two-family	130,680									
All other uses	87,120									



Chapter 21.06: Dimensional Standards and Measurements  
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TABLE 21:06-1: TABLE OF DIMENSIONAL STANDARDS - RESIDENTIAL DISTRICTS (Additional Standards May Apply. See <b>district-specific standards in chapter 21.04 and use-specific standards in chapter 21.05.</b> )										
Use	Minimum lot dimensions			Minimum setback requirements (ft)			Min. usable yard area per dwelling unit (sq ft)	Max number of principal structures per lot or tract	Max. floor area ratio (FAR)	Maximum height (ft)
	Area (sq ft)	Width (ft)	Max lot coverage (%)	Front	Side	Rear				
<b>RL-4-40: Low-Density Residential Alpine/Slope District</b>										
All uses	(See section 21.04.020K.2.a.)			10	25 feet, 50 feet if average slope exceeds 30 percent	10	N/A	1	N/A	Principal structures: <b>35</b> Accessory garages/carports: 25 Other accessory structures: 18

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**B. Table of Dimensional Standards: Commercial and Industrial Districts**

TABLE 21:06-2: TABLE OF DIMENSIONAL STANDARDS - COMMERCIAL AND INDUSTRIAL DISTRICTS (Additional Standards May Apply. See <b>district specific standards in chapter 21.04 and use-specific standards in chapter 21.05.</b> )								
Use	Minimum lot dimensions			Minimum setback requirement (ft)			Min. usable yard area per residential dwelling unit (sq ft)	Maximum height (ft)
	Area (sq ft)	Width (ft)	Max lot coverage (%)	Front	Side	Rear		
<b>NC: Neighborhood Commercial (was NMU-1 in PRD#1)</b>								
All	6000	50	100	10; except that third story must be set back at least 20 feet from the property line	5 if abutting a residential use; otherwise 0	5 if abutting an alley; otherwise 10		35

Chapter 21.06: Dimensional Standards and Measurements  
 Sec.21.06.010 Dimensional Standards Tables

**TABLE 21.06-2: TABLE OF DIMENSIONAL STANDARDS - COMMERCIAL AND INDUSTRIAL DISTRICTS**  
 (Additional Standards May Apply. See **district specific standards in chapter 21.04** and **use-specific standards in chapter 21.05.**)

Use	Minimum lot dimensions			Minimum setback requirement (ft)			Min. usable yard area per residential dwelling unit (sq ft)	Maximum height (ft)
	Area (sq ft)	Width (ft)	Max lot coverage (%)	Front	Side	Rear		
<b>AC: Automobile Commercial District</b>								
All uses	6000	50	100 N/A	5	All buildings shall have a wall within 0.3 feet of a lot line or be set back from the lot line at least 10 feet	N/A	400	45, or three stories
<b>CBD-1, CBD-2, and CBD-3: Central Business Districts</b> NOTE: Buildings in the CBD districts also shall comply with the bulk, lot coverage, and height requirements in section 21.04.030D.								
Residential uses	6000	50	100	N/A	N/A	N/A	60	CBD-1: Nine stories
Other uses							N/A	CBD-2: Five stories CBD-3: Three stories
<b>MC: Marine Commercial District (combined with MI and moved to table 21.06-4)</b>								
All uses	6000	50	N/A	5	None, except that, if a side or rear setback is provided, it shall be not less than 40 feet in width if such setback abuts the bulkhead		400	90 feet above mean sea level
<b>OC: Office Commercial District</b>								
Dwelling, multi-family (minimum density of 12 18 dwelling units/acre if principal use on lot)	6000	50	50 N/A	10 5	5 None		400	45, or three stories
All other uses								
<b>RC: Rural Commercial District</b>								
All uses	40,000	120	50	25	25	25		35

Chapter 21.06: Dimensional Standards and Measurements  
 Sec.21.06.010 Dimensional Standards Tables

**TABLE 21.06-2: TABLE OF DIMENSIONAL STANDARDS - COMMERCIAL AND INDUSTRIAL DISTRICTS**  
 (Additional Standards May Apply. See **district specific standards in chapter 21.04 and use-specific standards in chapter 21.05.**)

Use	Minimum lot dimensions			Minimum setback requirement (ft)			Min. usable yard area per residential dwelling unit (sq ft)	Maximum height (ft)
	Area (sq ft)	Width (ft)	Max lot coverage (%)	Front	Side	Rear		
<b>IC: Industrial / Commercial District</b>								
All uses	6000	50	100 N/A	5	None		N/A	50
<b>I-1 &amp; I-2: Industrial Districts</b>								
All uses	6000	50	100 N/A	10	None		N/A	50 feet in the I-1; otherwise none
<b>MI: Marine Industrial District (combined with MC and moved to table 21.06-4)</b>								
All uses	6000	50	N/A	10	None, except that, if a side or rear setback is provided, it shall be not less than 40 feet in width if such setback abuts the bulkhead		N/A	None

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1 C. Table of Dimensional Standards: Mixed-Use Districts

TABLE 21:06-3: TABLE OF DIMENSIONAL STANDARDS - MIXED-USE DISTRICTS (Additional Standards May Apply. See <i>district-specific standards in chapter 21.04 and use-specific standards in chapter 21.05.</i> )							
Uses	District Size		Minimum Residential Density [4]	Front Setbacks	Building Bulk and Height		
	Min.	Max.			Maximum Height (Ft)	Min. Lot Coverage	Maximum Floor Area Ratio
<b>RMX: Residential Mixed Use District (changed to RM-4 and moved to table 21.06-1)</b>							
All	None	None	15 dwelling units/acre (40 dwelling units/acre maximum)	Min: 0 ft. Max: 10 ft. Max (residential on ground floor): 15 ft.  Building shall occupy a minimum of 35 percent of frontage line.  20-foot minimum setback for 3 <sup>rd</sup> story uses	60 feet or 5 stories  (2 stories minimum)	To be determined	To be determined
<b>NMU-1: Small Scale Neighborhood Mixed Use District (changed to NC and moved to table 21.06-2)</b>							
All	None	4 acres	None	Min: 0 ft. Max: 10 ft. Max (residential on ground floor): 15 ft.  Building shall occupy a minimum of 35 percent of frontage line.  20-foot minimum setback for 3 <sup>rd</sup> story uses	35 feet or 3 stories	50%	0.67:1 FAR [2] [3]
<b>NMU-2: Neighborhood Mixed Use District</b>							
All	>4 5	25 acres	None	Min: 0 ft. Max: 20 40 ft. A minimum of 30% of the front building façade shall be within the maximum front setback. (see illustration after the table) [4] Max (residential on ground floor): 15 ft.  Building shall occupy a minimum of 35 percent of frontage line.  20-foot minimum setback for 3 <sup>rd</sup> story uses	45 35 feet or 3 stories	25%	0.67:1 FAR [2] [3]
<b>CCMU: Community Commercial Mixed Use District</b>							
All	15 acres	160 acres	None	Min: 0 ft. Max: 20 40 ft. A minimum of 50% of the front building façade shall be within the maximum front setback. (see illustration after the table) [4] Max (residential on ground floor): 15 ft.  Building shall occupy a minimum of 50 percent of frontage line.	60 45 feet or 4 stories	35%	1.0:1 FAR [2] [3]

TABLE 21:06-3: TABLE OF DIMENSIONAL STANDARDS - MIXED-USE DISTRICTS (Additional Standards May Apply. See <b>district-specific standards in chapter 21.04</b> and <b>use-specific standards in chapter 21.05.</b> )							
Uses	District Size		Minimum Residential Density [1]	Front Setbacks	Building Bulk and Height		
	Min.	Max.			Maximum Height (Ft)	Min. Lot Coverage	Maximum Floor Area Ratio
<b>RCMU: Regional Commercial Mixed-Use District</b>							
All	50 acres	None	8 dwelling units/acre	Min: 0 ft. Max: 20 <del>40</del> ft. A minimum of 30% of the front building façade shall be within the maximum front setback. (see illustration after the table) [4] Max (residential on ground floor): 15 ft.  Building shall occupy a minimum of 50 percent of frontage line.	RCMU: 75 120 feet or 8 stories	35%	5:1 FAR To be determined
<b>MMU: Midtown Mixed-Use District</b>							
All	50 acres	None	8 dwelling units/acre	Min: 0 ft. Max: 20 <del>40</del> ft. A minimum of 50% of the front building façade shall be within the maximum front setback. (see illustration after the table) [4] Max (residential on ground floor): 15 ft.  Building shall occupy a minimum of 50 percent of frontage line.	MMU: 180 feet or 15 stories	35%	10:1 FAR
NOTES: [1] Minimum residential density shall be measured as an average over the gross floor area of only the residential portion of the development. [2] Floor Area Ratio <i>Mixed-use Incentive</i> : An additional 0.5 <del>.07</del> FAR is not included in the calculation of maximum allowable FAR if the additional 0.5 <del>.07</del> FAR is residential, and residential is 50% or more of the gross floor area of the development project. [3] Floor Area Ratio <i>Private Usable Open Space Incentive</i> : An additional 1.0 <del>.02</del> FAR is not included in the calculation of maximum allowable FAR if the additional 1.0 <del>.02</del> FAR is residential, and the majority of residential dwellings in the development project each have at least 72 square feet of <i>private usable open space</i> . [4] The area of the maximum front setback between the lot line and the portion of the building within the maximum front setback shall be designed for pedestrian use or landscaping, and shall be free of motor vehicles at all times.							

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2 D. Table of Dimensional Standards: Other Districts

TABLE 21:06-4: TABLE OF DIMENSIONAL STANDARDS - OTHER DISTRICTS (Additional Standards May Apply. See <b>district-specific standards in chapter 21.04</b> and <b>use-specific standards in chapter 21.05.</b> )							
Uses	Minimum lot dimensions		Max lot coverage (%)	Minimum setback requirements (ft)			Maximum height (ft)
	Area (sq ft)	Width (ft)		Front	Side	Rear	
AD: Airport Development District							

**TABLE 21.06-4: TABLE OF DIMENSIONAL STANDARDS - OTHER DISTRICTS**  
 (Additional Standards May Apply. See **district-specific standards in chapter 21.04 and use-specific standards in chapter 21.05.**)

Uses	Minimum lot dimensions		Max lot coverage (%)	Minimum setback requirements (ft)			Maximum height (ft)
	Area (sq ft)	Width (ft)		Front	Side	Rear	
All	4,000	20	N/A	N/A	N/A	N/A	Not applicable, except that within 250 feet of any residential district boundary, no portion of any structure shall exceed the height limitations of that residential district
<b>AF: Antenna Farm District</b>							
All	87,120	120	50	50	25	25	Unlimited, except that structures shall not interfere with FAA regulations on airport approaches
<b>DR: Development Reserve OL: Open Lands District</b>							
All	5 acres	100	20	Front, side, and rear setbacks shall be 25 feet when the abutting district is PR, PLI, or residential (including RMX); otherwise, the setbacks shall be equal to the analogous minimum setback in the abutting district.			35
<b>M: Marine District (combination of MC and MI in PRD#1)</b>							
All	6000	50	100		None		90 feet above mean sea level
<b>PR and PLI: Parks and Recreation, and Public Lands and Institutions Districts</b>							
All	6,000	50	45	Front, side, and rear setbacks shall be 25 feet when the abutting district is DR, OL, PR, PLI or residential (including RMX); otherwise, the setbacks shall be equal to the analogous minimum setback in the abutting district.			Unrestricted, except where buildings exceed 35 feet in height adjacent to a residential use or district, the minimum setback requirements shall be increased one foot for each 1.5 feet in height exceeding 35 feet
<b>TA: Turnagain Arm District</b>							
Residential (Bird Creek, Indian Valley, Portage inholdings)	50,000	100	20	25	15	25	35, unless a conditional use permit is obtained for a greater height
Residential (Rainbow Valley inholdings)	216,300						
Commercial (without sewers)	50,000	25					

**TABLE 21:06-4: TABLE OF DIMENSIONAL STANDARDS - OTHER DISTRICTS**  
*(Additional Standards May Apply. See **district-specific standards in chapter 21.04 and use-specific standards in chapter 21.05.**)*

Uses	Minimum lot dimensions		Max lot coverage (%)	Minimum setback requirements (ft)			Maximum height (ft)
	Area (sq ft)	Width (ft)		Front	Side	Rear	
Industrial (without sewers)							
Institutional (without sewers)							
<b>W: Watershed District</b>							
All	N/A	N/A	5	N/A	N/A	N/A	50

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1 **21.06.020 MEASUREMENTS AND EXCEPTIONS**

2 **A. Setbacks**

3 **1. Required Setbacks**

4 **a.** Setbacks shall be located as shown in the illustrations at the end of the  
5 chapter.

6 **b.** A building, structure, or lot shall not be developed, used, or occupied  
7 unless it meets the minimum setback requirements set forth in section  
8 21.06.010 for the zoning district in which it is located, except as  
9 otherwise established in this title for particular uses, or unless a variance  
10 or minor modification has been granted.

11 **c.** Setbacks shall be unoccupied and unobstructed by any structure, except  
12 as provided in subsection A.2. below, and except that fences, walls,  
13 trellises, poles, posts, ornaments, furniture and other customary yard  
14 accessories may be permitted in any setback subject to height limitations  
15 and requirements limiting obstruction of visibility.

16 **d.** A setback or other open space required by this title shall not be included  
17 as part of a setback or other open space required by this title for another  
18 building or structure or lot.

19 **e.** The entire "pole" portion of a flag lot shall be considered a front setback.

20 **f.** Setbacks shall apply to platted private streets.

21 **2. Projections into Required Setbacks**

22 The following structures or features may project into required front, side, or rear  
23 setbacks as specified in this subsection:

24 **a. *Paved Terraces***

25 Paved terraces may project into any required setback, provided that no  
26 structures placed there shall violate other requirements of this title.

27 **b. *Unroofed Landings, Decks, and Stairs***

28 Except as provided in subsection 2.c. below, unroofed landings, decks,  
29 and stairs may project into required front and rear setbacks only,  
30 provided that no portion other than a handrail shall extend higher than 30  
31 inches above the finished grade level.

32 **c. *Roofs Over Porches and Other Exterior Approaches***

33 Roofs over porches, stairways, landings, terraces, or other exterior  
34 approaches to pedestrian doorways may encroach up to five feet into a  
35 front setback, provided that, where such roof projections encroach within  
36 the setback, the roof projections shall comprise no more than 50 percent  
37 of the total length of a building's front façade. The covered porch or  
38 entrance area encroaching into the setback shall remain exterior to the  
39 building, and unenclosed or only partly enclosed, as by a railing.



- 1                                    **d.      *Incidental Architectural Features***  
2                                    Windowsills, fireplace chases, belt courses, cornices, eaves and similar  
3                                    incidental architectural features may project up to two feet into any  
4                                    required setback.
- 5                                    **e.      *Bay Windows***  
6                                    Bay windows, measuring no more than eight feet in width where the  
7                                    projection breaks the plane of the wall, may project up to two feet into  
8                                    any required setback, so long as there is a minimum of eight feet  
9                                    between the bay window and any opposing bay window on an adjacent  
10                                    lot.
- 11                                   **f.      *Private Garage or Carport***  
12                                   A private garage or carport may project into a required rear setback  
13                                   abutting an alley.
- 14                                   **g.      *Accessory Structures***  
15                                   As allowed in 21.05.070B.3.
- 16                                   **h.      *Handicap Access Ramps***  
17                                   The Director may allow the installation of handicap access ramps with  
18                                   handrails in any required setback if they meet the following criteria:
- 19                                   i.      The ramp is architecturally compatible with the structure in  
20                                   design and bulk; and
- 21                                   ii.     The width of the ramp does not exceed 48 inches.
- 22                                   **3.      *Construction on Adjoining Lots***  
23                                   In determining minimum setback requirements, each lot shall be determined  
24                                   individually and minimum setback requirements may not be calculated on the  
25                                   basis of two or more combined lots. In all instances where a building may be  
26                                   constructed immediately adjacent to a lot line, the building may be constructed  
27                                   upon or over such lot line, provided that the portion of the building on each  
28                                   individual lot is otherwise permitted on each lot, and provided further that the  
29                                   building complies with building code requirements.
- 30                                   **4.      *Corner Lots with Two or More Frontages and Double-Frontage Lots***  
31                                   In the case of corner lots with two or more frontages and double-frontage lots,  
32                                   the director shall determine the ~~front~~ setback requirements subject to the  
33                                   following limitations:
- 34                                   **a.**      At least one front setback shall be provided having the full depth required  
35                                   generally in the district.
- 36                                   **b.**      No other front setback on such lot shall have less than half the depth  
37                                   required generally for front setbacks in the district.
- 38                                   **c.**      To the maximum extent feasible, setbacks shall be consistent with  
39                                   surrounding properties.
- 40                                   **Double-Frontage Lots**  
41                                   ~~In the case of double-frontage lots, front setbacks shall be provided on all~~  
42                                   ~~frontages.~~

5. **Setback from Planned Utility Transmission Facilities**

a. No new structural or land development activity requiring a building or land use permit shall be permitted within the minimum area stated in the Utility Corridor Plan for planned electrical or telecommunication transmission facilities for which there is a projected easement or right-of-way, except as allowed under paragraph 5.b., below.

b. The following uses and activities are permitted, with written acknowledgement of coordination with the affected utilities, within the setbacks described in paragraph 5.a., above:

i. Sidewalks, walkways, and trails and pathways;

~~ii. Trails and bicycle paths;~~

iii. Bus shelters and bus turnouts;

iv. Kiosks and seating units;

v. Utilities, utility easements and utility-related structures;

vi. Landscaping required by section 21.07.080, *Landscaping, Screening, and Fences*, and consisting of ground cover, shrubs and understory trees whose maximum height does not exceed 30 feet;

vii. Surface parking required by section 21.07.090, *Off-Street Parking and Loading*;

viii. Temporary parking as described in section 21.05.080;

ix. Additional parking to that required by this title;

x. Open space and usable yards;

xi. Fences and signs;

xii. Retaining walls;

xiii. Remodeling of or addition to structures existing as of February 27, 1990, so long as it does not further intrude within the setback area after that date; and

xiv. Driveways and vehicular access points.

c. Applicable setback requirements stated elsewhere in this title may include the area of setback for electrical transmission facilities.

6. **Setbacks from Projected Rights-of-Way**

a. ***Minimum Setback***

No new structural or land development activity requiring a building or land use permit shall be permitted within the minimum setback set forth in the table below from the existing or projected centerline of a street designated on the *Official Streets and Highways Plan* (OSHP), or within

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30 feet from the existing or projected centerline of a street, road reservation, or public use easement not so designated on the OSHP, but designated in an adopted neighborhood or district plan, except as allowed under subsection 6.b., below:

TABLE 21.06-5: SETBACKS FROM PROJECTED RIGHTS-OF-WAY CENTERLINE	
Street Class on Official Streets and Highways Plan	Setback from Centerline (feet)
IC, IIA, IIIC	30
IB	35
I, IA, II	40
III, IIIB	50
IIIA, IV	65
V	75

- b. Permitted Uses Within Setback**  
 The following uses and activities are permitted within the setbacks described in paragraph 6.a., above:
  - i. Sidewalks, walkways, and trails, ~~and pathways~~;
  - ii. Bus shelters and bus turnouts;
  - iii. Kiosks, seating units and skywalks;
  - iv. Utilities and utility easements;
  - v. Temporary parking, temporary open space and usable yards, temporary fences and signs, or temporary retaining walls, as described in paragraph 6.d., below;
  - vi. Additional parking to that required by this title;
  - vii. Remodeling of or addition to structures existing as of May 19, 1987, so long as such remodeling or addition does not further intrude within the setback area or increase the floor area of the structure within the setback area; and
  - viii. Driveways and vehicular access.
- c. Additional Setback Requirements**  
 Applicable setback requirements stated elsewhere in this chapter shall be in addition to those stated in this subsection 21.06.020A.6.
- d. Temporary Features**  
 As used in this subsection 21.06.020A.6.d., the term "temporary" or "temporarily" means that period of time between the issuance of a

1 building or land use permit and the right of entry conveyed to the  
2 municipality or other government entity for a road project that affects the  
3 setback area required by this subsection 21.06.020A.6.d. Parking, open  
4 space and usable yards, fences and signs, and retaining walls required  
5 by this title may be provided temporarily within a setback area described  
6 in this subsection 21.06.020A.6.d. only if the director and the traffic  
7 engineer first find that:

- 8 i. The temporary features to be used on the lot conform to all other  
9 applicable requirements of this title;
- 10 ii. An alternate site plan has been submitted with an application for  
11 a building or land use permit for permanent required features on  
12 the lot, excluding all setback areas thereon, in conformance with  
13 all applicable requirements of this title; and
- 14 iii. An agreement between the owner of the lot and the municipality  
15 has been executed and recorded so as to give notice of the  
16 temporary requirements to be applied to the lot and of the date  
17 or event by which the temporary features shall be abandoned in  
18 favor of the permanent configuration stated in the alternate site  
19 plan.

20 **7. Sight Distance Triangles**

21 **a. Prohibition**

22 No person may place within a sight distance triangle area any structure  
23 between 2½ feet and eight feet above the nearest curb or street  
24 centerline grade, whichever is higher, except for:

- 25 i. A public utility pole;
- 26 ii. A tree that is trimmed so that the trunk is bare to a height of eight  
27 feet measured from the nearest curb or street centerline grade,  
28 whichever is higher; or
- 29 iii. A warning sign or signal installed on the lot by a government  
30 agency.

31 **b. Definition**

32 As used in this section, the term “sight distance triangle” refers to the  
33 roadway area visible to the driver. The required length is the distance  
34 necessary to allow safe vehicular egress from a street, driveway, or alley  
35 to a major street. Criteria for required sight distance are given below.

36 **c. Criteria**

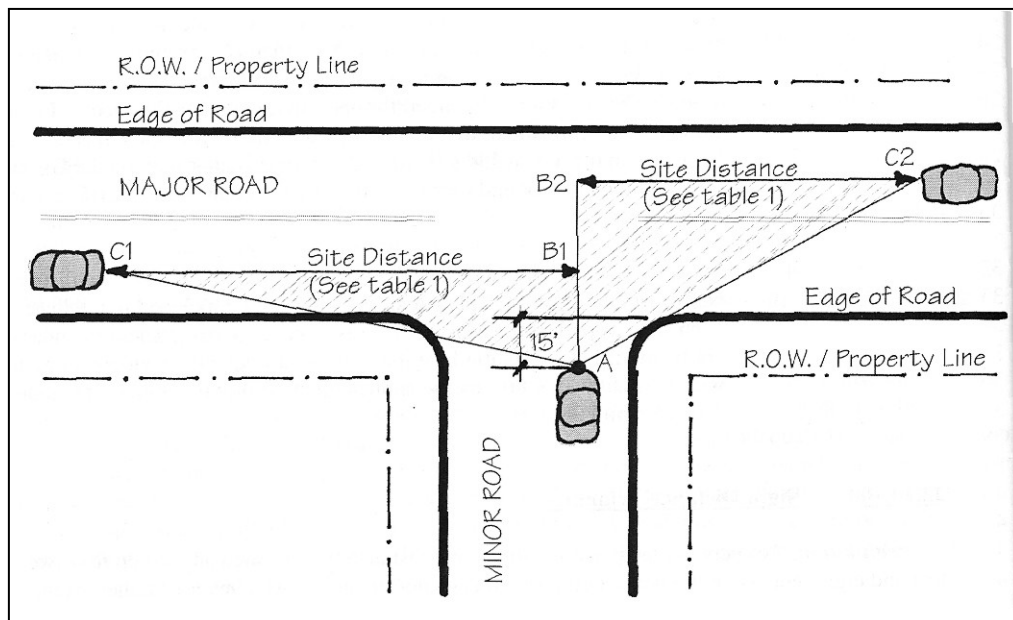
1 The sight distance triangle is shown in the figure below and described as  
 2 follows:

- 3 i. Point A is located on the minor approach 15 feet from the edge  
 4 of major road travelway;
- 5 ii. Point B1 is located in the center of lane 1;
- 6 iii. Point B2 is located in the center of lane 2;
- 7 iv. Points C1 and C2 are located based on the design speed of the  
 8 major road and is the distance shown in Table 21.0-6-6; and

**Table 21.06-6: Required Sight Distances in Sight Distance Triangles**

Design Speed Limit (mph)	Sight Distance (ft)
60	650
50	515
40	415
30	310
20	210

- 9 v. Point A is connected to Points C1 and C2 by a straight line.



10 **Usable Yard**

11 ~~8. Usable yard shall be provided per dwelling unit in accordance with Tables 21.06-1~~  
 12 ~~through 21.06-4.~~

1 ~~9. No dimension of a usable yard required by this chapter shall be less than ten feet;~~  
2 ~~except, however, private balconies or decks containing no less than one four-foot~~  
3 ~~dimension and containing a minimum of 20 square feet may be counted for up to~~  
4 ~~50 percent of required usable yard area in the R-3, R-4, and RMX districts, and up~~  
5 ~~to 100 percent of required usable yard area in the NMU-1, NMU-2, CCMU, RCMU,~~  
6 ~~MMU, and CBD districts.~~

7 ~~10. Usable yard area may include required side and rear setbacks and utility~~  
8 ~~easements, but may not include front setbacks, refuse storage or collection areas,~~  
9 ~~wetlands, or areas with slopes in excess of 15 percent.~~

10 ~~11. Up to 30 percent of the required usable yard area may be collocated with required~~  
11 ~~landscaping.~~

12 **B. Lot Coverage and Floor Area Ratio (FAR)**

13 **1. Lot Coverage Requirement Generally**

14 No building, structure, or lot shall be developed, used, or occupied unless it  
15 meets the lot coverage and FAR requirements set forth in section 21.06.010 for  
16 the zoning district in which it is located.

17 **2. Structures Not Considered in Measuring Lot Coverage**

18 Unless otherwise provided in this title, all structures shall be considered in  
19 determining lot coverage except for the following:

- 20 a. Structures less than 30 inches above the finished grade level (such as  
21 paved terraces or ground-level decks);
- 22 b. Windowsills, bay windows, fireplace chases, belt courses, cornices,  
23 eaves, and similar incidental architectural features;
- 24 c. Handicap ramps that comply with section 21.06.020A.2.h., *Handicap*  
25 *Access Ramps*, above;
- 26 d. Fences, trellises, poles, posts, ornaments, lawn furniture, and similar and  
27 customary yard accessories; and
- 28 e. Hot tubs.

29 **3. Structures Not Considered in Measuring Floor Area Ratio (FAR)**

30 Unless otherwise provided in this title, all gross floor area shall be considered in  
31 determining FAR except for the following:

- 32 a. Uninhabitable attics;
- 33 b. **Detached accessory structures;** and
- 34 c. Usable open space areas.

35 **Density**

36 ~~4. Measurement of Residential Density~~

37 ~~Residential density is determined by dividing the gross parcel size by the~~  
38 ~~minimum lot size of the zoning district where the parcel is located, and then~~

1 ~~rounding down to the whole number. This operation yields a certain number of~~  
2 ~~units per acre with no decimals.~~

3 **C. Height**

4 **1. Rules for Measuring Height**

5 Building height shall be measured as shown in the illustrations at the end of the  
6 chapter.

7 **2. Reference Datum**

8 The reference datum for determination of building height shall be selected by  
9 either of the following, whichever yields a greater height of building:

10 **a.** The elevation of the highest adjoining sidewalk or ground surface within  
11 a five-foot horizontal distance from the exterior wall of the building, when  
12 such sidewalk or ground surface is not more than ten feet above lowest  
13 grade within a five-foot horizontal distance from the exterior wall of the  
14 building.

15 **b.** An elevation ten feet higher than the lowest grade when the sidewalk or  
16 ground described in the subsection 2.a., above, is more than ten feet  
17 above the lowest grade.

18 **3. Height Exceptions**

19 Except as specifically provided elsewhere in this title, the height limitations  
20 contained in this chapter do not apply to spires, belfries, cupolas, flagpoles,  
21 chimneys, antennas, heating and ventilation equipment, elevator housings,  
22 stairwell towers, solar reflectors, **skylights**, or similar appurtenances; provided,  
23 however, the following:

24 **a.** The appurtenance does not interfere with Federal Aviation Regulations,  
25 Part 77, Objects Affecting Navigable Airspace;

26 **b.** The appurtenance does not extend more than 25 feet above the  
27 maximum permitted building height, except for flagpoles, religious  
28 assembly belfries, and antennas that must be of greater height in order  
29 to function;

30 **c.** The appurtenance is not constructed for the purpose of providing  
31 additional floor area in the building; and

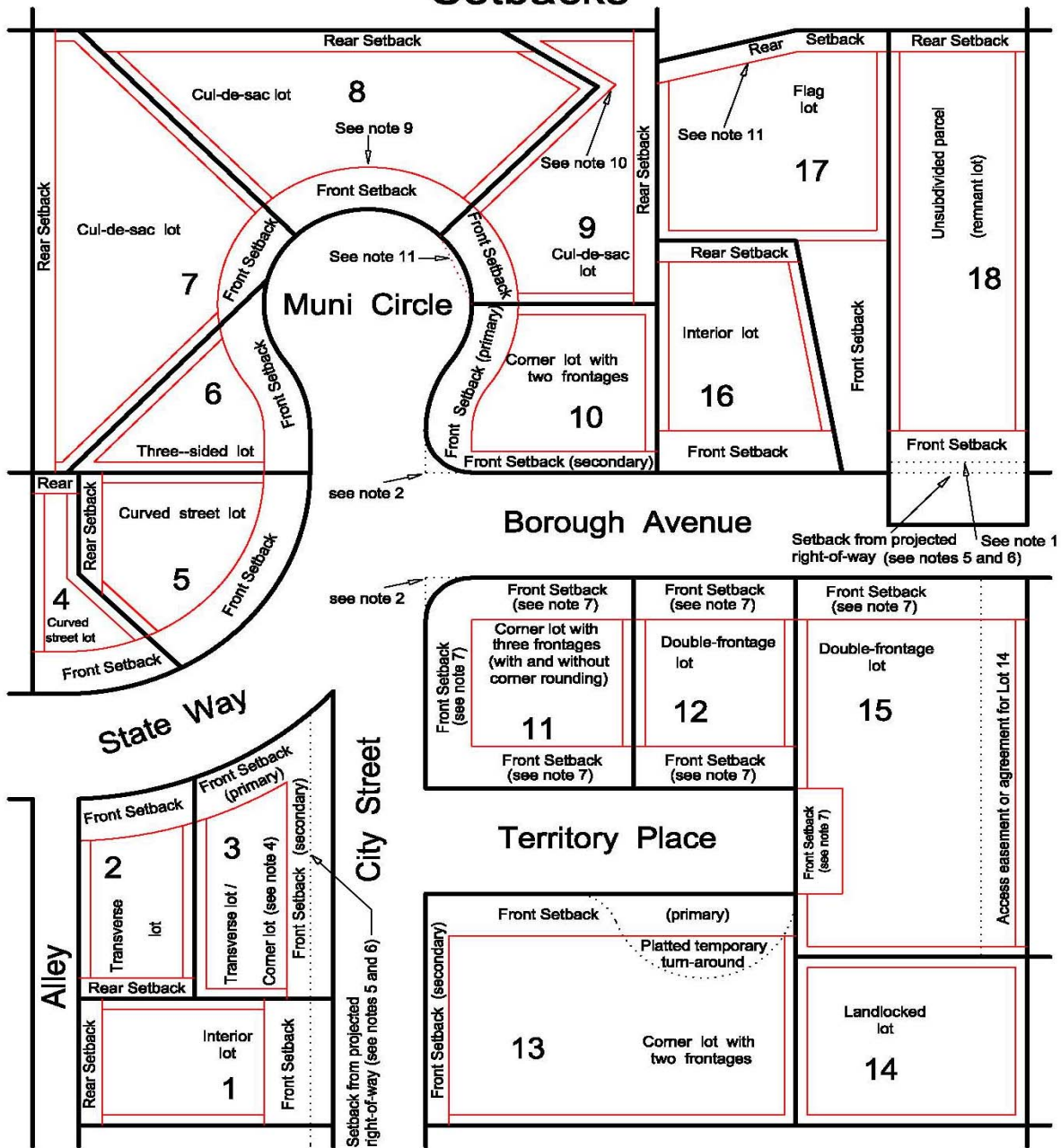
32 **d.** The appurtenance complies with the screening requirements for  
33 mechanical equipment and appurtenances in 21.07.080H., *Screening*.

34 **4. Height Limitations**

35 **a.** Special height limitations, set forth in section 21.04.080C., apply to all  
36 development within the Airport Height Overlay District.

37 **b.** Height transitions for neighborhood compatibility, as set forth in  
38 subsection 21.07.070B, apply to all development abutting residentially  
39 zoned property.

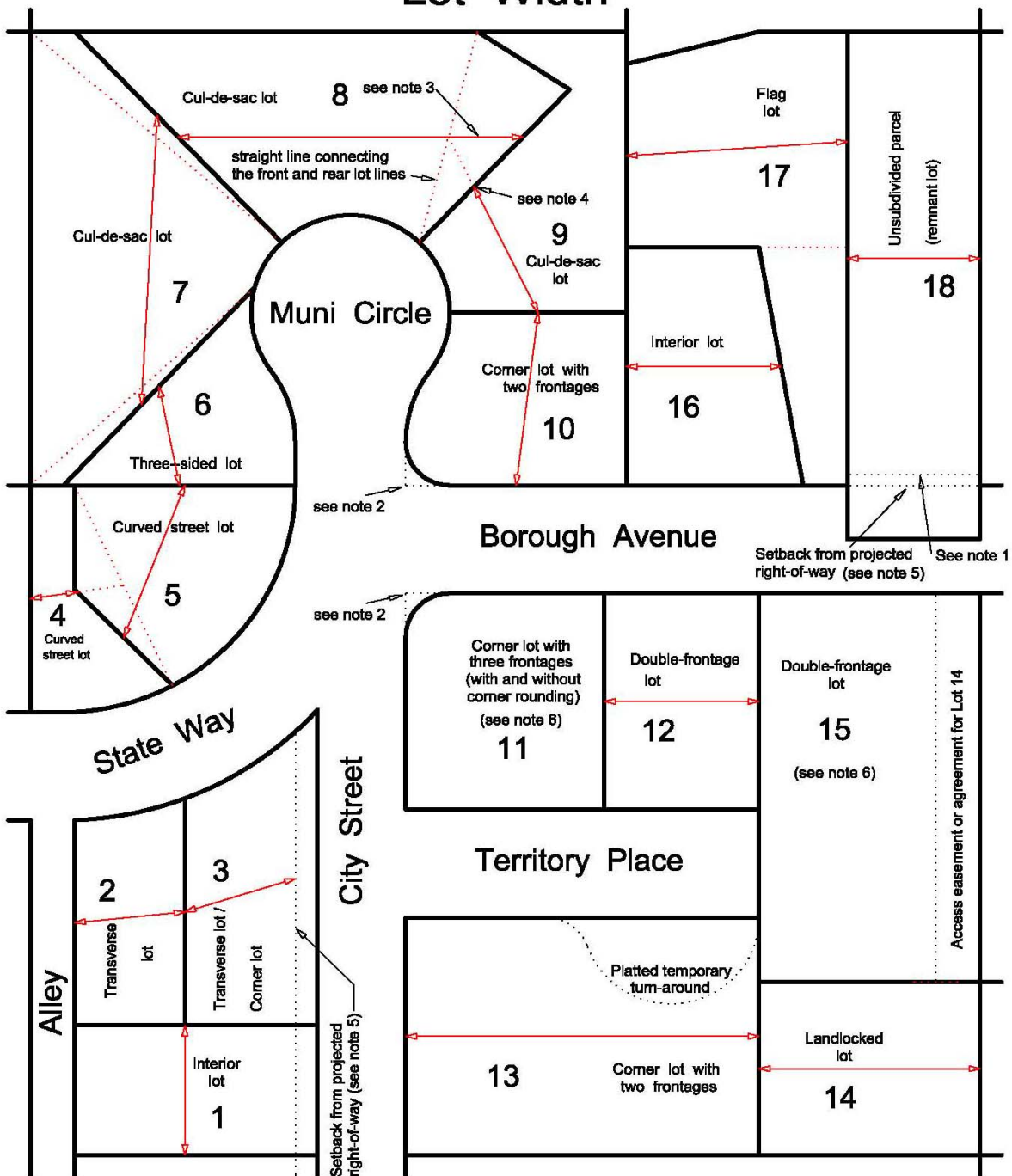
# Setbacks



1. Section line easement, BLM road reservation, road or public use easement.
2. Front property lines intersect by extrapolation.
3. All setbacks not called out in the illustration are side setbacks.
4. On corner, double-frontage, and three-sided lots, there are no rear setbacks, but only front and side setbacks.
5. The area between the property line and the setback from projected right-of-way is subject to the same regulations as a front setback.
6. The front setback is measured from the setback from projected right-of-way. See Section 21.06.020.A.7.c.
7. The Director shall determine the depth of the front setbacks. Until such determination, full-depth setbacks apply on all frontages.
8. Front setbacks are determined by the Director. See Section 21.06.020.A.4.
9. The setback follows the curve of the lot line.
10. Side setbacks are extended to intersect.
11. The rear property line is the line (or lines intersecting at an interior angle of not less than 135 degrees) most parallel to the chord of the pro

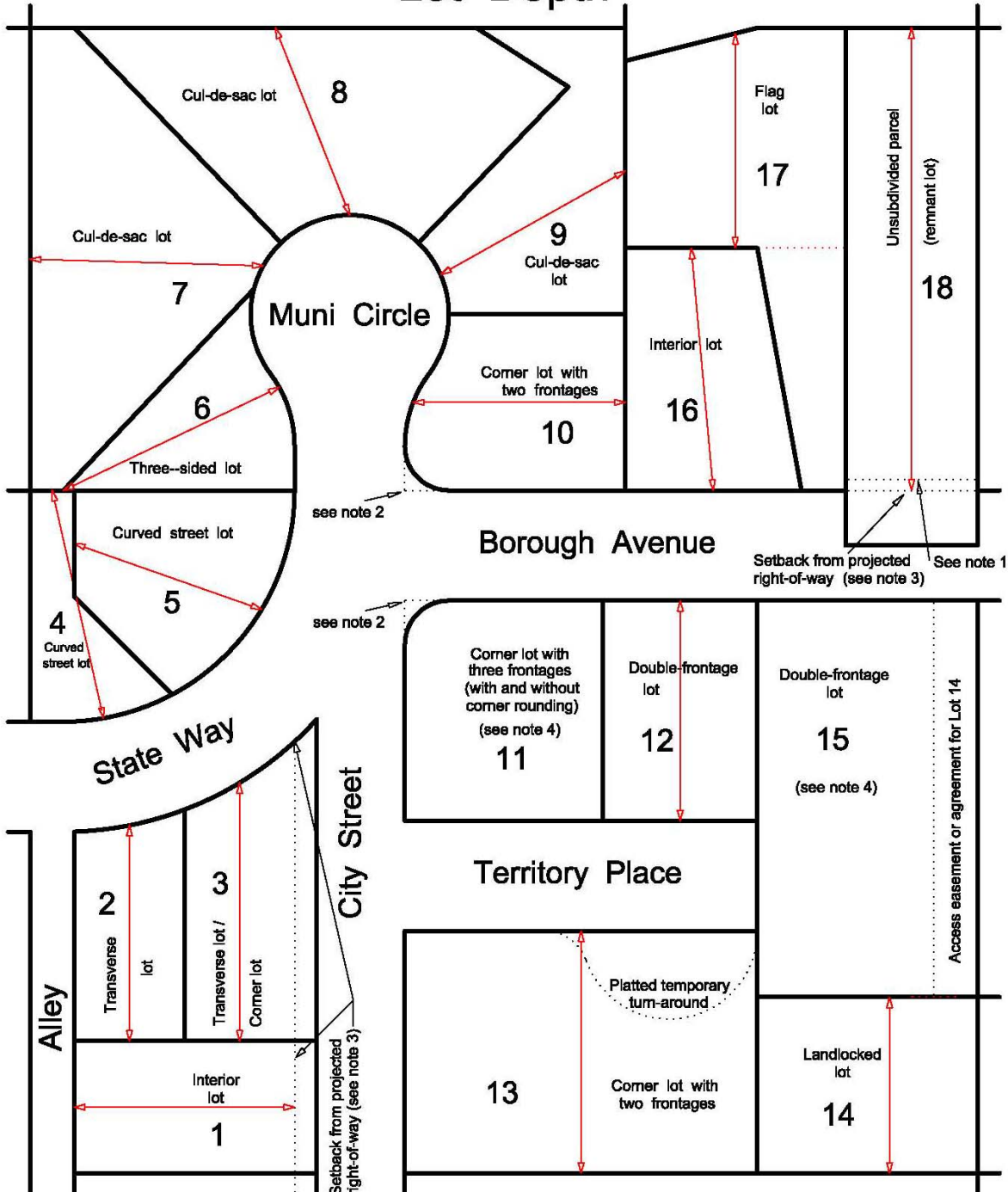


## Lot Width

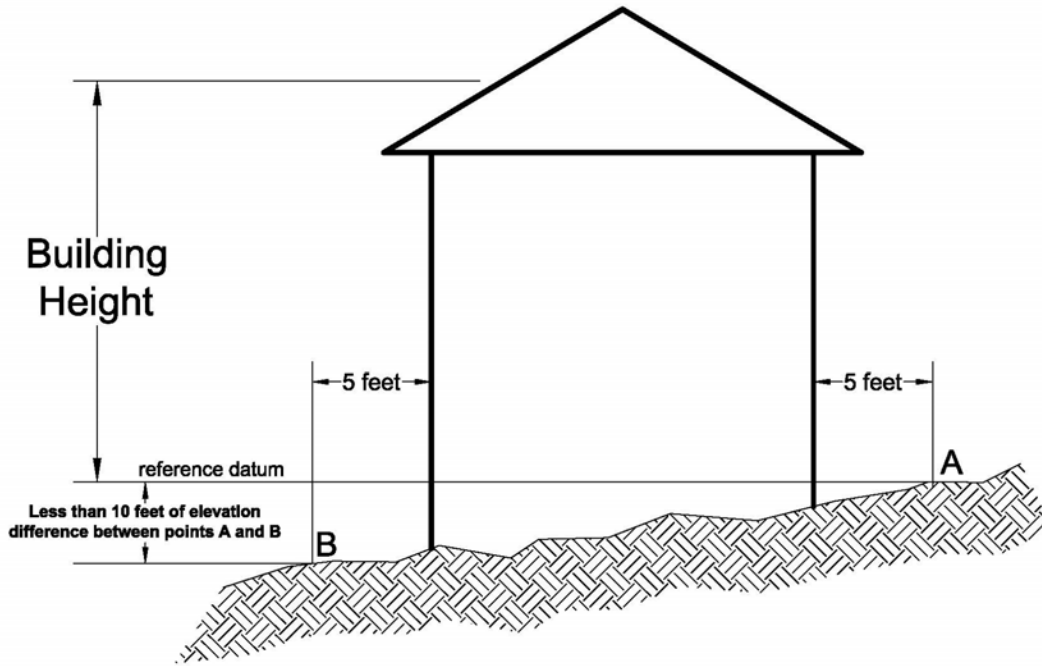


1. Section line easement, BLM road reservation, road or public use easement.
2. Front property lines intersect by extrapolation.
3. The measurement extends to the side property lines. See Section 21.13.030.
4. The measurement does not extend beyond the property lines. See Section 21.13.030.
5. The setback from projected right-of-way is considered the front property line for computing lot width.
6. When the definitions do not unambiguously identify the lot width, the Director shall determine the lot width.

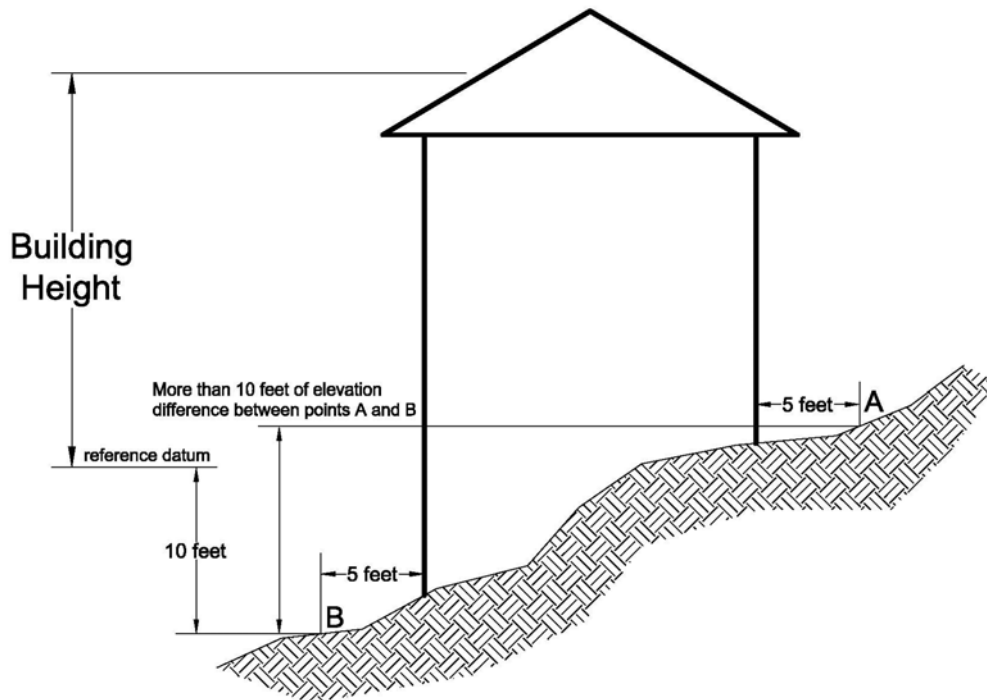
## Lot Depth



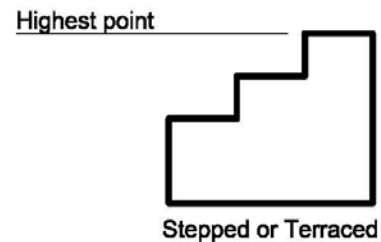
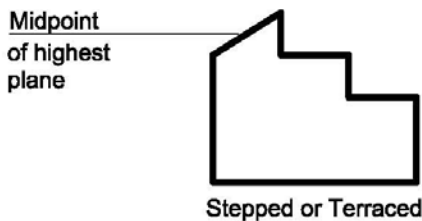
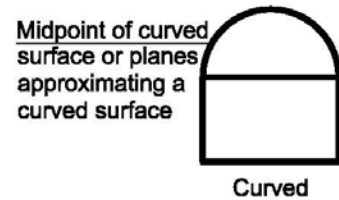
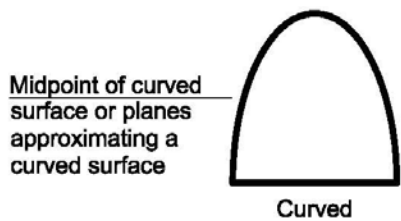
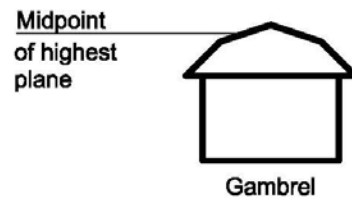
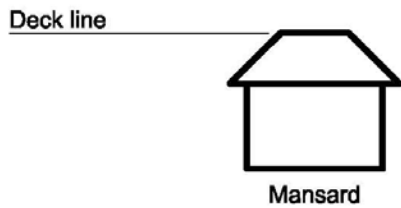
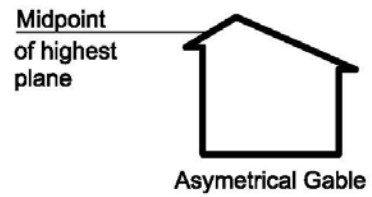
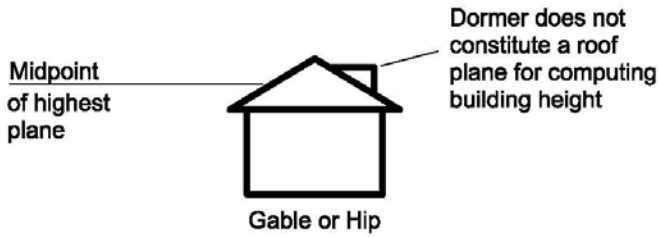
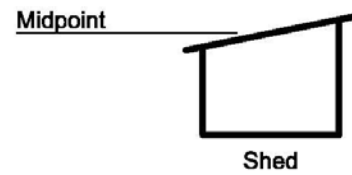
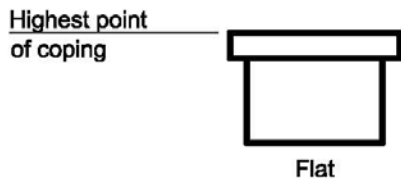
1. Section line easement, BLM road reservation, road or public use easement.
2. Front property lines intersect by extrapolation.
3. The setback from projected right-of-way is considered a property line for computing lot depth.
4. When the definitions do not unambiguously identify the lot depth, the Director shall determine the lot depth.



Case 1



Case 2



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